



CITY OF MORRO BAY PLANNING COMMISSION AGENDA

*The City of Morro Bay is dedicated to the preservation and enhancement of the quality of life.
The City shall be committed to this purpose and will provide a level of municipal service and safety
consistent with and responsive to the needs of the public.*

**Regular Meeting - Tuesday, June 3, 2014
Morro Bay Community Center – 5:00 P.M.
1001 Kennedy Way
Multi-Purpose Room
Morro Bay, CA**

**PLEASE NOTE EARLY START TIME OF 5 P.M. FOR PRESENTATION
REGULAR MEETING TO START NO EARLIER THAN 6 P.M.**

Chairperson Robert Tefft

Vice-Chairperson Gerald Luhr
Commissioner Michael Lucas

Commissioner John Fennacy
Commissioner Richard Sadowski

ESTABLISH QUORUM AND CALL TO ORDER
MOMENT OF SILENCE / PLEDGE OF ALLEGIANCE
PLANNING COMMISSIONER ANNOUNCEMENTS

PUBLIC COMMENT PERIOD

Members of the audience wishing to address the Commission on matters not on the agenda may do so at this time. In a continual attempt to make the public process open to members of the public, the City also invites public comment before each agenda item. Commission hearings often involve highly emotional issues. It is important that all participants conduct themselves with courtesy, dignity and respect. All persons who wish to present comments must observe the following rules to increase the effectiveness of the Public Comment Period:

- When recognized by the Chair, please come forward to the podium and state your name and address for the record. Commission meetings are audio and video recorded and this information is voluntary and desired for the preparation of minutes.
- Comments are to be limited to three minutes so keep your comments brief and to the point.
- All remarks shall be addressed to the Commission, as a whole, and not to any individual member thereof. Conversation or debate between a speaker at the podium and a member of the audience is not permitted.
- The Commission respectfully requests that you refrain from making slanderous, profane or personal remarks against any elected official, commission and/or staff.
- Please refrain from public displays or outbursts such as unsolicited applause, comments or cheering.
- Any disruptive activities that substantially interfere with the ability of the Commission to carry out its meeting will not be permitted and offenders will be requested to leave the meeting.
- Your participation in Commission meetings is welcome and your courtesy will be appreciated.

In compliance with the Americans with Disabilities Act, if you need special assistance to participate in this meeting, please contact the Public Services' Office Assistant at (805) 772-6264. Notification 24 hours prior to the meeting will enable the City to make reasonable arrangements to ensure accessibility to this meeting. There are devices for the hearing impaired available upon request at the staff's table.

PRESENTATIONS

Informational presentations are made to the Commission by individuals, groups or organizations, which are of a civic nature and relate to public planning issues that warrant a longer time than Public Comment will provide. Based on the presentation received, any Planning Commissioner may declare the matter as a future agenda item in accordance with the General Rules and Procedures. Presentations should normally be limited to 15-20 minutes.

Cal Poly City and Regional Planning Graduate Studio Presentation of Visioning Process for the Rezone of the West Atascadero Road Area – Embarcadero to Main Street. Students will present their proposals for a future concept plan for the area bounded by Atascadero Road, the Morro Bay High School, the ocean and Highway One – *For informational purposes; no action will be taken.*

A. CONSENT CALENDAR - None

B. PUBLIC HEARINGS

Public testimony given for Public Hearing items will adhere to the rules noted above under the Public Comment Period. In addition, speak about the proposal and not about individuals, focusing testimony on the important parts of the proposal; not repeating points made by others.

B-1 *Continued from March 5, 2014 Meeting*

Case No.: CP0-408

Site Location: 1000 Ridgeway

Proposal: Appeal of Administrative Coastal Development Permit #CP0-408 for demolition of an existing single-family residence and subsequently construct a 4,829 square foot single-family residence with a 1,201 square foot garage. This site is located outside of the appeals jurisdiction of the California Coastal Commission.

CEQA Determination: Categorically Exempt, Class 1 and Class 3

Staff Contact: Cindy Jacinth, Associate Planner (805) 772-6577

B-2 *Continued from May 20, 2014 Meeting*

Case No.: #CP0-420 & #AD0-088

Site Location: 3031 Beachcomber

Proposal: Coastal Development Permit approval for an addition of 310 square feet to an existing single family residence in the S.2A overlay zoning district. Parking Exception request to allow one covered and enclosed garage parking space and one uncovered tandem driveway parking space. This site is located inside the appeals jurisdiction of the California Coastal Commission.

CEQA Determination: Categorically exempt, Class 1

Staff Recommendation: Conditionally approve

Staff Contact: Cindy Jacinth, Associate Planner, (805) 772-6577

B-3 **Case No.:** #UP0-374

Site Location: 481 Java Street

Proposal: Conditional Use Permit request to allow a non-conforming addition to an existing nonconforming single family residence and to allow a one-car carport where two covered parking spaces are required. The existing structure does not meet the parking, setback, and lot coverage requirements. The proposed project with a 644-square-foot, second-story addition and remodel to the existing structure would not meet setback, coverage, or parking standards. The project site is located outside the appeals jurisdiction of the California Coastal Commission.

CEQA Determination: Categorically Exempt, Section 15303, Class 3

Staff Recommendation: Denial

Staff Contact: Whitney McIlvaine, Contract Planner, (805) 772-6211

C. UNFINISHED BUSINESS

C-1 Current and Advanced Planning Processing List

Staff Recommendation: Receive and file.

D. NEW BUSINESS

D-1 Appointment of Planning Commissioner to the Water Reclamation Facility (WRF)
 Citizen's Advisory Committee - No staff report

E. DECLARATION OF FUTURE AGENDA ITEMS

F. ADJOURNMENT

Adjourn to the regular Planning Commission meeting at the Veteran's Memorial Building, 209 Surf Street, on June 17, 2014, at 6:00 p.m.

PLANNING COMMISSION MEETING PROCEDURES

This Agenda is subject to amendment up to 72 hours prior to the date and time set for the meeting. Please refer to the Agenda posted at the Public Services Department, 955 Shasta Avenue, for any revisions, or call the department at 772-6261 for further information.

Written testimony is encouraged so it can be distributed in the Agenda packet to the Commission. Material submitted by the public for Commission review prior to a scheduled hearing should be received by the Planning Division at the Public Services Department, 955 Shasta Avenue, no later than 5:00 P.M. the Tuesday (eight days) prior to the scheduled public hearing. Written testimony provided after the Agenda packet is published will be distributed to the Commission but there may not be enough time to fully consider the information. Mail should be directed to the Public Services Department, Planning Division.

Materials related to an item on this Agenda are available for public inspection during normal business hours in the Public Services Department, at Mill's/ASAP, 495 Morro Bay Boulevard, or the Morro Bay Library, 695 Harbor, Morro Bay, CA 93442. Materials related to an item on this Agenda submitted to the Planning Commission after publication of the Agenda packet are available for inspection at the Public Services Department during normal business hours or at the scheduled meeting.

This Agenda may be found on the Internet at: www.morro-bay.ca.us/planningcommission or you can subscribe to Notify Me for email notification when the Agenda is posted on the City's website. To subscribe, go to www.morro-bay.ca.us/notifyme and follow the instructions.

The Brown Act forbids the Commission from taking action or discussing any item not appearing on the agenda, including those items raised at Public Comment. In response to Public Comment, the Commission is limited to:

1. Responding to statements made or questions posed by members of the public; or
2. Requesting staff to report back on a matter at a subsequent meeting; or
3. Directing staff to place the item on a future agenda. (Government Code Section 54954.2(a))

Commission meetings are conducted under the authority of the Chair who may modify the procedures outlined below. The Chair will announce each item. Thereafter, the hearing will be conducted as follows:

1. The Planning Division staff will present the staff report and recommendation on the proposal being heard and respond to questions from Commissioners.
2. The Chair will open the public hearing by first asking the project applicant/agent to present any points necessary for the Commission, as well as the public, to fully understand the proposal.
3. The Chair will then ask other interested persons to come to the podium to present testimony either in support of or in opposition to the proposal.
4. Finally, the Chair may invite the applicant/agent back to the podium to respond to the public testimony. Thereafter, the Chair will close the public testimony portion of the hearing and limit further discussion to the Commission and staff prior to the Commission taking action on a decision.

APPEALS

If you are dissatisfied with an approval or denial of a project, you have the right to appeal this decision to the City Council up to 10 calendar days after the date of action. Pursuant to Government Code §65009, you may be limited to raising only those issues you or someone else raised at the public hearing described in this notice, or in written correspondence delivered to the Commission, at, or prior to, the public hearing. The appeal form is available at the Public Services Department and on the City's web site. If legitimate coastal resource issues related to our Local Coastal Program are raised in the appeal, there is no fee if the subject property is located within the Coastal Appeal Area. If the property is located outside the Coastal Appeal Area, the fee is \$250 flat fee. If a fee is required, the appeal will not be considered complete if the fee is not paid. If the City decides in the appellant's favor then the fee will be refunded.

City Council decisions may also be appealed to the California Coastal Commission pursuant to the Coastal Act Section 30603 for those projects that are in their appeals jurisdiction. Exhaustion of appeals at the City is required prior to appealing the matter to the California Coastal Commission. The appeal to the City Council must be made to the City and the appeal to the California Coastal Commission must be made directly to the California Coastal Commission Office. These regulations provide the California Coastal Commission 10 working days following the expiration of the City appeal period to appeal the decision. This means that no construction permit shall be issued until both the City and Coastal Commission appeal period have expired without an appeal being filed. The Coastal Commission's Santa Cruz Office at (831) 427-4863 may be contacted for further information on appeal procedures.



Memorandum

TO: PLANNING COMMISSIONERS

FROM: CINDY JACINTH, ASSOCIATE PLANNER

DATE: May 30, 2014

SUBJECT: 1000 Ridgeway, Appeal hearing for Coastal Development Permit CP0-408

On May 29, 2014, City staff received notification from the Appellant for the above appeal matter at 1000 Ridgeway requesting a two week continuance to the June 17, 2014 meeting.

The Appellant is requesting a continuance based on a conflict with the Planning Commission meeting on the same night as election night. The Appellant bases her continuance request on the concern that the election competes for time and could cause interested parties not to appear at the Planning Commission hearing.

Because the appeal has been duly continued to the June 3, 2014 Planning Commission meeting, should the Planning Commission grant the request for a continuance, staff would recommend re-opening the public hearing to invite public testimony and then continue to a date certain of the June 17, 2014 meeting.

If Planning Commission chooses not to grant a request for continuance, staff has prepared the necessary materials and staff report for Planning Commission to consider the appeal at the June 3, 2014 meeting.



AGENDA NO: B-1

MEETING DATE: June 3, 2014

Staff Report

TO: Planning Commissioners

DATE: May 29, 2014

FROM: Cindy Jacinth, Associate Planner

SUBJECT: Appeal of Administrative Coastal Development Permit #CP0-408 for demolition and reconstruction of an existing single-family residence at 1000 Ridgeway Avenue

****COMMISSIONERS NOTE - PLEASE BRING PLANS FROM 5-6-14 MEETING****

RECOMMENDATION:

Approve the appeal and approve the Coastal Development Permit by adopting a motion including the following actions:

- A. Adopt Planning Commission Resolution #11-14 which includes the Findings and Conditions of Approval and the revised site development plans dated April 29, 2014.

APPELLANT: Katherine Caldwell

APPLICANTS: Reed and Carol Adamson

LEGAL DESCRIPTION/APN: 066-246-006

ORIGINAL PROJECT DESCRIPTION: An Administrative Coastal Development Permit was issued on December 20, 2013 for the demolition of an existing 1,649 square foot house and construction of a new two-story single-family residence proposed to be 4,829 square feet with a 1,201 square-foot garage/workshop and a 120 square-foot covered porch at the property located at 1000 Ridgeway. An appeal of this action was submitted on December 30, 2013, and the project is before the Planning Commission as the appellant body pursuant to Morro Bay Municipal Code (MBMC) Section 17.58.040(I).

CONTINUANCE BACKGROUND: This project has previously been heard at the February 19, 2014, March 5, 2014, and May 6, 2014 Planning Commission meetings. The Applicant as directed by Planning Commission on March 5, 2014 has made reductions to the bulk, scale and size of the home as described in the May 6, 2014 staff report and as shown on the plans

Prepared By: CJ

Department Review:

dated April 29, 2014.

The last direction of the Planning Commission at the May 6, 2014 meeting was to request the Applicant to submit 1) story poles; 2) additional visual simulations demonstrating shade and shadow; and 3) visual simulations demonstrating perspective from the intersection of Ridgeway and Fairview. The requested simulations are attached as Exhibit B to the staff report and the story poles were placed on the existing home with Planning Commission notified via email on May 28, 2014.

REVISED PLANS AND REVISED PROJECT DESCRIPTION:

Revised plans were submitted for review by Planning Commission at the May 6, 2014 meeting. With the requested simulations received, the Applicant has not proposed any further changes to the plans dated April 29, 2014. As discussed in the previous staff report, the plans show that the project as originally proposed has undergone several changes including reduction in square footage, small changes to setbacks, as well as architectural treatment. The changes are illustrated in the table below.

Revised Project Data

	Original Proposed	Revised April 2014 Plans
Home	4,829 sf	3,725 sf
Garage/workshop	1,201 sf	1,142 sf
Upper deck	192 sf	188 sf
Lower porch	120 sf	129 sf

CONCLUSION:

The Appellant’s appeal requests that the Planning Commission “rescind current permit allowing development of property as planned *or modify existing permit to scale back project to conform with the City’s Land Use Plan, policies and elements.*”

Staff review of the project as shown on the revised plans dated April 29, 2014 has determined that the revised proposal for 1000 Ridgeway Avenue both meets all development standards and is compatible with the mix of one and two story homes in this residential area in addition to the direction given by Planning Commission to improve neighborhood compatibility.

With the additional information received, the Planning Commission shall make the determination on whether to grant or deny the appeal filed by Ms. Caldwell on December 30, 2013 or to add conditions.

Staff recommendation is that the Planning Commission uphold the appeal and approve the

Coastal Development Permit #CP0-408 subject to the findings and conditions of approval as specified by Planning Commission Resolution #11-14 and approve the revised plans dated April 29, 2014 attached as Exhibit A and Exhibit B. The plans as revised are sufficient to make the necessary findings for approval including that the project is consistent with the City's General Plan, Local Coastal Program and the Municipal Code.

EXHIBITS:

Exhibit A – Planning Commission Resolution 11-14

Exhibit B – Email correspondence from Applicant to Planning Commissioners 5-28-14

Exhibit C -- Story Pole Photographs

Exhibit D – Front and Right Side Elevations

Exhibit E – Visual Simulations Received from Applicant – Street Corner Perspective

Exhibit F – May 6, 2014 Staff Report and Attachments can be found at the following link:

<http://morro-bay.ca.us/ArchiveCenter/ViewFile/Item/2099>

EXHIBIT A

RESOLUTION NO. PC 11-14

A RESOLUTION OF THE MORRO BAY PLANNING COMMISSION UPHOLDING THE APPEAL OF THE APPROVAL OF ADMINISTRATIVE COASTAL DEVELOPMENT PERMIT (CP0-408) FOR THE DEMOLITION OF THE EXISTING RESIDENCE AND CONSTRUCTION OF A NEW TWO STORY SINGLE-FAMILY RESIDENCE AT 1000 RIDGEWAY AVENUE.

WHEREAS, on December 20, 2013, the Director issued an Administrative Coastal Development Permit (Coastal Development Permit #CPO-408) for the demolition of an existing 1,649 square foot house and construction of a new two-story single-family residence proposed to be 4,829 square feet with a 1,201 square-foot garage/workshop and a 120 square foot covered porch at 1000 Ridgeway; and

WHEREAS, on December 30, 2013 an appeal was filed to the Planning Commission on Coastal Development Permit #CPO-408 specifically to “rescind current permit allowing development of property as planned or modify existing permit to scale back project to conform with the City’s Land Use Plan, policies, and elements”; and

WHEREAS, the Planning Commission of the City of Morro Bay conducted a public hearing at the Morro Bay Veteran’s Hall, 209 Surf Street, Morro Bay, California, on February 19, 2014, for the purpose of considering an appeal filed against Coastal Development Permit #CP0-408; and

WHEREAS, the Planning Commission of the City of Morro Bay conducted a public hearing at the Morro Bay Veteran’s Hall, 209 Surf Street, Morro Bay, California, on March 5, 2014, for the purpose of considering an appeal filed against Coastal Development Permit #CP0-408; and

WHEREAS, the Planning Commission at its March 5, 2014 meeting directed the Applicant to submit revised plans to demonstrate neighborhood compatibility and revised plans were submitted to the City on April 29, 2014; and

WHEREAS, the Planning Commission of the City of Morro Bay conducted a public hearing at the Morro Bay Veteran’s Hall, 209 Surf Street, Morro Bay, California, on May 6, 2014, for the purpose of considering an appeal filed against Coastal Development Permit #CP0-408 and continued the hearing to the June 3, 2014 meeting; and

WHEREAS, the Planning Commission of the City of Morro Bay conducted a public hearing at the Morro Bay Veteran’s Hall, 209 Surf Street, Morro Bay, California, on June 3, 2014, for the purpose of considering an appeal filed against Coastal Development Permit #CP0-408; and

WHEREAS, notices of said public hearing were made at the time and in the manner required by law; and

WHEREAS, the Planning Commission has duly considered all evidence, whether written or oral, including without limitation, the testimony of the appellant, the applicant, interested parties,

consultants, City staff and all written and oral evaluations and recommendations by staff, presented at the February 19, 2014, March 5, 2014, and the May 6, 2014 hearings.

NOW, THEREFORE, BE IT RESOLVED by the Planning Commission of the City of Morro Bay as follows:

Section 1: Findings. Based upon all the evidence, the Commission makes the following findings:

California Environmental Quality Act (CEQA)

1. Pursuant to the California Environmental Quality Act, the Planning Commission finds the project as proposed categorically exempt under CEQA Guidelines Section 15303, Class 3(a), "New Construction or Conversion of Small Structures," because the project is a single-family home in a residential zone and does not have a significant effect on the environment. Additionally, upon review of the project and the entire record, the Planning Commission finds none of the exceptions to the exemption apply pursuant to CEQA Guidelines Section 15300.2.

Coastal Development Permit Findings

2. The Planning Commission finds the development of a new single-family residence is consistent with the applicable provisions of the General Plan and certified Local Coastal Program.
3. The Planning Commission finds the project as revised is compatible with the character of the surrounding neighborhood which is developed with one and two story single family dwellings and compatible with existing uses because it is a single family home in a neighborhood zoned for single family homes.
4. The Planning Commission finds that the development of a new single-family residence will not cause any health and safety concerns, and will not impact neighboring uses, environmentally sensitive habitat areas, or otherwise create significant impacts.

Section 2. Action. The Planning Commission does hereby approve Coastal Development Permit #CP0-408 subject to the following conditions:

STANDARD CONDITIONS

1. Compliance with the Law: All requirements of any law, ordinance or regulation of the State of California, City of Morro Bay, and any other governmental entity shall be complied with in the exercise of this approval.
2. Compliance with Conditions: By signing the Acceptance of Conditions of Approval form, the owner or designee accepts and agrees to comply with all Conditions of Approvals. Deviation from this requirement shall be permitted only by written consent of the Public Services Director and/or as authorized by the Planning Commission. Failure to comply with these conditions shall render this entitlement, at the discretion of the

Director, null and void. Continuation of the use without a valid entitlement will constitute a violation of the Morro Bay Municipal Code and is a misdemeanor.

3. Compliance with Morro Bay Standards: This project shall meet all applicable requirements under the Morro Bay Municipal Code, and shall be consistent with all programs and policies contained in the Zoning Ordinance, certified Coastal Land Use Plan and General Plan for the City of Morro Bay.
4. Conditions of Approval: The Findings and Conditions of Approval shall be included as a full-size sheet in the Building Plans.

CODE REQUIREMENTS:

1. Inaugurate Within Two Years: Unless the construction or operation of the structure, facility, or use is commenced not later than two (2) years after the effective date of this approval and is diligently pursued thereafter, this approval will automatically become null and void; provided, however, that upon the written request of the applicant, prior to the expiration of this approval, the applicant may request up to two extensions for not more than one (1) additional year each. Said extensions may be granted by the Public Services Director, upon finding that the project complies with all applicable provisions of the Morro Bay Municipal Code, General Plan and Local Coastal Program Land Use Plan (LCP) in effect at the time of the extension request. (MBMC Section 17.58.130)
2. Changes: Any minor change may be approved by the Public Services Director. Any substantial change will require the filing of an application for an amendment to be reviewed by the Planning Commission. (MBMC Section 17.58.120)
3. Hold Harmless: The applicant, as a condition of approval, hereby agrees to defend, indemnify, and hold harmless the City, its agents, officers, and employees, from any claim, action, or proceeding against the City as a result of the action or inaction by the City, or from any claim to attack, set aside, void, or annul this approval by the City of the applicant's project; or applicants failure to comply with conditions of approval. This condition and agreement shall be binding on all successors and assigns. (MBMC Section 5.30.540)
4. Construction Hours: Pursuant to Morro Bay Municipal Code Section 9.28.030.I, Construction or Repairing of Buildings. The erection (including excavating), demolition, alteration or repair of any building or general land grading and contour activity using equipment in such a manner as to be plainly audible at a distance of fifty feet from the building other than between the hours of seven a.m. and seven p.m. on weekdays and eight a.m. and seven p.m. on weekends except in case of urgent necessity in the interest of public health and safety, and then only with a permit from the community development department, which permit may be granted for a period not to exceed three days or less while the emergency continues and which permit may be renewed for a

period of three days or less while the emergency continues. (MBMC Section 9.28.030)

Planning Conditions:

1. **Building Height Certification:** Note on the site plan prepared for the building permit, “Prior to either roof nail or framing inspection a licensed surveyor is required to measure the height of the structure and submit a letter to the Planning Division, certifying that the height of the structure is in accordance with the approved set of plans and complies with the height requirements of the Morro Bay, Municipal Code Section 17.12.310.” (MBMC Section 17.12.310)
2. Prior to issuance of a building permit, building permit plans shall identify a benchmark established by a licensed land surveyor as the basis for determining average natural grade in order to ensure compliance with maximum building height.
3. **Dust Control:** That prior to issuance of a grading permit, a method of control to prevent dust and wind blow earth problems, shall be submitted for review and approval by the Building Official. (MBMC Section 17.52.070)
4. **Archaeology:** In the event of the unforeseen encounter of subsurface materials suspected to be of an archaeological or paleontological nature, all grading or excavation shall immediately cease in the immediate area, and the find should be left untouched until a qualified professional archaeologist, knowledgeable in local indigenous culture, or paleontologist, whichever is appropriate, is contacted and called in to evaluate and make recommendations as to disposition, mitigation and/or salvage. The developer shall be liable for costs associated with the professional investigation. (MBMC Section 17.48.310)
5. The northwest corner of the property must be left free and clear of visual obstructions pursuant to Morro Bay Municipal Code 17.48.210.
6. The applicant shall comply with all Planning conditions listed above and obtain inspections from the Planning Division at the necessary time during construction in order to ensure zoning conformance including, but not limited to, setbacks and building height.

Building Conditions:

1. Prior to construction, the applicant shall submit a complete building permit application and obtain the required building permit.

Fire Conditions:

1. Fire Sprinklers. The new residence shall be equipped with an automatic fire sprinkler system, in accordance with Morro Bay Municipal Code, Section 14.08.090(I)(2) and 2010 California Residential Code, Section R313.

2. Carbon Monoxide Alarms. For new construction, an approved carbon monoxide alarm shall be installed in dwelling units and in sleeping units within which fuel-burning appliances are installed and in dwelling units that have attached garages. (CRC 315)
3. Fire Safety During Construction and Demolition shall be in accordance with 2010 California Fire Code, Chapter 14. This chapter prescribes minimum safeguards for construction, alteration and demolition operations to provide reasonable safety to life and property from fire during such operations.

Public Works Conditions:

1. Provide a Drainage Report prepared by a Registered Civil Engineer. The Drainage Report shall conform to Stormwater Management for New and Redevelopment Projects within the City of Morro Bay in the July 2011 amendment to the City Standard Drawings and Specifications*. Specifically, with a lot coverage of between 2,500 and 5,000 square feet of impervious surface, this project shall meet the requirements of the following Parts:
 - a. Part 1: Protection of Water Quality - **Exempt**
 - b. Part 2: Runoff Volume Controls (LID) - **Tier 2 requirements**
 - c. Part 3: Peak Runoff Flow Control – **All requirements**
2. Provide a standard erosion and sediment control plan. The Plan shall show control measures to provide protection against erosion of adjacent property and prevent sediment or debris from entering the City right of way, adjacent properties, any harbor, waterway, or ecologically sensitive area.
3. Perform improvements (e.g. driveway approach) in the City right of way per City Engineering Standards with a Standard Encroachment Permit. Maximum driveway approach width for residential properties is 20 feet. Non-standard improvements in the right of way (e.g. staircase and drainage swale) shall require a Special Encroachment Permit.
4. The paved section of Ridgeway shall be widened on the south side to make a street section half-width of 18 feet.

Add the following Notes to the Plans:

Any damage to City facilities, i.e. curb/berm, street, sewer line, water line, or any public improvements shall be repaired at no cost to the City of Morro Bay.

1. *For more information go to: <http://ca-morrobay.civicplus.com/index.aspx?NID=688> Scroll to the bottom and click Engineering Standards for LID/Hydromodification

PASSED AND ADOPTED by the Morro Bay Planning Commission at a regular meeting thereof held on this 6th day of May, 2014 on the following vote:

AYES:

NOES:

ABSENT:

ABSTAIN:

Rick Grantham, Chairperson

ATTEST

Rob Livick, Planning Secretary

The foregoing resolution was passed and adopted this 19th day of February 2014.

EXHIBIT B

Cindy Jacinth - Story poles for home at 1000 Ridgeway

From: Perennial Architect <ruel@perennialarchitect.com>
To: John Fennacy <jfennacy@morro-bay.ca.us>, Michael Lucas <mlucas@morro-bay...>
Date: 5/28/2014 2:17 PM
Subject: Story poles for home at 1000 Ridgeway
CC: Cindy Jacinth MB Planner <CJacinth@morro-bay.ca.us>

Planning Commissioners,

I am working to complete all the requests your commission asked of us at the last meeting for Reed and Carol Adamson's new home design at 1000 Ridgeway.

I have placed the story poles at the corners of the house on Fairview and Ridgeway Street sides of the new home. I invite you to walk or drive by to see the location and height of the new home design. The new home is significantly set back from where the existing home is located off of Ridgeway Street.

While I was putting these up, I had the opportunity to talk with many of the neighbors and some of the people who use the trail up to Black Hill. I found a warm and positive response from most folks I talked with about the home and showed the design to. Many were perplexed that the home had been misrepresented by some neighbors to be much larger than has been proposed.

All of the close neighbors to the Adamson's lot are in support of the new home design, except one new out-of-town owner, who was not around to talk to. The closest neighbors next door Marjorie and Nancy Winters said they like the new design and support this home, even though they originally signed the appellate petition against it.

Reed and Carol Adamson have had a second home in Morro Bay for about 10 years and have been good neighbors for those of us lucky enough to know them. They have made extensive effort to show how this home design meets all the City's codes and we have shown that they have mitigated all of the many issues the appellate has brought up.

I will be providing new renderings showing the new home design with shade and shadow and also from the perspective of viewing the home from the intersection Ridgeway and Fairview streets. Even though this is one of the largest lots in the neighborhood, this home is not the largest home. Due to the many articulations in the architectural design of this home and how it steps back on the upper story from the lower story, this home will appear smaller than it is and it will blend well into the character of the neighborhood.

EXHIBIT B

Let me know if you have any questions or need more information,

Ruel J. Czach, architect

[805-471-9342](tel:805-471-9342)

EXHIBIT C - STORY POLES



EXHIBIT C - STORY POLES



EXHIBIT C - STORY POLES



EXHIBIT D



EXHIBIT D



EXHIBIT E - STREET CORNER PERSPECTIVE



EXHIBIT F

Exhibit F – May 6, 2014 Staff Report and Attachments can be found at the following link:

<http://morro-bay.ca.us/ArchiveCenter/ViewFile/Item/2099>



AGENDA NO: B-2

MEETING DATE: June 3, 2014

Staff Report

TO: Planning Commissioners **DATE:** May 29, 2014

FROM: Cindy Jacinth, Associate Planner

SUBJECT: *Continued from the 4-15-14 Planning Commission meeting*
Coastal Development Permit (CP0-420) for addition to residence greater than 10% in appeals jurisdiction of the coastal zone & Parking Exception (AD0-088) to allow one covered and enclosed garage space and one tandem uncovered driveway parking space.

RECOMMENDATION:

CONDITIONALLY APPROVE THE PROJECT by adopting a motion including the following action(s):

- A. Adopt Planning Commission Resolution 12-14 which includes the Findings and Conditions of Approval for the project depicted on site development plans dated May 14, 2014

APPLICANT/AGENT: Bill & Joyce Cockrill / Stephen Grauten

LEGAL DESCRIPTION/APN: 065-233-057

PROJECT SUMMARY: At the April 15, 2014 meeting, Planning Commission held a public hearing to consider a coastal development permit request for a 310 square foot addition to an existing single family residence located at 3031 Beachcomber. The property is within the Coastal Commission appeals jurisdiction where additions greater than 10 percent of existing gross floor area are required to obtain a coastal development permit from the Planning Commission. Please refer to original April 15, 2014 staff report and attachments.

The direction of the Planning Commission was to continue the project to the May 20, 2014 meeting. On May 20, 2014, the Planning Commission, at staff request, continued the hearing to the June 3, 2014 meeting.

At the April 15, 2014, the Planning Commission requested that the applicant incorporate

Prepared By: CJ Department Review: RL

certain revisions into the proposed plans. The City has received a response from the Applicant addressing each of the Planning Commission comments which is attached as Exhibit B. Each of these issue points is addressed below:

Parking

The Zoning Ordinance Chapter 17.44 requires single family dwellings to provide two covered and enclosed spaces for each dwelling. Garage spaces shall be a minimum of ten feet by twenty feet for two or more spaces. (MBMC 17.44.020.D.p.ii and MBMC 17.48.045.A). Also, the Municipal Code defines a garage as an “accessible and usable covered space entirely enclosed and of not less than ten by twenty feet each for a storage of automobiles. (MBMC 17.12.290). City records show a fence/wall permit was issued on July 12, 1996 which partially blocks the garage entry access. The wall is located outside of the Applicant’s property line which covers part of the opening of the existing 16 foot wide garage door, constraining the ingress/egress of the garage and accessibility of both parking spaces.

Furthermore, because of the restricted width of the real property, the driveway at 10 feet wide is 100% of the actual street frontage which prevents the Applicant from widening the driveway to improve ingress/egress. As part of the proposed remodel, the applicant is requesting to replace the 16 foot wide garage door with an 11 foot wide garage door in order to align with the width of the existing driveway. Currently, the garage measures slightly smaller than the required 20 feet by 20 feet, but with the proposed remodel, the garage will be extended by a foot for an interior dimension measurement of the required 20 feet by 20 feet.

To make the property conforming to the City’s parking standards, the Applicant has applied for a parking exception to make legal the obstructed garage ingress/egress by providing for one covered and enclosed parking space and the second space as uncovered tandem parking in the narrow driveway which is outside of the front setbacks.

Incorporate Additional Permeable Surfacing

The Applicant’s original submittal did not include a City requirement to incorporate additional permeable surfacing because it did not meet the threshold requirement of gross impervious area of more than 2,500 square feet. However, the Applicant response identifies the incorporation of drainage in the form of narrow three inch wide planters along the hard paving of the sidewalks so that storm water runoff can leach into the planters which will be filled with porous rock, sand and mulch. In addition, other planters, and potted plants are proposed for aesthetic appeal.

Explore Feasibility of Underground Utilities

The Applicant has submitted a response letter regarding feasibility of underground utilities. Due to the unique flag lot shaped property, the amount of street frontage is

limited to the ten foot driveway width. The Applicant's response states the home sits mid-span between power poles. Therefore, in order to underground utilities would require an easement from a neighboring property in order to set a new power pole.

Title 14 Compliance

The existing home has an interior door which leads from a bedroom to the garage. The Applicant has revised the plans to remove this existing door. In addition, at the time of building permit processing, the Building Division will ensure all compliance with Title 14 requirements.

OA-1 Zoning / Driftwood Avenue Paper Street

Ownership of Driftwood Avenue

Driftwood Avenue also known as 2nd Street, is an unimproved "paper" street which appears on a tract map as filed with the County of San Luis Obispo on July 2, 1917 for this subdivision also known as The Atascadero Beach Tract. This portion of Driftwood Avenue which runs along the western boundary of the homes on the west side of Beachcomber Street was never offered for public dedication according to research performed by the Public Services Director/City Engineer. Staff research further determined that through non-use of this paper street, the easterly half of this private street is owned by the adjoining property owners along Beachcomber. The westerly half of this area is owned by the State of California Department of Parks. See attached Exhibit C from the Public Services Director/City Engineer.

The Public Service Director, who is a licensed surveyor, fully researched the ownership interest of 2nd Street (Driftwood Avenue). He found that 2nd Street was shown on the Map that served to subdivide the area known as Atascadero Beach. That Map was filed with San Luis Obispo County on July 2, 1917 and the owners statement stated "...no street, road, boulevard, lane park, plaza, tract, lot or other place shown or delineated on said map is dedicated or intended to be dedicated to any public use whatsoever...the fee to all, lots, parcels or tracts fronting or abutting on (said streets, etc)...extends to the centerline..." While there has been subsequent action for the dedication of various easements and some street segments, the Director found no instrument that evidenced a dedication of the portion of Driftwood Avenue that lies West of the property to the public.

Based on this research, City staff concludes and take the position that portion of what is commonly referred to as 2nd Street or Driftwood Avenue that is adjacent to the Applicant's property is part of their legal lot of record.

Private Covenants

The Staff's opinion as to the ownership of the subject portion of 2nd Street is not affected by a declaration of covenants and deed submitted by the neighbors as discussed below.

Neighbors to the proposed project submitted to the City a *Declaration of Protective Covenants Affecting Portions of Atascadero Beach, County Of San Luis Obispo, State of California, Made by Morro Beach Company*, recorded June 16, 1953 in Volume 693, page 403 of Official Records of San Luis Obispo County. This covenant states, in part, on page 5, section c, “...*No building shall be located nearer than five feet to the interior lot line....*”

Neighbors also provided a copy of a deed for Lot 9 of Block 15B, Book 2, Page 15 of Map, that stated , in part, “*Eleventh: The fee of each and all streets, roads, alleys, parks and other places is reserved to the first party, but the second party shall have and is hereby granted a license to use said reserved places as private streets or places belonging to the first party...*”

Both of these documents are private agreements and cannot be enforced by the City of Morro Bay. The City is making no claims to the validity of the Covenant or Deed provided by the neighbors nor to the rights the neighbors may have regarding the development of the lots within the Atascadero Beach subdivision.

Zoning

The concern by Planning Commission at the April 15, 2014 meeting centered around whether a grant of special privilege could be construed if the Applicant was allow to expand square footage on the west side of the property. Though the S.2A overlay district requires a 5 foot rear yard setback, as discussed above, the legal lot of record by the Applicant includes this easterly half of the paper street which is 25 feet in length. Therefore, the property can be considered to be split zoning, R-1/S.2A to the east and OA-1 zoning to the west. Though no residential uses are allowed in the OA-1 zoning, the setback measurement for development purposes is measured from the property boundary. With the proposed 110 square foot addition to the living room and kitchen area, the property would be one foot from the R-1/S.2A boundary or 26 feet from the Applicant's rear property line.

The Applicant has submitted additional photos since the last Planning Commission meeting to illustrate other properties in this vicinity which have encroached westward. See attached Exhibit D.

Snowy Plover Nesting Concerns

Planning Commission also voiced concerns at its April 15, 2014 meeting regarding flagging of the dunes area west of the Applicant’s property for impact to Snowy Plover. Staff conversation on May 23, 2014 with Vince Cicero, Senior Environmental Scientist for State Parks Department determined the Applicant is well outside the range of snowy plover habitat, in excess of 500 feet. Mr. Cicero also relayed to City staff that to confirm this, Bill Standly at the State Department of Fish and Wildlife was also contacted for verification. The flags posted by State Parks staff were due to a property survey of the Driftwood Avenue Paper Street that was recently conducted in March and April of 2014.

PROJECT DESCRIPTION:

The project is located in the R-1/S.2A overlay district in an existing developed single family residential neighborhood. The home was built in 1970 and the existing square footage of home and garage is 1655 square feet. The 310 square foot addition project includes a 180 square foot addition to the master bedroom/ bath area, a 20 square-foot addition to the garage area/ façade of the home fronting on Beachcomber in order to improve footings, and lastly a 110 square foot addition to the west side of the home which would expand square footage of the living room and kitchen area. There is an existing wood 30” ground level deck on the west facing side of the home that due to age is proposed to be replaced with concrete. The deck footprint is not proposed to be expanded and will be smaller in depth with the proposed 110 sf living room addition. A portion of the deck projects into the OA-1 zoning area. However, OA-1 zoning does allow “private open space areas including those which can be used for recreational functions not involving significant structures.”

The residential use is consistent with the General Plan designation of Low-Medium Density Residential and with the Single-Family Residential (R-1) Zoning designation. The property also extends into the adjacent open area zoning designation of OA-1. The OA-1 zoning district does not allow residential uses. The existing single family residence does not and is not proposing to extend into the OA-1 zoning district. To ensure zoning conformance, staff is recommending a condition of approval be added to the property that only uses allowed by the OA-1 zoning district be permitted in order to prevent residential encroachment.

<u>Zoning Ordinance Standards</u>		
	Standards	Proposed
Front Yard Setback	15 feet, including garage	60 feet +/- existing
Side Yard Setback	5 feet	5 feet existing

Rear Yard Setback	5 feet	25 feet +/- . Property crosses zoning boundary.
Lot Coverage	50% allowed	42.7%
Height	14 feet for flat roofs or 17 feet for 4 in 12 or greater pitch	14.67' (roof is 4 in 12 pitch)-no proposed height changes
Parking	2 covered and enclosed spaces	Existing 2 car garage to be enlarged by 1 foot. Parking exception requested to provide for accessible spaces through one covered and enclosed and one tandem driveway space due to substandard garage ingress/egress

Setbacks

The existing property is a unique flag lot or panhandle shaped property with the residence set back approximately 60 feet from Beachcomber Street. The property meets all existing setbacks with the exception of the northern side yard setback which is short by 1 inch. The applicant is not proposing to make any changes to this northern setback. The applicant is not required to obtain a conditional use permit for the 1 inch non-conforming setback because pursuant to MBMC 17.56.160.A.4, for additions of less than 25 percent of existing floor area, nonconforming structure may be expanded in accordance with this section one time only. City records research determined that there have been no previous expansions of this structure and therefore meets this code section as a proposed expansion of 19 percent.

The rear or western property line shows a setback approximately 26 feet from the property line which includes the OA-1 zoning property owned by the Applicant. Proposed additions are in conformance with setback requirements as illustrated in the table above.

Local Coastal Program, General Plan and Zoning Ordinance Consistency

The proposed addition of 310 square feet to the existing single family residence represents a 19 percent increase in gross floor area on the site. Per MBMC section 17.58.020G, additions in the Coastal Appeals jurisdiction greater than ten percent of the gross floor area of the existing residence require regular Coastal Development Permit approval from the Planning Commission. The requested addition would provide visual enhancement and update to a residence that is still consistent with the residential neighborhood and vicinity.

The proposed additions have been designed to add square footage in areas of the home

that are already existing, for example, the garage façade, the back of the home and the master bath area. The addition as designed will not impact existing public views nor impact public recreation policies as described in Chapter 3 of the California Coastal Act as this project is a remodel of an existing home in an existing developed single family residential neighborhood. The project as designed also strives to be subordinate in character to its oceanfront surrounding. The height/bulk relationship is maintained as the project is both under height and under lot coverage and is therefore consistent with the City's Local Coastal Program and Zoning section 17.48.190.

The Local Coastal Program policies which require protection of environmentally sensitive habitat do not apply because the parcel is not mapped as ESH nor is it adjacent to ESH. The proposed remodel project on a developed site was determined to not adversely affect the closest mapped sensitive habitats 700 feet to the south or 650 feet to the north.

ENVIRONMENTAL DETERMINATION: Environmental review was performed for this project and staff determined pursuant to CEQA that the project is Categorically Exempt under the Class 1 exemption for small additions. There are no known sensitive resources or other unique circumstances applicable to the site or its surroundings that would suggest this exemption ought not be applied. The property is not mapped as environmentally sensitive habitat nor within an ESH overlay zone.

PUBLIC NOTICE: Notice of this item was published in the San Luis Obispo Tribune newspaper on April 4, 2014 and notice of the parking exception request was published in the San Luis Obispo Tribune on May 23, 2014 and all property owners of record within 300 feet and occupants within 100 feet of the subject site were notified of this evening's public hearing and invited to voice any concerns on this application.

CONCLUSION: The project is consistent with the General Plan and Local Coastal Plan and building code regulations and is consistent with the existing single family residences in the vicinity. As presented, the proposed improvements and proposed addition of 310 square feet will maintain consistency and compatibility with the neighborhood and update a home which according to City research has not been updated since it was built in 1970. The Parking Exception as approved will conform to all other parking standards and seeks to address the limitations of real property with a driveway that cannot be widened to provide for two covered and enclosed accessible parking spaces.

The project is consistent with the Zoning Ordinance because housing is a principally allowed use in the Low/Medium Density land use designation and because the Ordinance allows residences in the Coastal Appeals jurisdiction to add square footage subject to obtaining a regular Coastal Development permit as approved by the Planning Commission (Section 17.58.020G).

Staff recommends that the Planning Commission conditionally approve the requested Coastal Development Permit #CP0-420 for the proposed 310 square foot addition to a single family residence located in the coastal appeals jurisdiction, and Parking Exception AD0-088 for a garage with a substandard ingress/egress with one covered and enclosed space and one uncovered tandem driveway space as shown on plans dated May 14, 2014, by adopting Planning Commission Resolution 07-14 which includes the Findings and Conditions of Approval for the project.

EXHIBITS:

Exhibit A - Planning Commission Resolution 07-14

Exhibit B – Applicant Response Letter dated May 14, 2014

Exhibit C – July 18, 2013 letter to Applicant from Public Services Director/City Engineer

Exhibit D - Google Earth photos of Existing Beachcomber Properties Aerial & West
Ground-level View

Exhibit E – County Assessor’s Parcel Map and Subdivision Certification

Exhibit F - Plan Reductions dated May 14, 2014

Exhibit G – Staff Report and Attachments for April 15, 2014 Planning Commission meeting at the following hyperlink. Agenda Item B-3:

<http://morro-bay.ca.us/ArchiveCenter/ViewFile/Item/2086>

EXHIBIT A

RESOLUTION NO. PC 12-14

A RESOLUTION OF THE MORRO BAY PLANNING COMMISSION APPROVING COASTAL DEVELOPMENT PERMIT (CP0-420) TO ALLOW AN ADDITION GREATER THAN 10 PERCENT TO AN EXISTING SINGLE FAMILY RESIDENCE IN THE COASTAL APPEALS JURISDICTION AND APPROVING PARKING EXCEPTION (AD0-088) TO ALLOW A GARAGE WITH ONE COVERED AND ENCLSOED SPACE AND ONE UNCOVERED TANDEM DRIVEWAY SPACE DUE TO SUBSTANDARD INGRESS/EGRESS AT 3031 BEACHCOMBER

WHEREAS, the Planning Commission of the City of Morro Bay (the “City”) conducted a public hearing at the Morro Bay Veteran’s Hall, 209 Surf Street, Morro Bay, California, on April 15, 2014, for the purpose of considering Coastal Development Permit CP0-420 for an addition of 310 square feet, or greater than 10 percent to an existing single family residence in the coastal appeals jurisdiction at 3031 Beachcomber Avenue; and

WHEREAS, the Planning Commission continued the public hearing to the May 20, 2014 meeting during which the public hearing was continued again to the June 3, 2014 meeting; and

WHEREAS, the Planning Commission conducted a public hearing at the Morro Bay Veteran’s Hall, 209 Surf Street, Morro Bay, California, on June 3, 2014, for the purpose of considering Parking Exception Permit AD0-088 to allow a garage with substandard ingress/egress in conjunction with the coastal development permit (CP0-420) request; and

WHEREAS, notices of the public hearings were provided at the time and in the manner required by law; and

WHEREAS, the Planning Commission has duly considered all evidence, including the testimony of the applicant, interested parties, and the evaluation and recommendations by staff, presented at said hearing.

NOW, THEREFORE, BE IT RESOLVED by the Planning Commission of the City of Morro Bay as follows:

Section 1: Findings. Based upon all the evidence, the Commission makes the following findings:

California Environmental Quality Act (CEQA) Finding

1. Pursuant to the California Environmental Quality Act, the project is categorically exempt under Section 15301, Class 1 for small additions to existing structures because the addition will not result in an increase of more than 50 percent of the floor area of the structure before the addition, or 2,500 square feet, whichever is less.

Coastal Development Permit Findings

1. That the conditionally approved project is an allowable use in its zoning district and is also consistent with the applicable provisions of the certified Local Coastal Program for the City of Morro Bay, and is also in conformance with the public access and public recreation policies of Chapter 3 of the California Coastal Act., because a single-family residence is a principally permitted use in the R-1/S.2A zone district and because the proposed additions to the existing home will not impact public views or public recreation.

Parking Exception Findings

2. The parking exception to allow one covered and enclosed garage parking space and one uncovered tandem parking space will not constitute a grant of a special privilege with the driveway or parking limitations upon other properties in the vicinity and alternative parking design standards of this Chapter will be adequate to accommodate on the site all parking needs generated by the use due to the unique creation of the flag shaped lot which prevents the existing two car garage from being accessibly used as a two car garage; and
3. The parking exception will not adversely affect the health, safety, or general welfare of persons working or residing in the vicinity and that no traffic safety problems will result from the garage and tandem parking because the garage can accommodate one parked vehicles and the sixty foot driveway length exceeds the minimum required length and is well outside the front setback area; and
4. The parking exception is reasonably necessary for the applicant's full enjoyment of uses similar to those upon the adjoining real property because the property has been legally configured as a flag shaped lot that is limited from improving the ingress and egress of the garage access. The City-issued 1996 permit allowing for construction of a wall on a neighbor's property also inhibits the accessibility of the two car garage; and
5. Consistent with General Plan and LCP. That the parking exception is found consistent with the intent of the general plan and land use plan of the local coastal program.

Section 2. Action. The Planning Commission does hereby approve Coastal Development Permit CP0-420 and Parking Exception AD0-088 for property located at 3031 Beachcomber Avenue subject to the following conditions:

STANDARD CONDITIONS

1. This permit is granted for the land described in the staff reports dated April 9, 2014 and May 29, 2014, for the project at 3031 Beachcomber Avenue depicted on plans dated May 14, 2014, on file with the Public Services Department, as modified by these conditions of approval, and more specifically described as follows: Site development, including all buildings and other features, shall be located and designed substantially as shown on plans, unless otherwise specified herein.
2. Inaugurate Within Two Years: Unless the construction or operation of the structure, facility, or use is commenced not later than two (2) years after the effective date of this Resolution and is diligently pursued, thereafter, this approval will automatically become null and void; provided, however, that upon the written request of the applicant, prior to the expiration of this approval, the applicant may request up to two extensions for not more than one (1) additional year each. Any extension may be granted by the City's Public Services Director (the "Director"), upon finding the project complies with all applicable provisions of the Morro Bay Municipal Code (the "MBMC"), General Plan and certified Local Coastal Program Land Use Plan (LCP) in effect at the time of the extension request.
3. Changes: Minor changes to the project description and/or conditions of approval shall be subject to review and approval by the Public Services Director. Any changes to this approved permit determined, by the Director, not to be minor shall require the filing of an application for a permit amendment subject to Planning Commission review.
4. Compliance with the Law: (a) All requirements of any law, ordinance or regulation of the State of California, the City, and any other governmental entity shall be complied with in the exercise of this approval, (b) This project shall meet all applicable requirements under the MBMC, and shall be consistent with all programs and policies contained in the LCP and General Plan for the City.
5. Hold Harmless: The applicant, as a condition of approval, hereby agrees to defend, indemnify, and hold harmless the City, its agents, officers, and employees, from any claim, action, or proceeding against the City as a result of the action or inaction by the City, or from any claim to attack, set aside, void, or annul this approval by the City of the applicant's project; or applicants failure to comply with conditions of approval. Applicant understands and acknowledges the City is under no obligation to defend any legal actions challenging the City's actions with respect to the project. This condition and agreement shall be binding on all successors and assigns.
6. Compliance with Conditions: The applicant's establishment of the use or development of the subject property constitutes acknowledgement and acceptance of all Conditions of Approval. Compliance with and execution of all conditions listed hereon shall be required prior to obtaining final building inspection

clearance. Deviation from this requirement shall be permitted only by written consent of the Director or as authorized by the Planning Commission. Failure to comply with any of these conditions shall render this entitlement, at the discretion of the Director, null and void. Continuation of the use without a valid entitlement will constitute a violation of the MBMC and is a misdemeanor.

7. Compliance with Morro Bay Standards: This project shall meet all applicable requirements under the MBMC, and shall be consistent with all programs and policies contained in the LCP and General Plan of the City.

PLANNING CONDITIONS

1. Archaeology: In the event of the unforeseen encounter of subsurface materials suspected to be of an archaeological or paleontological nature, all grading or excavation shall immediately cease in the immediate area, and the find should be left untouched until a qualified professional archaeologist or paleontologist, whichever is appropriate, is contacted and called in to evaluate and make recommendations as to disposition, mitigation and/or salvage. The developer shall be liable for costs associated with the professional investigation.
2. Construction Hours: Pursuant to MBMC subsection 9.28.030.I, Construction or Repairing of Buildings, the erection (including excavating), demolition, alteration or repair of any building or general land grading and contour activity using equipment in such a manner as to be plainly audible at a distance of fifty feet from the building other than between the hours of seven a.m. and seven p.m. on weekdays and eight a.m. and seven p.m. on weekends except in case of urgent necessity in the interest of public health and safety, and then only with a permit from the Public Services Department, which permit may be granted for a period not to exceed three days or less while the emergency continues and which permit may be renewed for a period of three days or less while the emergency continues.
3. Dust Control: That prior to issuance of a grading permit, a method of control to prevent dust and wind blow earth problems shall be submitted for review and approval by the Building Official.
4. Conditions of Approval: Prior to the issuance of a Building Permit, the final Conditions of Approval shall be attached to the set of approved plans. The sheet containing Conditions of Approval shall be the same size as other plan sheets and shall be the last sheet in the set of Building Plans.
5. Only uses allowed within the Open Area (OA-1) zoning district shall be permitted in the area of the subject property that is zoned OA-1 and as consistent with the City's Local Coastal Program.

PUBLIC WORKS CONDITIONS

1. Sewer Lateral: If an existing lateral is used, upon issuance of the Building Permit, perform a video inspection of the lateral and submit to Public Services via flash drive or DVD. Lateral shall be repaired if necessary. A sewer backwater valve and downstream cleanout, extended to grade, shall be installed on the sewer lateral.
2. Sewer Backwater Valve: A sewer backwater valve shall be installed on site to prevent a blockage or maintenance of the municipal sewer main from causing damage to the proposed project. Please indicate on the plans.

Add the following Notes to the Plans:

1. No work within nor any use of any public rights of way shall occur without an encroachment permit. Encroachment permits are available at the City's Public Services Office located at 955 Shasta Ave. The Encroachment permit shall be issued concurrently with the building permit.
2. Any damage to any of the City's facilities (such as curb/berm, street, sewer line, water line, or any public improvements) resulting, directly or indirectly from construction operations related to this project shall be repaired at no cost to the City.

BUILDING CONDITIONS

1. Building Permit: Prior to construction, the applicant shall submit a complete Building Permit Application and obtain the required Permit.

PASSED AND ADOPTED by the Morro Bay Planning Commission at a regular meeting thereof held on this 3rd day of June, 2014 on the following vote:

AYES:

NOES:

ABSENT:

ABSTAIN:

Chairperson

ATTEST

Rob Livick, Planning Secretary

The foregoing resolution was passed and adopted this 3rd day of JUNE, 2014.

EXHIBIT B

RECEIVED

MAY 14 2014

City of Morro Bay
Public Services Department

May 14, 2014

City of Morro Bay Planning Commission
Public Services Department
955 Shasta Avenue
Morro Bay, CA 93442

RE: Coastal Development Permit / CPO-420 / Planning Commission Meeting April 15, 2014

Dear Planning Commissioners:

During the April 15, 2014 Planning Commission meeting, your team requested the following changes or revisions to our plans for a 310 square foot addition to our home. These were presented to us in a letter from the Planning Department dated April 21, 2014 which is attached. Our response to each of your five concerns is address below:

1. Demonstrate parking code compliance by revising plans to include a 20X20 interior space garage with improved access to the two car garage by redesigning driveway aprons. If you cannot comply with the code requirement for a two car garage that is 20X20 an application for a parking exception shall be made.

We have a two car garage with a 16 foot wide garage door, a driveway that is only 10 feet wide, and a wall (which belongs to a neighbor) that covers about two feet of the north side of the garage door. It is impossible to drive two cars into the garage at the same time but this can be done one car at a time. The same wall that blocks the north side of the garage will be eventually built on the side south of the garage and will block the door there, as well. The way in which the property lines on both sides of the garage were drawn up (and approved by the City) creates this blockage. In addition, we own no property on either side of our driveway. As a result we are not able to change the size of our driveway aprons or width of the driveway. We are planning to make the garage door smaller (11 feet wide) to be more closely aligned to the width of the driveway and have submitted the Parking Exception document to the Public Services Department. Our garage will remain the same size (two car) as when we originally purchased our home 10 years ago.

2. Incorporate additional permeable surfacing to reduce storm water runoff, such as loose rock with pervious sand paving in lieu of hard paving.

We have incorporated drainage in the form of narrow three inch wide planters along the hard paving of our sidewalks so that storm water runoff can leach into the planters which will be filled with porous rock, sand and mulch. We plan to plant baby tears in these leaching areas for a soft, green look. In addition we continue to have various other planters for aesthetic appeal along the sidewalks and patio areas as well as potted plants. The hard paving is in place to facilitate wheel chair access and ease of mobility on both sides of our home. Please refer to resubmitted plans.

EXHIBIT B

3. Explore feasibility of underground utilities.

Our neighborhood has overhead power lines. Our home sits mid-span between the power poles that support the overhead lines. It would require a new power pole to be set on a neighbor's property, with a new line drop to the pole in order for us to access underground power. Since we do not own any frontage on the street (with the exception of the 10 foot wide driveway) we would need to have permission from a neighbor to place the pole and trench the line to our property. We do not want to add another pole in the sight line of our neighbors – this makes no sense. We designed and always had underground power at our home in See Canyon, so we are in favor of underground power and are more than willing to share the cost of this service when the City decides to move in this direction. In addition and as a point of reference, many of our neighbors who have power poles on their own property, have already added underground power but they are not mid-span like us. It would be helpful if the Planning Commission recommended placing underground power in our neighborhood to start the process with the Public Services Department. Many of the neighborhoods around us already have underground power.

4. Clarify the Title 14 compliance regarding openings between the garage and adjacent sleeping area.

Although the door in question between the garage and the original second bedroom has been in place for forty-five years, we have removed this door from our plans to support Title 14 compliance. Please refer to resubmitted plans.

5. All development within the OA-1 zoned portion of the project site shall be in compliance with proposed concrete or ocean deck removed form OA-1 portion of the property.

As we started our remodel process, we worked closely with the Planning Department, Mrs. Cindy Jacinth, and the City engineer, Mr. Rob Livick, in order to stay within all regulations and compliance guidelines on our plans. As tax payers, we simply asked what we could legally build on our property, knowing that we are in an environmentally sensitive area. The plans that you see reflect what the Planning Department has said that we can build and what has already been approved by them during the April 15, 2014 meeting. There are 18 houses in our neighborhood that face onto the beach. A visual check of the area shows that several of these homes have already built what is being requested in our plans, so what we are asking for already has a precedent. These homes have added space within their lot lines and have landscaping in the form of decks. The City Engineer stands by his findings as being legally correct, as does the City Attorney. For additional details, please refer to the Planning Department staff presentation during the June 3, 2014 Planning Commission meeting, the document dated July 18, 2013 from City Engineer, Mr. Rob Livick, current input from findings of the City Engineer, Mr. Rob Livick (he plans to attend the June 3, 2014 meeting) and recent findings from the City Attorney who also supports the findings of the City Engineer.

EXHIBIT B

6. Snowy Plover nesting concerns during the building of our remodel.

On May 13, 2014, we spoke with State Park staff and biologists about our remodel and concerns for the Snowy Plover nesting area, (Mr. Vince Cicero, 805-471-2049 and Ms. Jodi Isaacs, 805 458-3974). They are in charge of the dunes restoration project (in front of our home) that supports threatened species (the Snowy Plover, as an example) Both know of our property, and both stated that there is no concern for the Plovers from our building project. Per Mr. Cicero and Ms. Isaacs, the sea breeze is usually on-shore carrying the sound away from the beach area, and our home is far away from the Plover nesting area. On our behalf, we have asked one of them to contact City Planner, Mrs. Cindy Jacinth, to confirm this understanding so that she can add it to her report.

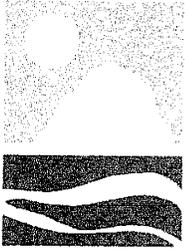
Our remodel will bring our older 1970 home with single pane windows and no insulation into current, "green energy" compliance, while improving our neighborhood, and our carbon footprint. We have undergone a voluntary energy audit in order to bring our home into the highest energy compliance because we care about our environment (water usage, electricity usage, air quality, and energy conservation). We did not have to do this extensive work but we care and believe that each person can make a difference by the actions that we each take. This is costing us more financially, but we think that it is worth it. We consider ourselves, as does the State Park, guardians of the dunes and care deeply our greater environment, our neighborhood and our City. Your consideration of approving our home remodel and our Coastal Development Permit is greatly appreciated.

Sincerely,



William R. Cockrill and Joyce Hunter Cockrill
3031 Beachcomber Drive
Morro Bay, CA 93442
(805) 771-9098 – home
(805) 441-8596 – Bill's cell

EXHIBIT B



City of Morro Bay

Morro Bay, CA 93442

(805) 772-6200

www.morro-bay.ca.us

April 21, 2014

Bill Cockrill
3031 Beachcomber
Morro Bay, CA 93442

RE: Coastal Development Permit / CP0-420 / Planning Commission Meeting April 15, 2014

Dear Mr. Cockrill:

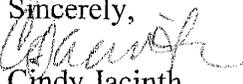
At the April 15, 2014 Planning Commission meeting, the hearing for your Coastal Development Permit for a 310 square foot addition to your home was continued to the May 20, 2014 Planning Commission meeting.

The motion of the Planning Commission was to request that the following changes or revisions be incorporated into your plans:

1. Demonstrate parking code compliance by revising plans to include a 20 x 20 interior space garage with improved access to the two car garage by redesigning driveway aprons. If you cannot comply with the code requirement for a two car garage that is 20 x 20, an application for parking exception shall be made.
2. Incorporate additional permeable surfacing to reduce storm water runoff, such as loose rock with pervious sand paving in lieu of hard paving.
3. Explore feasibility of undergrounding utilities.
4. Clarify Title 14 compliance regarding openings between the garage and adjacent sleeping area.
5. All development within the OA-1 zoned portion of the project site shall be in compliance with proposed concrete or ocean deck removed from OA-1 portion of the property.

Please contact the Planning Division of the Public Services Department if you have any questions.

Sincerely,



Cindy Jacinth

Associate Planner

FINANCE
595 Harbor Street

ADMINISTRATION
595 Harbor Street

FIRE DEPT.
715 Harbor Street

PUBLIC SERVICES
955 Shasta Avenue

HARBOR DEPT.
1275 Embarcadero Road

CITY ATTORNEY
595 Harbor Street

POLICE DEPT.
870 Morro Bay Boulevard

RECREATION & PARKS
1001 Kennedy Way

EXHIBIT C



City of Morro Bay

Morro Bay, CA 93442

(805) 772-6200

www.morro-bay.ca.us

July 18, 2013

William Cockrill
3031 Beachcomber Drive
Morro Bay, CA 93442

RE: Status of Driftwood Avenue AKA "B" Street located in the Atascadero Beach Subdivision (3MB15)

Dear Mr. Cockrill:

During discussions with City staff regarding the remodel/addition to your home located at 3031 Beachcomber Drive, the question regarding the status of the unimproved "paper" street, Driftwood Avenue, came up.

My research indicated that 2nd Street (Driftwood Avenue) was shown on the Map that served to subdivide the area known as Atascadero Beach. That Map was filed with San Luis Obispo County on July 2, 1917 and the owners statement stated "...no street, road, boulevard, lane park, plaza, tract, lot or other place shown or delineated on said map is dedicated or intended to be dedicated to any public use whatsoever...the fee to all, lots, parcels or tracts fronting or abutting on (said streets, etc)...extends to the centerline..." While there has been subsequent action for the dedication of various easements and some street segments, I have found no instrument that dedicates the portion of Driftwood Avenue that lies West of your property to the public. Even though there is no public right of access to use Driftwood Avenue, I have found nothing that relinquishes any private right of access.

Regarding the development of the portion of your property that lies within Driftwood Avenue: the zoning for your property changes from R-1 to OA-1 at the Westerly side of Block 15B (Easterly Side of Driftwood Avenue) of the previously stated subdivision. There are no residential uses allowed in the OA-1 zoning, although you can use the centerline of Driftwood for setback measurement purposes, no new construction can occur in the OA-1 zoning district.

I hope that this helps to clarify the development on your property.

Sincerely,

Rob Livick, PE/PLS
Public Services Director/City Engineer

Cc: Rob Schultz, Kathleen Wold

EXHIBIT D - VICINITY PICTURES SHOWING COMPARISON OF WESTWARD DEVELOPMENT ENCROACHMENT

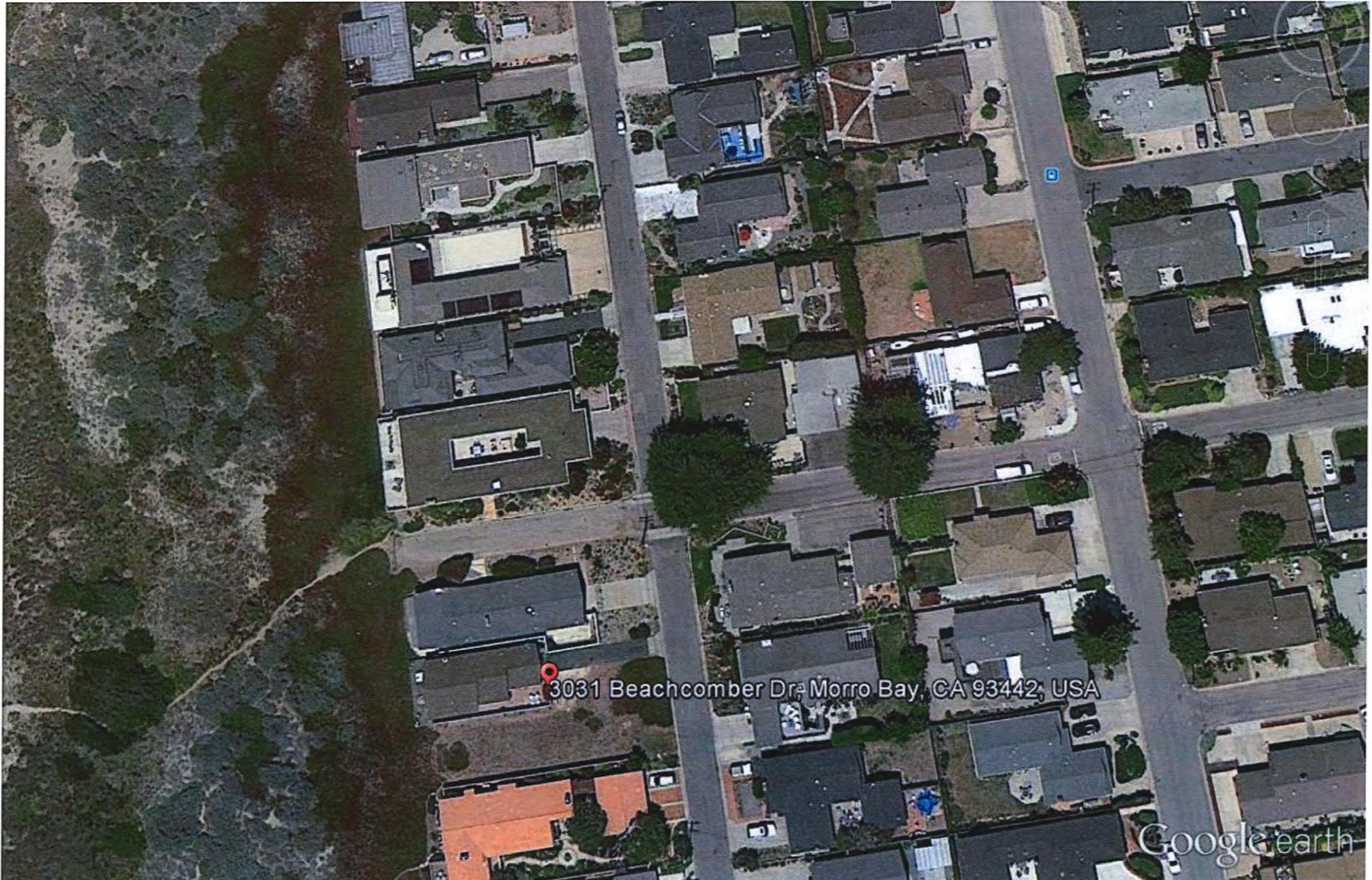


EXHIBIT D - VICINITY PICTURES SHOWING COMPARISON OF WESTWARD DEVELOPMENT ENCROACHMENT

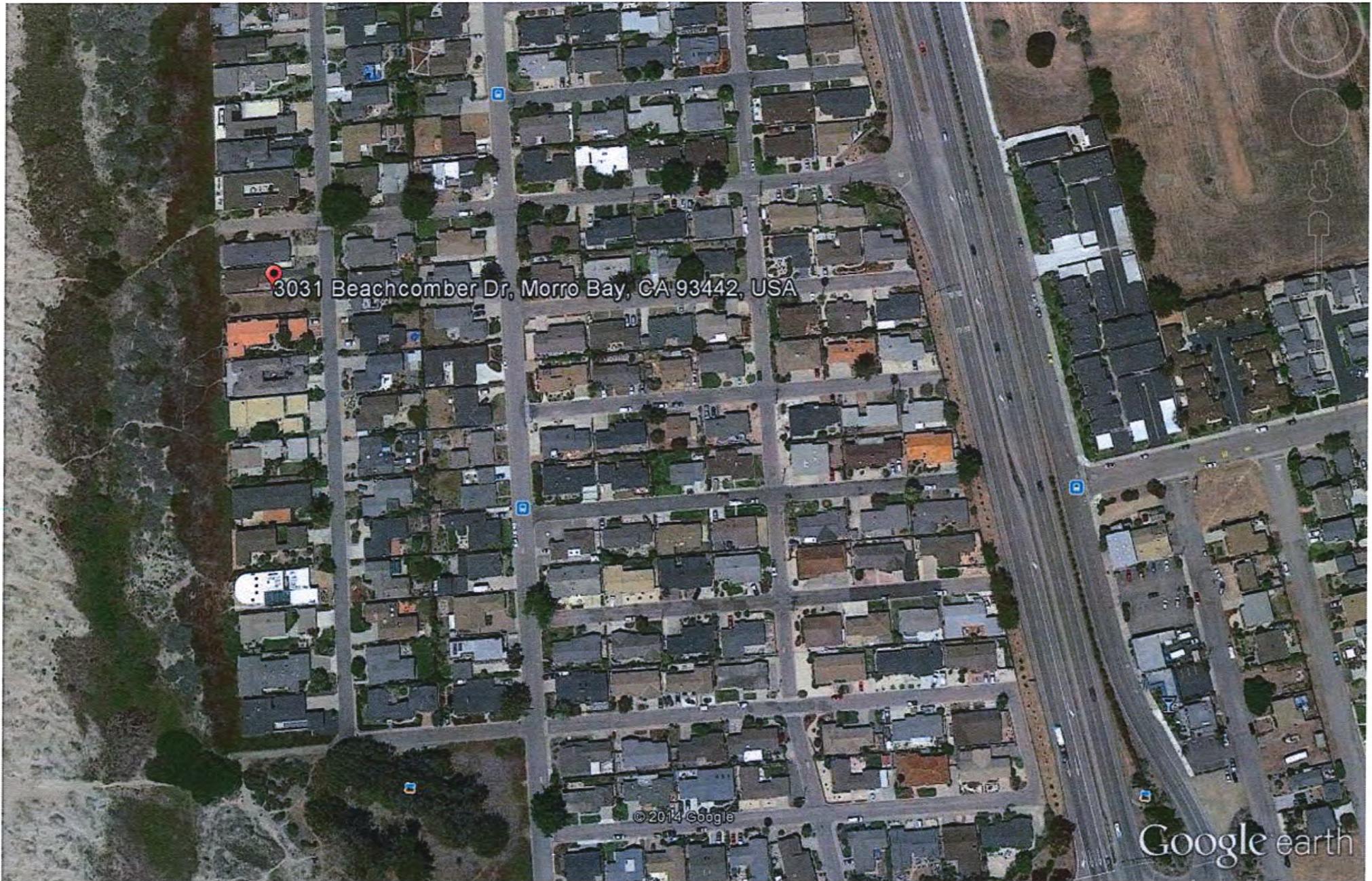


EXHIBIT D - VICINITY PICTURES SHOWING COMPARISON OF WESTWARD DEVELOPMENT ENCROACHMENT

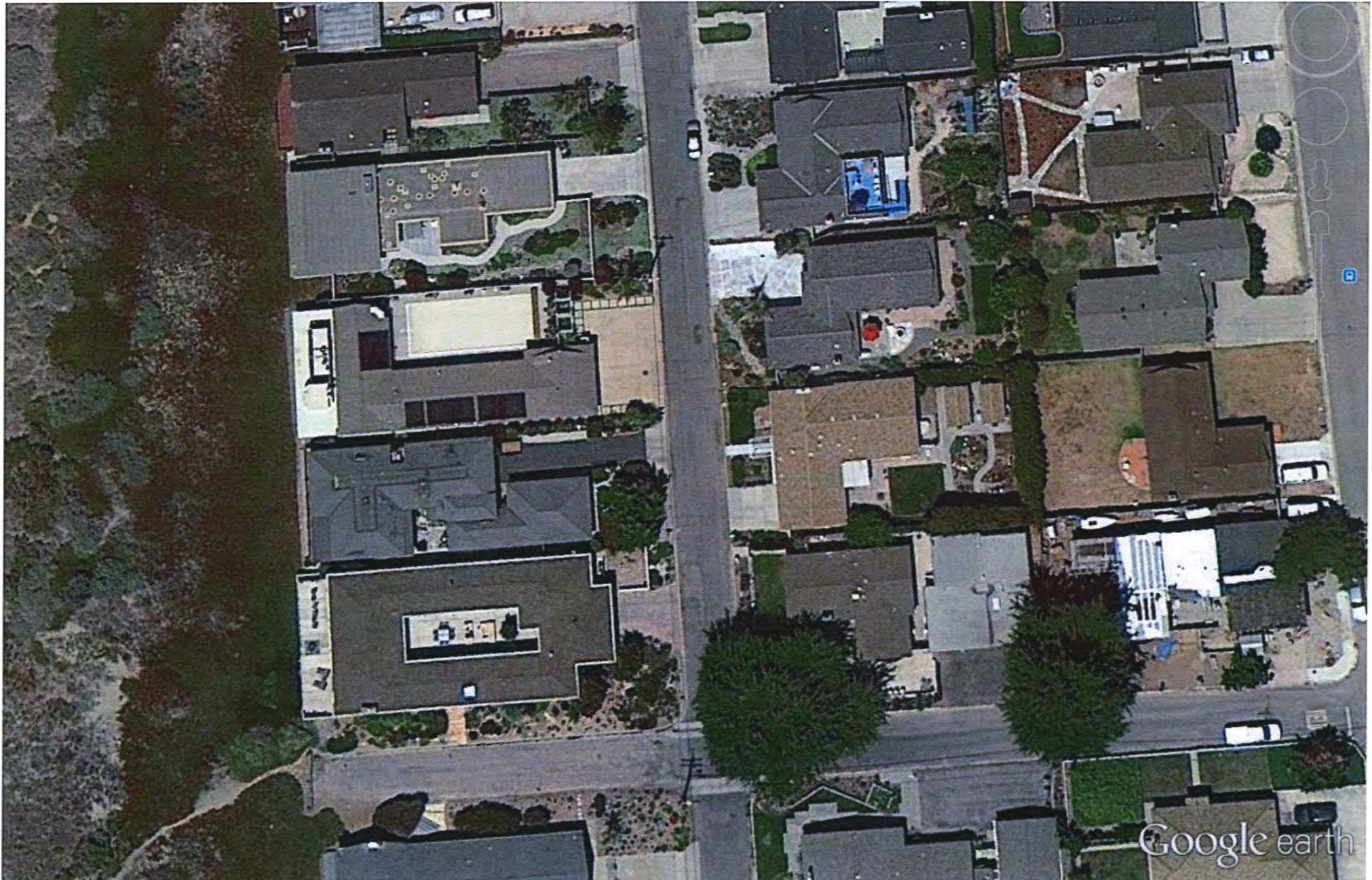


EXHIBIT D - VICINITY PICTURES SHOWING COMPARISON OF WESTWARD DEVELOPMENT ENCROACHMENT

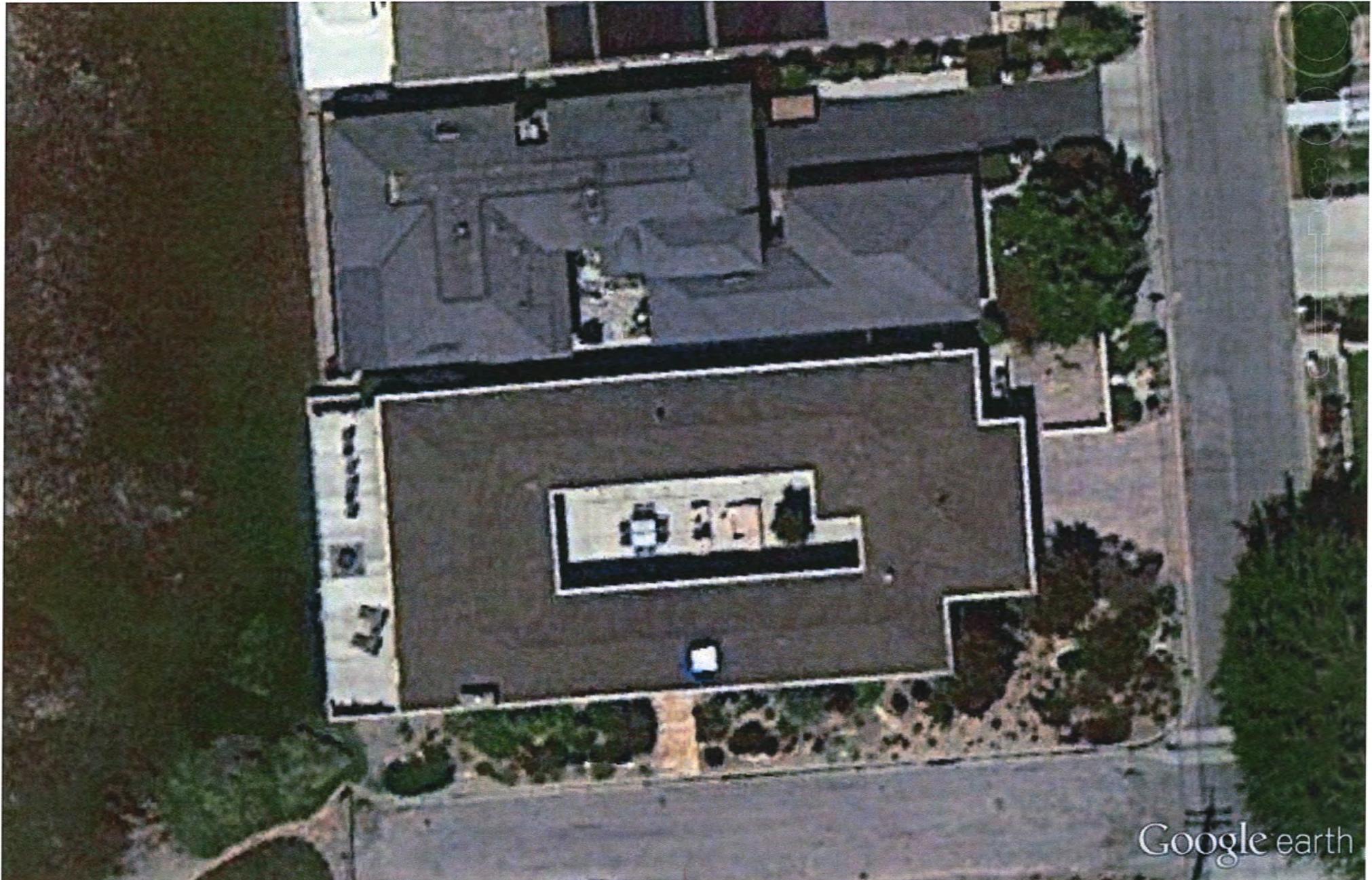
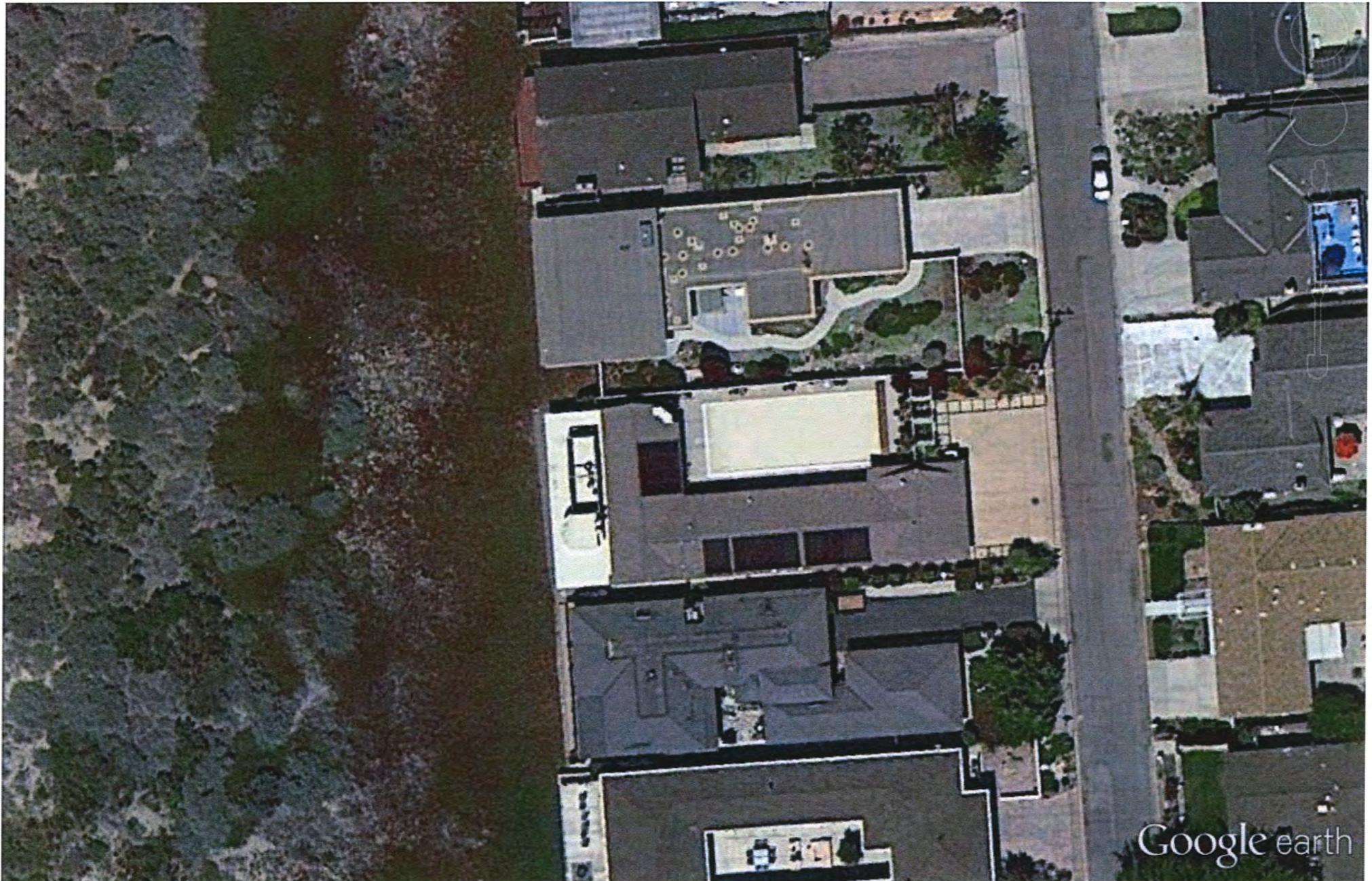


EXHIBIT D - VICINITY PICTURES SHOWING COMPARISON OF
WESTWARD DEVELOPMENT ENCROACHMENT



Google earth

EXHIBIT D - PHOTOS OF EXISTING NEIGHBORING DEVELOPMENT



EXHIBIT D - PHOTOS OF EXISTING NEIGHBORING DEVELOPMENT



EXHIBIT D - PHOTOS OF EXISTING NEIGHBORING DEVELOPMENT

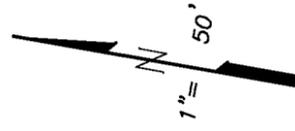


EXHIBIT D - PHOTOS OF EXISTING NEIGHBORING DEVELOPMENT



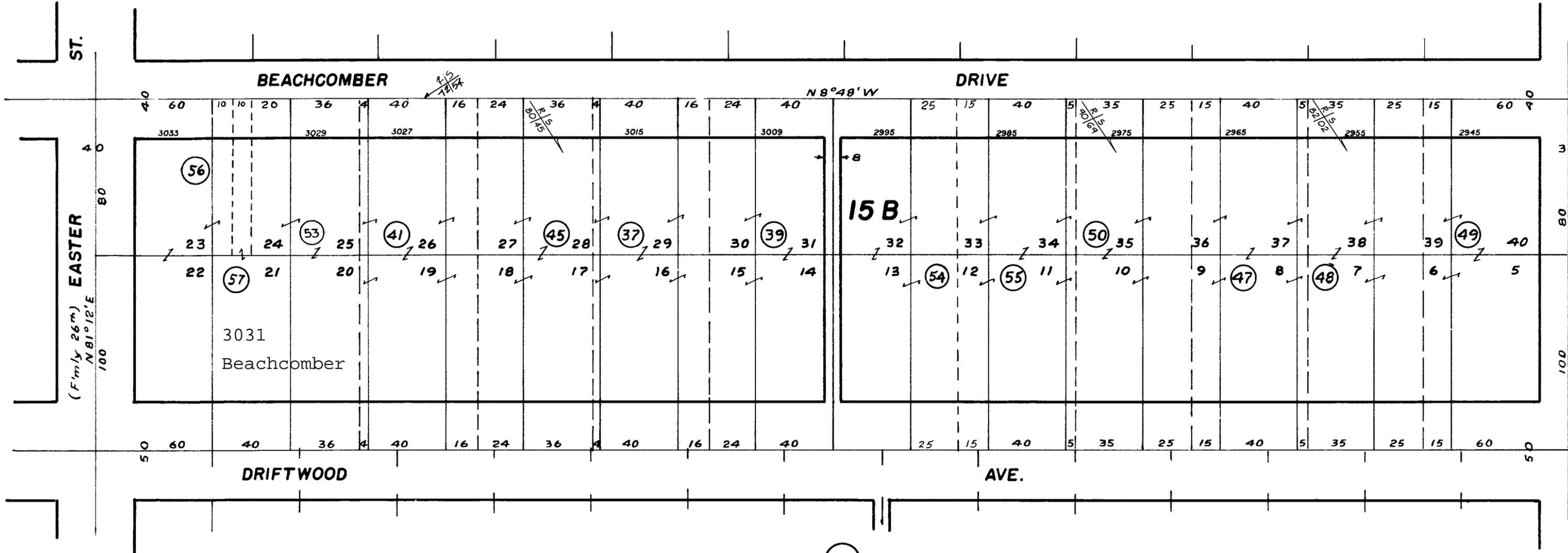
EXHIBIT D - PHOTOS OF EXISTING NEIGHBORING DEVELOPMENT



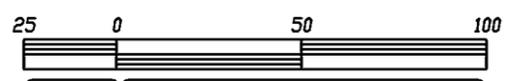


22

23



REVISIONS	
I.S.	DATE
NA	03-28-05



LZ 10-29-01 THIS MAP IS PREPARED FOR ASSESSMENT PURPOSES ONLY.

ATASCADERO BEACH CITY OF MORRO BAY ASSESSOR'S MAP, COUNTY OF SAN LUIS OBISPO, CA. BOOK 065 PAGE 233

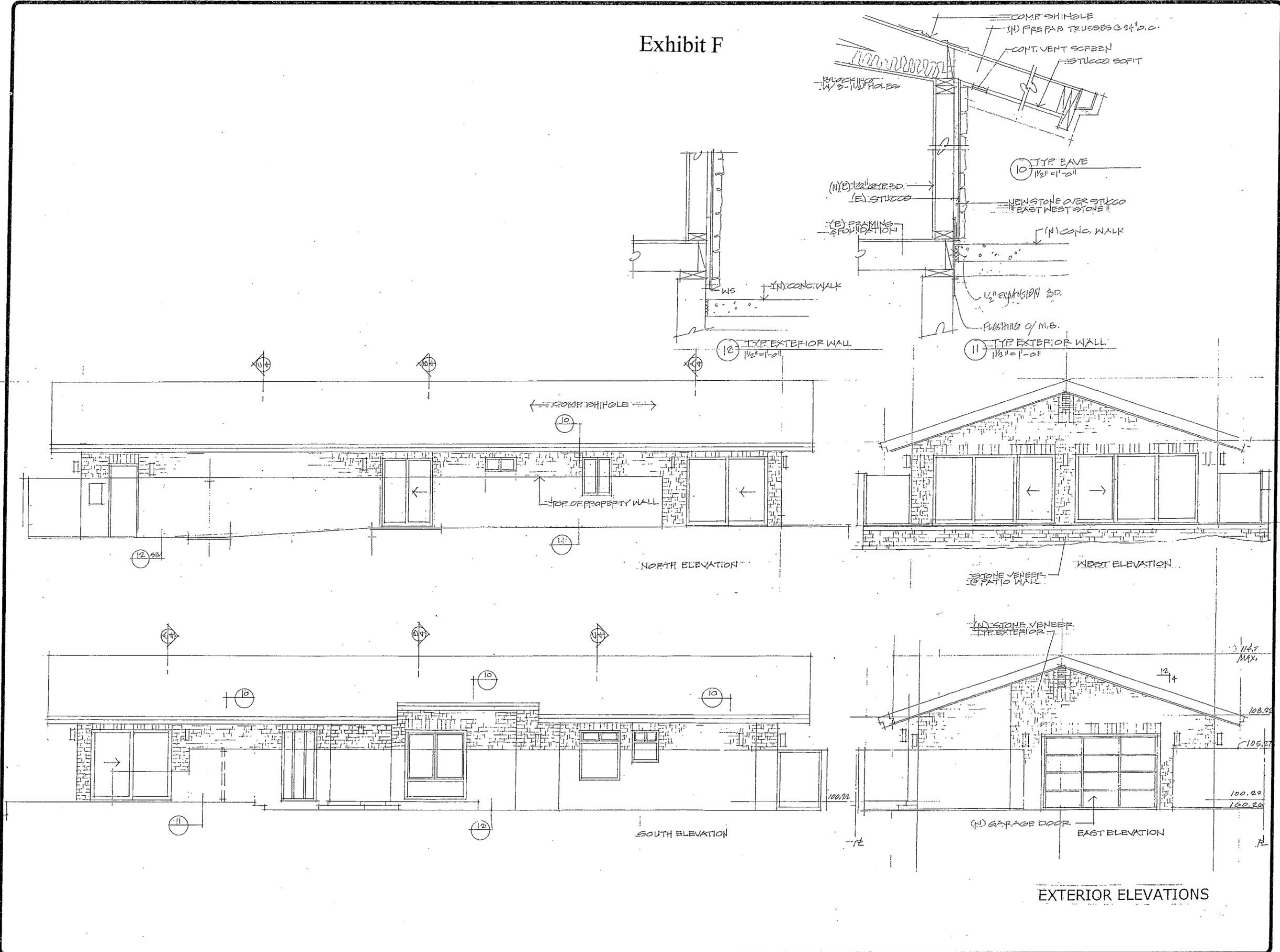
Exhibit F

REVISIONS	BY
5/13/12 DECK	
10/20/13	

Stephen Grauten
 DESIGN & PLANNING
 517 Highway San Luis Obispo, CA
 805.801.8608 sgraute@snet.net

Cockrill Hunter Residence
 REMODEL & ADDITION
 3031 Beachcomber Dr.
 Morro Bay, CA

DRAWN 12/6/13
CHECKED
DATE
SCALE 1/4" = 1'-0"
JOB NO.
SHEET 3
OF 8/12 SHEETS



EXTERIOR ELEVATIONS

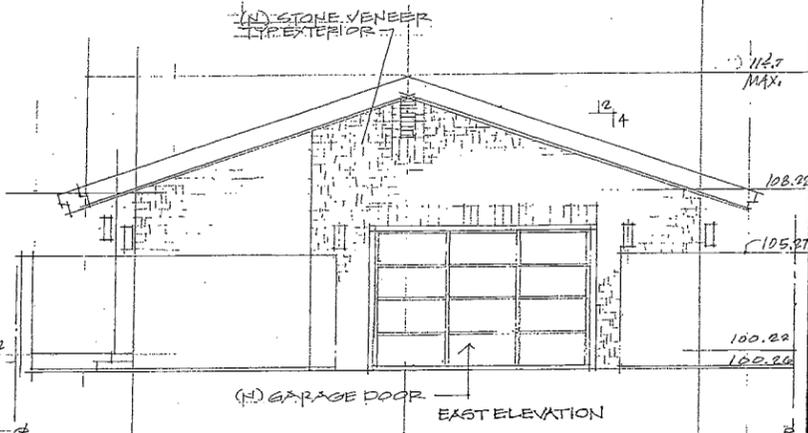
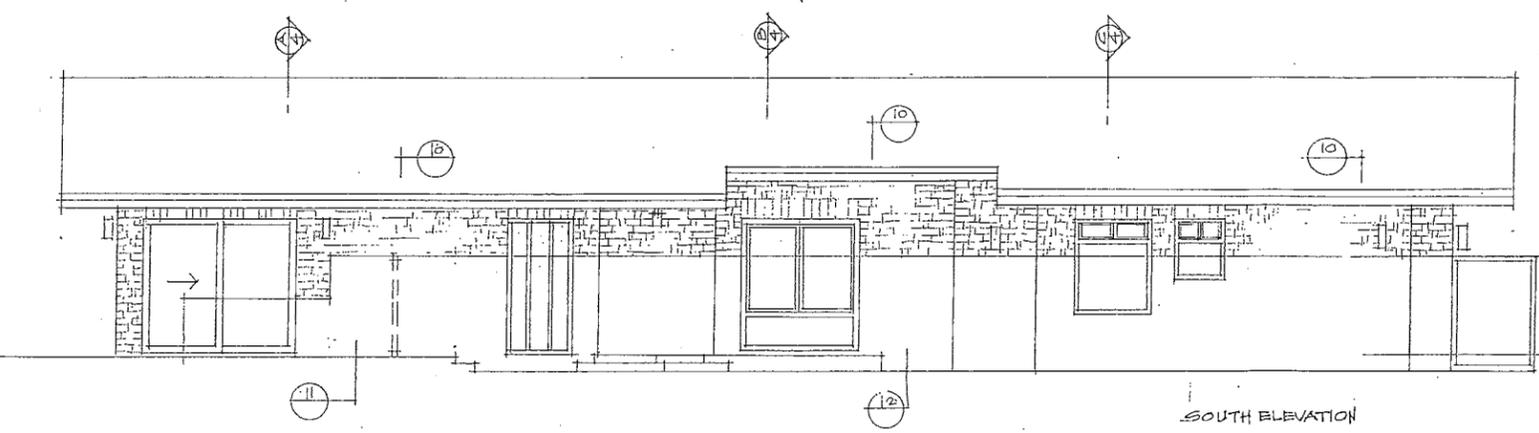
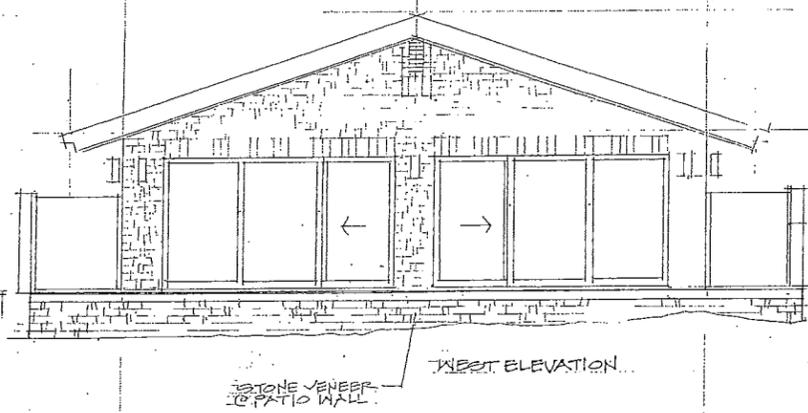
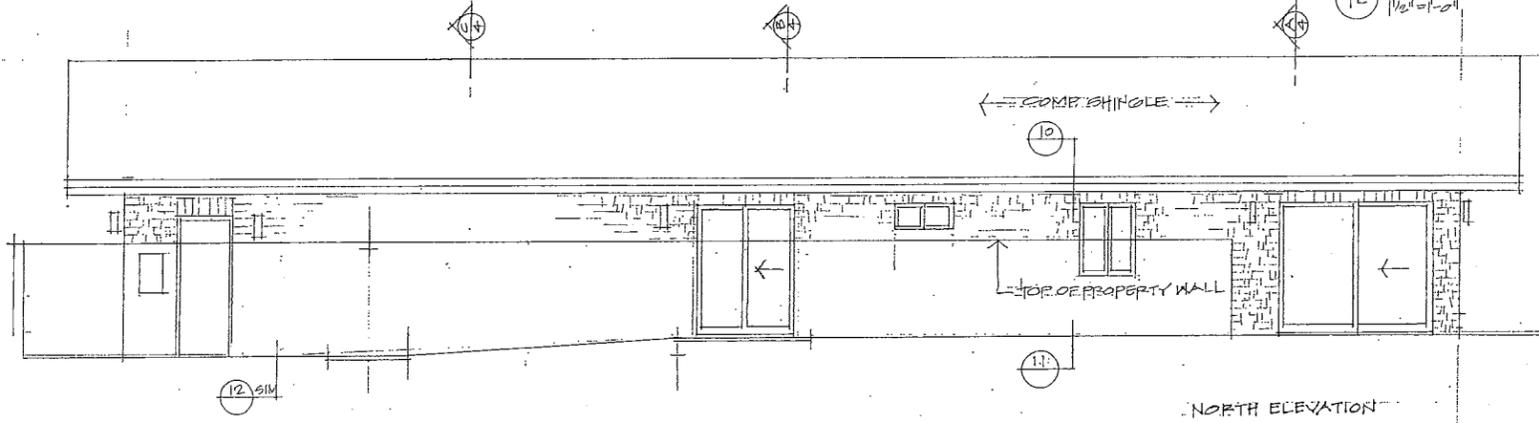
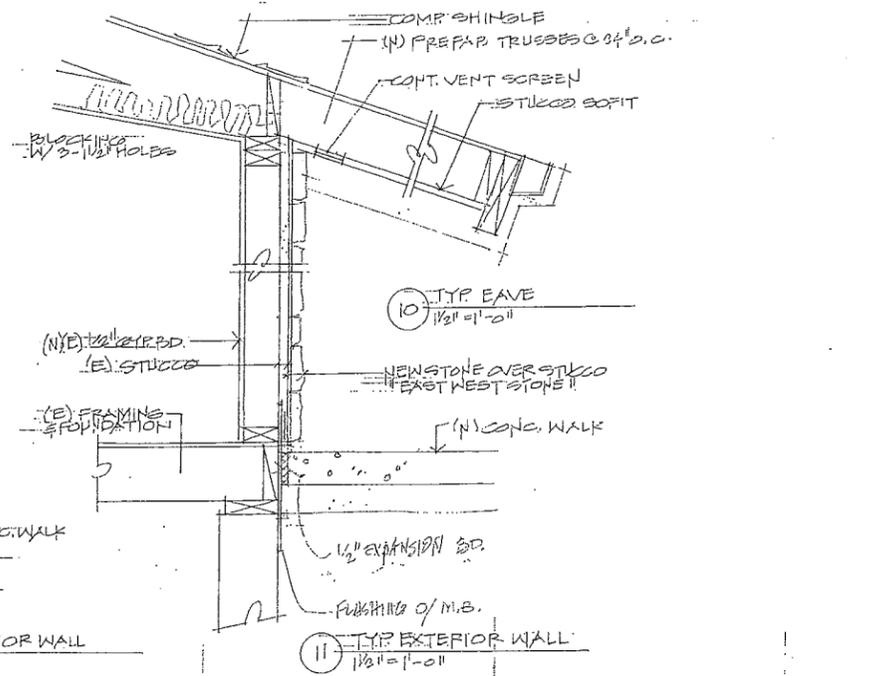
Exhibit F

REVISIONS	BY
5/13/14 DECK	
10/20/13	

Stephen Grauten
 DESIGN & PLANNING
 517 Highway, San Luis Obispo, CA
 805.801.8608 sgsgraute@att.net

Cockhill Hunter Residence
 REMODEL & ADDITION
 3031 Beschomber Dr.
 Morro Bay, CA

DRAWN 12/6/13
CHECKED
DATE
SCALE 1/4" = 1'-0"
JOB NO.
SHEET 3
OF 12 SHEETS



EXTERIOR ELEVATIONS

Exhibit G

Staff Report and Attachments for April 15, 2014 Planning Commission meeting at the following hyperlink. Agenda Item B-3:

<http://morro-bay.ca.us/ArchiveCenter/ViewFile/Item/2086>



AGENDA NO: B-3

MEETING DATE: June 3, 2014

Staff Report

TO: Planning Commissioners

DATE: June 3, 2014

FROM: Whitney McIlvaine, Contract Planner
Garrett Norman, Planning Intern

SUBJECT: Conditional Use Permit #UP0-374 to allow an addition in excess of twenty-five percent to an existing nonconforming structure with a single parking space at 481 Java Street.

RECOMMENDATION:

DENY THE PROJECT by adopting a motion including the following actions:

- A. Adopt Planning Commission Resolution 13-14 which includes Findings for Denial of the requested Conditional Use Permit #UP0-374 for the project at 481 Java Street as depicted on site development plans dated April 3, 2014 submitted with the application.

APPLICANT/AGENT: Jose Gonzalez and Belinda Reyna / Kathleen Bergantzel

LEGAL DESCRIPTION/APN: 065-067-011

PROJECT DESCRIPTION:

The applicant is requesting a Conditional Use Permit to allow a second-story addition of approximately 575 square feet and an upper level deck of roughly 115 square feet to an existing nonconforming single family residence. (Calculations called out on the plans do not appear to include square footage of the proposed stairwell.) Proposed plans also depict extensive remodeling of the existing structure including a reconstruction of the existing nonconforming carport and significant alterations to that portion of the existing structure which extends into the street yard setback. The existing structure does not meet the Zoning Ordinance standards for parking, setbacks, and lot coverage requirements. The nonconforming issues are further discussed in the project analysis.

Approval of the project, as proposed, would also require approval of a parking exception. The applicant would need to submit fees for a parking exception application and the exception request would need to be noticed prior to any action on this request by the Planning Commission.

PROJECT SETTING:

Prepared By: WM/GN

Dept Review: _____

The project is located in north Morro Bay on the east side of Highway One in a Single Family Residential zone (R-1) with an S-1 special treatment overlay. Lot sizes in the neighborhood are typically less than half the standard minimum lot size for the R-1 zone, which is 6,000 square feet. The lot at 481 Java, like most in the immediate vicinity, is 2,400 square feet.



<u>Adjacent Zoning/Land Use</u>			
North:	Single Family Residential (R-1/S.1)	South:	Single Family Residential (R-1/S.1)
East:	Single Family Residential (R-1/S.1)	West:	Single Family Residential (R-1/S.1)

<u>Site Characteristics</u>	
Site Area	2,400 square feet
Existing Use	Single Family Residence
Terrain	Graded
Vegetation/Wildlife	Urbanized landscaping
Archaeological Resources	Site not located within 300 of an archeological resource
Access	Java Street

<u>General Plan, Zoning Ordinance & Local Coastal Plan Designations</u>	
General Plan/Coastal Plan Land Use Designation	Medium Density Residential
Base Zone District	Single Family Residential (R-1)
Zoning Overlay District	S.1 overlay
Special Treatment Area	N/A
Combining District	N/A
Specific Plan Area	N/A
Coastal Zone	Yes, but not located in the Original or Appeals Jurisdiction.

PROJECT ANALYSIS:

Permit History

County Assessor records indicate a structure was built on the property in 1942. In 1975, the City granted a variance to permit interior improvements to an existing nonconforming structure subject to the condition that the proposed one-car carport be setback at least 10 feet from the front property line. Today, the site is developed with a 1,119 square foot, single-story residence with an attached 233 square-foot carport.

Small Lot Neighborhood Context

The small lots sizes in this area of the City argue for a proportionately closer adherence to site development standards. The 2,400 square foot lot sizes effectively increase density in this R-1 zoned neighborhood to densities more representative of an R-4 zoned area.

The S-1 overlay acknowledges that typical R-1 site development standards could pose a hardship for development of these small lots and, therefore, allows for lesser setbacks and greater lot coverage than would otherwise be allowed in the R-1 zone. Also, where homes are 1,000 square feet or smaller, only one parking space is required.

This project seeks to maximize the development of the site by exploiting the existing structure’s nonconforming setbacks, parking and lot coverage and requesting further development capabilities in the form of a parking exception. Approval of this project would ensure the continuance of existing nonconformities for the life of the newly reconstructed/remodeled house and set a precedent for overdevelopment of similar lots in this subdivision.

<u>Zoning Ordinance Standards: R-1/S.1</u>			
	Standards	Existing/Proposed	Complies?
Front Yard Setback	10’ including garage	4’-9.5”	No
Interior Yard Setback	3’	Left = 2’-1.75” Right = 4’-8”	Left = No Right = Yes
Rear Yard Setback	5’	2’-11”	No
Lot Coverage	50% (1,200 s.f.)	58% (1,396 s.f.)	No
Height	25’	21’-2.25” (proposed)	Yes
Parking	2 covered and enclosed spaces	1 carport space	No

Additions to Nonconforming Structures

The Zoning Ordinance, subsection 17.56.160B, requires approval of a conditional use permit for projects proposing additions in excess of 25% of the existing floor to a nonconforming structure.

The existing structure is nonconforming with regard to required front, rear, and side-yard setbacks and coverage. Because the floor area of the existing structure exceeds 1,000 square feet, existing site development is also nonconforming with regard to parking. This project proposes to add a second-story addition of approximately 680 square feet to the existing 1,120 square-foot structure, an increase of approximately 57%. The resulting project would also be nonconforming with regard to required front, rear, and side-yard setbacks and coverage. In addition, the resulting project would not meet the requirement to add a second parking space. The above table summarizes project compliance /non-compliance with the zoning standards for site development.

Approval of a conditional use permit for projects proposing additions in excess of 25% of the existing floor to a nonconforming structure require the following findings to be made:

1. The enlargement, expansion, or alteration is in conformance with all applicable provisions of the Zoning Ordinance.

The proposed remodel and additions are not consistent with Zoning Ordinance requirements for setbacks, coverage, and parking.

2. The project meets applicable Title 14 (Building and Construction Code) requirements for a conforming use.

The applicant would be required to submit a complete building permit application and obtain the required building permit prior to construction.

3. The project is suitable for conforming uses and will not impair the character of the zone in which it exists.

The project, as proposed, is not suitable for the conforming residential use because its approval has the potentially to set a precedent for nonconforming additions to nonconforming structures and could therefore impair the character of the zone in which it exists.

4. It is not feasible to make the structure conforming without major reconstruction of the existing structure.

Because the project proposes major construction to the existing structure, it is feasible to make the structure wholly conforming or to improve conformity with Zoning Ordinance standards.

Parking

The project proposes to replace an existing one-car carport with a setback of less than 2 feet where 3 feet is the minimum setback. The project, as proposed, provides only one parking space. The Zoning Ordinance requires two covered and enclosed parking spaces for residences exceeding 1,000 square feet. Tandem parking is allowed with approval of a parking exception for existing residences where a second adjacent space is not feasible, or on lots of 40 feet or less in width. A parking exception application for this project has not been completed or noticed.

CONCLUSION: The project, as proposed, would intensify the site's current substantial nonconforming development and does not satisfy all the findings required for additions to nonconforming structures, therefore, staff recommends that the Planning Commission deny the requested Conditional Use Permit #UP0-374.

PUBLIC NOTICE:

Notice of this item was published in the San Luis Obispo Tribune newspaper on May 23, 2014, and all property owners of record within 300 feet and occupants within 100 feet of the subject site were notified of this evening's public hearing and invited to voice any concerns on this application.

ATTACHMENTS:

Exhibit A – Planning Commission Resolution #13-14

Exhibit B – Plan Reductions

EXHIBIT A

RESOLUTION NO. PC 13-14

A RESOLUTION OF THE MORRO BAY PLANNING COMMISSION TO DENY
CONDITIONAL USE PERMIT (UP0-374), FOR CONSTRUCTION OF A 575 (+/-) SQUARE-
FOOT SECOND-STORY ADDITION, A 115 SQUARE-FOOT DECK, AND
IMPROVEMENTS TO THE EXISTING CARPORT AND FIRST FLOOR OF THE EXISTING
NONCONFORMING SINGLE FAMILY RESIDENCE AT 481 JAVA STREET.

WHEREAS, the Planning Commission of the City of Morro Bay conducted a public hearing at the Morro Bay Veteran's Hall, 209 Surf Street, Morro Bay, California, on June 3, 2014, for the purpose of considering an application for a Conditional Use Permit #UP0-374; and

WHEREAS, notices of said public hearing were made at the time and in the manner required by law; and

WHEREAS, the Planning Commission has duly considered all evidence, including the testimony of the applicant, interested parties, and the evaluation and recommendations by staff, presented at said hearing.

NOW, THEREFORE, BE IT RESOLVED by the Planning Commission of the City of Morro Bay as follows:

Section 1: Findings. Based upon all the evidence, the Commission makes the following findings:

California Environmental Quality Act (CEQA)

1. Pursuant to CEQA Guidelines Section 15270, CEQA does not apply to projects that are disapproved or denied by the approval body.

Findings for Denial

1. The project, as proposed, is not in conformance with the General Plan and Local Coastal Program because it is not consistent with the Zoning Ordinance which implements the General Plan and is part of the Local Coastal Program.
2. The project, as proposed, is not in conformance with the Zoning Ordinance in that it does not comply with the required parking standards, the front, rear, and left interior side yard setbacks, and lot coverage for the zone in which it is located.
3. The project does not satisfy all other provisions of Zoning Ordinance Chapter 17.56, as applicable, because the proposed expansion and alteration do not satisfy code requirements for parking, coverage and setbacks.

4. The project, as proposed, is not suitable for the conforming residential use because its approval has the potential to set a precedent for nonconforming additions to nonconforming structures and could therefore impair the character of the zone in which it is proposed.
5. Because the project proposes major construction to the existing structure, it is feasible to make the structure wholly conforming or to improve conformity with Zoning Ordinance standards.

Section 2: Action. The Planning Commission does hereby deny Conditional Use Permit #UP0-374 for 481 Java Street.

PASSED AND ADOPTED by the Morro Bay Planning Commission at a regular meeting thereof held on this 3rd day of June, 2014 on the following vote:

AYES:

NOES:

ABSENT:

ABSTAIN:

Chairperson

ATTEST

Rob Livick, Planning Secretary

The foregoing resolution was passed and adopted this 3rd day of June 2014.

No.	Revision	Date

Kathleen Bergantzel
117 Rosewood Lane
Morro Bay, CA 93442
(805) 772-5357

TITLE SHEET

GONZALEZ-REYNA RESIDENTIAL REMODEL
481 JAVA STREET
MORRO BAY, CA

T1.0
09/26/15

GENERAL NOTES:

- This project must comply with the latest adopted applicable codes, including but not limited to the following, and shall be considered to be part of these drawings:
 - The 2010 California Building Code (CBC)
 - The 2010 California Residential Code (CRC)
 - Title 24 of the California Code
 - Title 19, State Fire Marshal's Office
 - Applicable trade and craft codes, including:
 - The 2010 National Electrical Code (NEC)
 - The 2010 California Plumbing Code (CPC)
 - The 2010 California Mechanical Code (CMC)
 - The 2010 California Green Building Code (CalGreen)
 - Local ordinances.
- The contractor shall examine the working drawings, architectural, mechanical and electrical, and shall notify the designer of any discrepancies which he may find, prior to proceeding with the work.
- The contractor shall verify and be responsible for all dimensions and conditions at the site and shall notify the designer of discrepancies between the actual conditions and information shown in the drawings before proceeding with the work.
- The General Contractor is responsible for all coordination of work and trades with regard to scheduling, ordering materials, inspection and completion.
- The General Contractor is responsible for verification of all rough openings with related trades.
- These basic General Notes are integral to the drawings. Notify the designer before proceeding with the work if any disparity arises between the drawings and these general notes.
- All work shall conform to the best practice prevailing in the various trades comprising the work.
- Specific notes and details shall take precedence over general notes and typical details. Dimensions shall be similar to these details that are related in location, intent or function.
- The General Contractor shall guarantee the weatherproof integrity of the entire project for a period of one year after project completion.
- All sub-contractors shall be held responsible for all conditions, ordinances, codes, and requirements pertinent to their category of the work as dictated by the regulatory agencies.
- The General Contractor is to maintain the site in a clean and neat manner. He shall remove and legally dispose of all debris, rubbish, and other materials not intended for application.
- It is the owners responsibility to verify property corners and to have them marked prior to foundation inspection.
- These plans are intended for use on this site only and may not be used on any other site without expressed written consent of the designer.

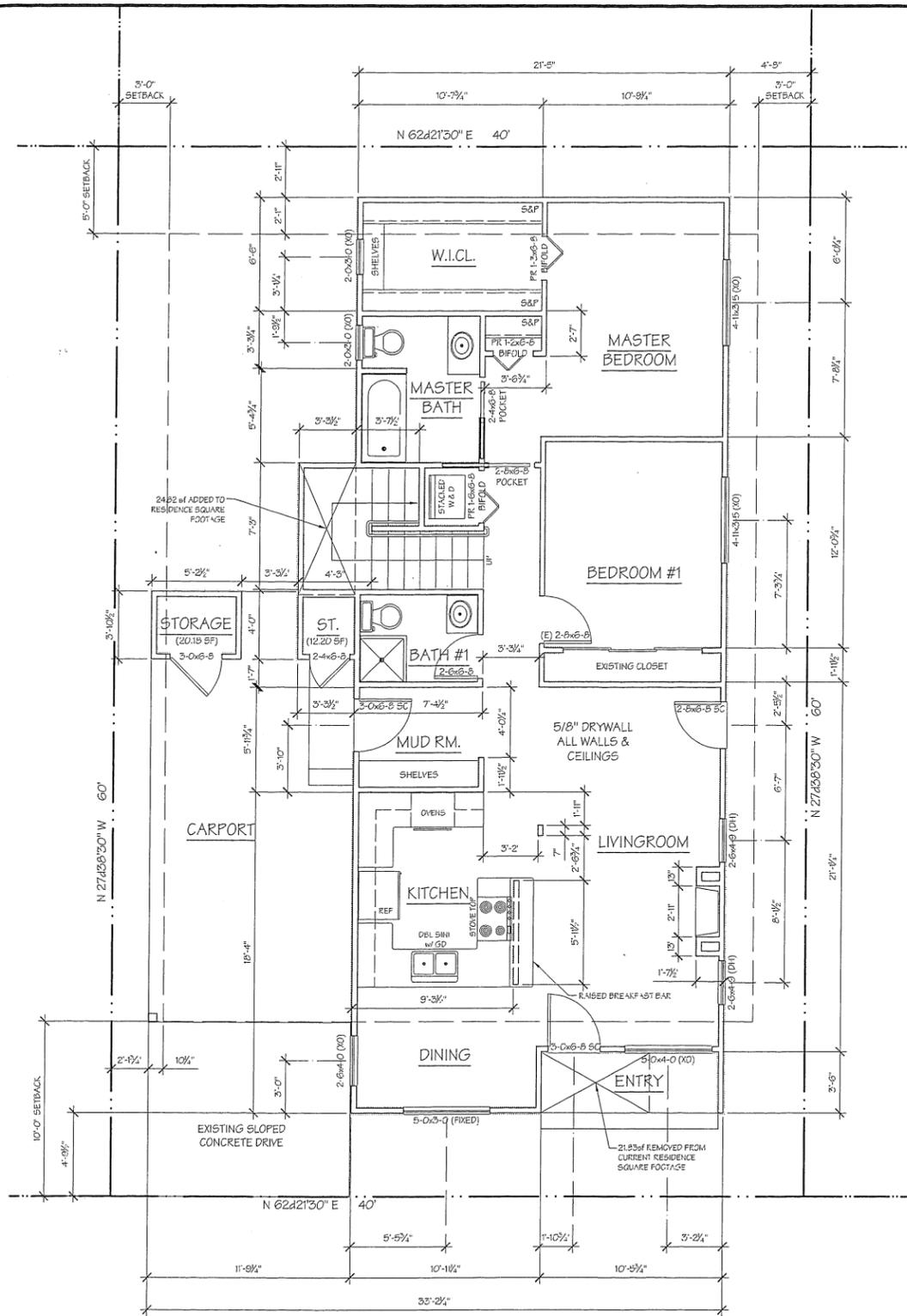
ABBREVIATIONS	SYMBOLS	PROJECT SUMMARY	DIRECTORY	SHEET INDEX																																																																																																																																																																							
<table border="0" style="width: 100%; font-size: 8px;"> <tr> <td>ADJUSTABLE ADJ</td> <td>FOUNDATION FDN</td> <td>KEDWOOD KDW</td> </tr> <tr> <td>ALTERNATE ALT</td> <td>FIXED GLASS FGL</td> <td>RADIUS RAD</td> </tr> <tr> <td>APPROVED APPR</td> <td>FACE OF STUD FOS</td> <td>RECEPTACLE REC</td> </tr> <tr> <td>APPROXIMATE APPROX</td> <td></td> <td>REFERENCE REF</td> </tr> <tr> <td>ARCHITECTURAL ARC-A</td> <td>GAUGE GA</td> <td>RESQI RED RESQ</td> </tr> <tr> <td>ALUMINUM ALM</td> <td>GALLON PER GPM</td> <td>R R</td> </tr> <tr> <td></td> <td>MINUTE MIN</td> <td>ADD ADD</td> </tr> <tr> <td>BENCH MARK BM</td> <td>GALVANIZED GALV</td> <td>ROOF DRAIN RD</td> </tr> <tr> <td>BEVELED BEV</td> <td>GLASS GL</td> <td>RAIN WATER RW</td> </tr> <tr> <td>BLOCK BLK</td> <td>GRADE GR</td> <td>LEADER LEA</td> </tr> <tr> <td>BLOCK UP BLU</td> <td>GYP BOARD GYP</td> <td></td> </tr> <tr> <td>BOARD BRD</td> <td>GRAB RAIL GRAB</td> <td>SOLD CONE SC</td> </tr> <tr> <td>BOTTOM BOT</td> <td></td> <td>SHELVES SHV</td> </tr> <tr> <td>BUILDING BLDG</td> <td>HARDWOOD HW</td> <td>SCHEDULE SCH</td> </tr> <tr> <td></td> <td>HARDWARE HW</td> <td>SHEETING SHFT</td> </tr> <tr> <td>CABINET CAB</td> <td>HEADER HDR</td> <td>SECTION SEC</td> </tr> <tr> <td>CABINET CAB</td> <td>HORIZONTAL HORIZ</td> <td>SERVICE SINK SS</td> </tr> <tr> <td>CAS IRON CAS</td> <td>HORIZ HORIZ</td> <td>SHEET SH</td> </tr> <tr> <td>CEILING CEIL</td> <td>HORIZ HORIZ</td> <td>SPECIFICATION SPEC</td> </tr> <tr> <td>CENTERLINE CL</td> <td>HOLD ON METAL HM</td> <td>SPLASH BLOCK SB</td> </tr> <tr> <td>COLUMN COL</td> <td></td> <td>SQUARE SQ</td> </tr> <tr> <td>CONCRETE CONC</td> <td>ISCH ISCH</td> <td>STANDARD STD</td> </tr> <tr> <td>CONNECTION CONN</td> <td>INSULATION INSUL</td> <td>STEEL STL</td> </tr> <tr> <td>CONTINUOUS CONT</td> <td>INTERIOR INT</td> <td>STRIP STR</td> </tr> <tr> <td>CONTRACTOR CONTR</td> <td></td> <td>STRUCTURAL STRUC</td> </tr> <tr> <td>CONTRACT JOINT CJ</td> <td>JOINT JNT</td> <td>SIMILAR SIM</td> </tr> <tr> <td>COUNTERSINK CS</td> <td>JUNCTION JCT</td> <td>SUSPENDED SUSP</td> </tr> <tr> <td>CURVED CURV</td> <td>LAVATORY LAV</td> <td></td> </tr> <tr> <td>CYLINDRICAL CYL</td> <td>LOW TRANS LT</td> <td>TEMPERED PLATE TP</td> </tr> <tr> <td></td> <td>LISTED LIST</td> <td>GLASS GL</td> </tr> <tr> <td>DETAIL DET</td> <td></td> <td>THRESHOLD THR</td> </tr> <tr> <td>DIRECTIONAL DIR</td> <td></td> <td>THRESHOLD THR</td> </tr> <tr> <td>DIAMETER DIA</td> <td>MACHINE MACH</td> <td>TONGUE & GROOVE TAG</td> </tr> <tr> <td>DIMENSION DIM</td> <td>MANUFACTURE MFG</td> <td>TYPICAL TYP</td> </tr> <tr> <td>DOWN DN</td> <td>MASONRY OPENING MO</td> <td>TYPICAL TYP</td> </tr> <tr> <td>DOWN SLOPE DS</td> <td>MEDICAL MED</td> <td>TOP OF EDGE TOE</td> </tr> <tr> <td>DRAIN DRN</td> <td>METAL MET</td> <td>TOP OF WALL TOW</td> </tr> <tr> <td>DRAWING DRW</td> <td>MINIMUM MIN</td> <td>TOP OF JOIST TOJ</td> </tr> <tr> <td>DRAWING TRACK DT</td> <td></td> <td></td> </tr> <tr> <td></td> <td>NEW NEW</td> <td>VENTILATION VENT</td> </tr> <tr> <td>EACH EAC</td> <td>NOT IN CONTRACT NIC</td> <td>VERTICAL VERT</td> </tr> <tr> <td>ELECTRIC (AL) ELEC</td> <td>NOT APPLICABLE N/A</td> <td>VINYL-ASBESTOS VVA</td> </tr> <tr> <td>ELECTRIC PANEL EP</td> <td></td> <td>VOLUME VOL</td> </tr> <tr> <td>ELEVATION ELEV</td> <td>OVER ELEV OVE</td> <td>WATERPROOF WP</td> </tr> <tr> <td>EQUIPMENT EQ</td> <td>ON CENTER ONC</td> <td>WEIGHT WT</td> </tr> <tr> <td>EXCAVATE EXC</td> <td>OPENING OPNG</td> <td>WINDOW WIN</td> </tr> <tr> <td>ELEVATION (E) EXIST</td> <td>OPPOSITE OPP</td> <td>WINDOW DIMENSION WLD</td> </tr> <tr> <td>EQUAL EQ</td> <td></td> <td>WOOD WD</td> </tr> <tr> <td>EXPOSED EXP</td> <td>PARK PK</td> <td>YARD YD</td> </tr> <tr> <td>EXTERIOR EXT</td> <td>PENNY P</td> <td></td> </tr> <tr> <td>EXPANSION JOINT EJ</td> <td>PLATE PL</td> <td></td> </tr> <tr> <td></td> <td>PLYWOOD PLY</td> <td></td> </tr> <tr> <td>FACE OF WALL FOW</td> <td>FOUNDATIONS FND</td> <td></td> </tr> <tr> <td>FINISH FIN</td> <td>PROJECTION PROJ</td> <td></td> </tr> <tr> <td>FUTURE FUT</td> <td>PORCELAIN PORC</td> <td></td> </tr> <tr> <td>FLASHING FLASH</td> <td></td> <td></td> </tr> </table>	ADJUSTABLE ADJ	FOUNDATION FDN	KEDWOOD KDW	ALTERNATE ALT	FIXED GLASS FGL	RADIUS RAD	APPROVED APPR	FACE OF STUD FOS	RECEPTACLE REC	APPROXIMATE APPROX		REFERENCE REF	ARCHITECTURAL ARC-A	GAUGE GA	RESQI RED RESQ	ALUMINUM ALM	GALLON PER GPM	R R		MINUTE MIN	ADD ADD	BENCH MARK BM	GALVANIZED GALV	ROOF DRAIN RD	BEVELED BEV	GLASS GL	RAIN WATER RW	BLOCK BLK	GRADE GR	LEADER LEA	BLOCK UP BLU	GYP BOARD GYP		BOARD BRD	GRAB RAIL GRAB	SOLD CONE SC	BOTTOM BOT		SHELVES SHV	BUILDING BLDG	HARDWOOD HW	SCHEDULE SCH		HARDWARE HW	SHEETING SHFT	CABINET CAB	HEADER HDR	SECTION SEC	CABINET CAB	HORIZONTAL HORIZ	SERVICE SINK SS	CAS IRON CAS	HORIZ HORIZ	SHEET SH	CEILING CEIL	HORIZ HORIZ	SPECIFICATION SPEC	CENTERLINE CL	HOLD ON METAL HM	SPLASH BLOCK SB	COLUMN COL		SQUARE SQ	CONCRETE CONC	ISCH ISCH	STANDARD STD	CONNECTION CONN	INSULATION INSUL	STEEL STL	CONTINUOUS CONT	INTERIOR INT	STRIP STR	CONTRACTOR CONTR		STRUCTURAL STRUC	CONTRACT JOINT CJ	JOINT JNT	SIMILAR SIM	COUNTERSINK CS	JUNCTION JCT	SUSPENDED SUSP	CURVED CURV	LAVATORY LAV		CYLINDRICAL CYL	LOW TRANS LT	TEMPERED PLATE TP		LISTED LIST	GLASS GL	DETAIL DET		THRESHOLD THR	DIRECTIONAL DIR		THRESHOLD THR	DIAMETER DIA	MACHINE MACH	TONGUE & GROOVE TAG	DIMENSION DIM	MANUFACTURE MFG	TYPICAL TYP	DOWN DN	MASONRY OPENING MO	TYPICAL TYP	DOWN SLOPE DS	MEDICAL MED	TOP OF EDGE TOE	DRAIN DRN	METAL MET	TOP OF WALL TOW	DRAWING DRW	MINIMUM MIN	TOP OF JOIST TOJ	DRAWING TRACK DT				NEW NEW	VENTILATION VENT	EACH EAC	NOT IN CONTRACT NIC	VERTICAL VERT	ELECTRIC (AL) ELEC	NOT APPLICABLE N/A	VINYL-ASBESTOS VVA	ELECTRIC PANEL EP		VOLUME VOL	ELEVATION ELEV	OVER ELEV OVE	WATERPROOF WP	EQUIPMENT EQ	ON CENTER ONC	WEIGHT WT	EXCAVATE EXC	OPENING OPNG	WINDOW WIN	ELEVATION (E) EXIST	OPPOSITE OPP	WINDOW DIMENSION WLD	EQUAL EQ		WOOD WD	EXPOSED EXP	PARK PK	YARD YD	EXTERIOR EXT	PENNY P		EXPANSION JOINT EJ	PLATE PL			PLYWOOD PLY		FACE OF WALL FOW	FOUNDATIONS FND		FINISH FIN	PROJECTION PROJ		FUTURE FUT	PORCELAIN PORC		FLASHING FLASH			<p>① — DIMENSIONAL GRID LINE</p> <p>② — DOOR NUMBER (REFER TO DOOR SCHEDULE)</p> <p>③ — WINDOW NUMBER (REFER TO WINDOW SCHEDULE)</p> <p>FA1 — FRAME TYPE (GLAZING)</p> <p>SWT — SHEAR WALL TYPE (REFER TO SHEAR WALL SCHEDULE)</p> <p>1/A — DETAIL NUMBER/SHEET SHOW ON</p> <p>A/A — SECTION OUT (REFER TO BUILDING SECTIONS)</p> <p>□ — REFERENCE NOTES</p> <p style="text-align: center;">BLDG. HEIGHT</p> <p>PRIOR TO EITHER ROOF NAILING OR FRAMING INSPECTION, A LICENSED SURVEYOR OR QUALIFIED ENGINEER IS REQUIRED TO MEASURE THE HEIGHT OF THE STRUCTURE AND SUBMIT A LETTER TO THE BUILDING OFFICIAL CERTIFYING THAT THE HEIGHT OF THE STRUCTURE IS IN ACCORDANCE WITH THE APPROVED PLANS AND COMPLIES WITH THE HEIGHT REQUIREMENTS OF THE CITY OF MORRO BAY.</p>	<p>USE ZONE E-1S-1</p> <p>OCCUPANCY RFR</p> <p>CONSTRUCTION TYPE V-MR</p> <p>TOTAL NUMBER OF BUILDINGS 1</p> <p>BUILDING SQUARE FOOTAGE 1,719.57 SF</p> <p>EXISTING RESIDENCE 45-46 SF</p> <p>EXISTING STORAGE 233.30 SF</p> <p>EXISTING CARPORT 1,596.57 SF</p> <p>REMODELED FIRST FLOOR 1,122.56 SF</p> <p>REMODEL STORAGE 32.39 SF</p> <p>REMODEL CARPORT 1,596.53 SF</p> <p>NEW SECOND FLOOR 852.58 SF</p> <p>NEW SECOND FLOOR DECK 41.77 SF</p> <p>AREA OF SITE 2,400 SF</p> <p>APN # 065-067-01</p> <p>LOT: 14 ELOOR: 60 TRACT: ATAS BCH</p> <p>SITE ADDRESS: 481 JAVA STREET MORRO BAY, CA</p> <p>ALLOWABLE LOT COVERAGE: 50% OF 2,400 SF = 1,200 SF</p> <p>ACTUAL LOT COVERAGE: EXISTING 1,596.57 SF - 66.5% coverage</p> <p>REMODELED 1,596.53 SF - 66.5% coverage</p> <p>SETBACKS: FRONT 10 FEET</p> <p>SIDE 3 FEET</p> <p>BACK 5 FEET</p> <p>OWNER: JOSE GONZALEZ & BELINDA REYNA 481 JAVA STREET MORRO BAY, CA 93442 PHONE: (805) 772-5357</p> <p style="text-align: center;">VICINITY MAP</p>	<p>T1.0 TITLE SHEET</p> <p>A1.0 EX SITE & EX FLOOR PLAN</p> <p>A1.1 NEW FLOOR PLANS</p> <p>A2.0 EXTERIOR ELEVATIONS</p> <p style="text-align: center; font-size: 24px; font-weight: bold; color: blue;">RECEIVED</p> <p style="text-align: center; font-size: 24px; font-weight: bold; color: red;">APR 03 2014</p> <p style="text-align: center;">City of Morro Bay Public Services Department</p>
ADJUSTABLE ADJ	FOUNDATION FDN	KEDWOOD KDW																																																																																																																																																																									
ALTERNATE ALT	FIXED GLASS FGL	RADIUS RAD																																																																																																																																																																									
APPROVED APPR	FACE OF STUD FOS	RECEPTACLE REC																																																																																																																																																																									
APPROXIMATE APPROX		REFERENCE REF																																																																																																																																																																									
ARCHITECTURAL ARC-A	GAUGE GA	RESQI RED RESQ																																																																																																																																																																									
ALUMINUM ALM	GALLON PER GPM	R R																																																																																																																																																																									
	MINUTE MIN	ADD ADD																																																																																																																																																																									
BENCH MARK BM	GALVANIZED GALV	ROOF DRAIN RD																																																																																																																																																																									
BEVELED BEV	GLASS GL	RAIN WATER RW																																																																																																																																																																									
BLOCK BLK	GRADE GR	LEADER LEA																																																																																																																																																																									
BLOCK UP BLU	GYP BOARD GYP																																																																																																																																																																										
BOARD BRD	GRAB RAIL GRAB	SOLD CONE SC																																																																																																																																																																									
BOTTOM BOT		SHELVES SHV																																																																																																																																																																									
BUILDING BLDG	HARDWOOD HW	SCHEDULE SCH																																																																																																																																																																									
	HARDWARE HW	SHEETING SHFT																																																																																																																																																																									
CABINET CAB	HEADER HDR	SECTION SEC																																																																																																																																																																									
CABINET CAB	HORIZONTAL HORIZ	SERVICE SINK SS																																																																																																																																																																									
CAS IRON CAS	HORIZ HORIZ	SHEET SH																																																																																																																																																																									
CEILING CEIL	HORIZ HORIZ	SPECIFICATION SPEC																																																																																																																																																																									
CENTERLINE CL	HOLD ON METAL HM	SPLASH BLOCK SB																																																																																																																																																																									
COLUMN COL		SQUARE SQ																																																																																																																																																																									
CONCRETE CONC	ISCH ISCH	STANDARD STD																																																																																																																																																																									
CONNECTION CONN	INSULATION INSUL	STEEL STL																																																																																																																																																																									
CONTINUOUS CONT	INTERIOR INT	STRIP STR																																																																																																																																																																									
CONTRACTOR CONTR		STRUCTURAL STRUC																																																																																																																																																																									
CONTRACT JOINT CJ	JOINT JNT	SIMILAR SIM																																																																																																																																																																									
COUNTERSINK CS	JUNCTION JCT	SUSPENDED SUSP																																																																																																																																																																									
CURVED CURV	LAVATORY LAV																																																																																																																																																																										
CYLINDRICAL CYL	LOW TRANS LT	TEMPERED PLATE TP																																																																																																																																																																									
	LISTED LIST	GLASS GL																																																																																																																																																																									
DETAIL DET		THRESHOLD THR																																																																																																																																																																									
DIRECTIONAL DIR		THRESHOLD THR																																																																																																																																																																									
DIAMETER DIA	MACHINE MACH	TONGUE & GROOVE TAG																																																																																																																																																																									
DIMENSION DIM	MANUFACTURE MFG	TYPICAL TYP																																																																																																																																																																									
DOWN DN	MASONRY OPENING MO	TYPICAL TYP																																																																																																																																																																									
DOWN SLOPE DS	MEDICAL MED	TOP OF EDGE TOE																																																																																																																																																																									
DRAIN DRN	METAL MET	TOP OF WALL TOW																																																																																																																																																																									
DRAWING DRW	MINIMUM MIN	TOP OF JOIST TOJ																																																																																																																																																																									
DRAWING TRACK DT																																																																																																																																																																											
	NEW NEW	VENTILATION VENT																																																																																																																																																																									
EACH EAC	NOT IN CONTRACT NIC	VERTICAL VERT																																																																																																																																																																									
ELECTRIC (AL) ELEC	NOT APPLICABLE N/A	VINYL-ASBESTOS VVA																																																																																																																																																																									
ELECTRIC PANEL EP		VOLUME VOL																																																																																																																																																																									
ELEVATION ELEV	OVER ELEV OVE	WATERPROOF WP																																																																																																																																																																									
EQUIPMENT EQ	ON CENTER ONC	WEIGHT WT																																																																																																																																																																									
EXCAVATE EXC	OPENING OPNG	WINDOW WIN																																																																																																																																																																									
ELEVATION (E) EXIST	OPPOSITE OPP	WINDOW DIMENSION WLD																																																																																																																																																																									
EQUAL EQ		WOOD WD																																																																																																																																																																									
EXPOSED EXP	PARK PK	YARD YD																																																																																																																																																																									
EXTERIOR EXT	PENNY P																																																																																																																																																																										
EXPANSION JOINT EJ	PLATE PL																																																																																																																																																																										
	PLYWOOD PLY																																																																																																																																																																										
FACE OF WALL FOW	FOUNDATIONS FND																																																																																																																																																																										
FINISH FIN	PROJECTION PROJ																																																																																																																																																																										
FUTURE FUT	PORCELAIN PORC																																																																																																																																																																										
FLASHING FLASH																																																																																																																																																																											

No.	Revision	Date

Prepared by
Kathleen Bergantzel
 115 Rosewood Lane
 Arroyo Grande, CA 93420
 (805) 491-4367

PROJECT NO. 11111
**REMODELED FIRST FLOOR PLAN
 & NEW SECOND FLOOR PLAN**

PROJECT NO. 11111
GONZALEZ-REYNA RESIDENTIAL REMODEL
 481 JAYA STREET
 MORRO BAY, CA

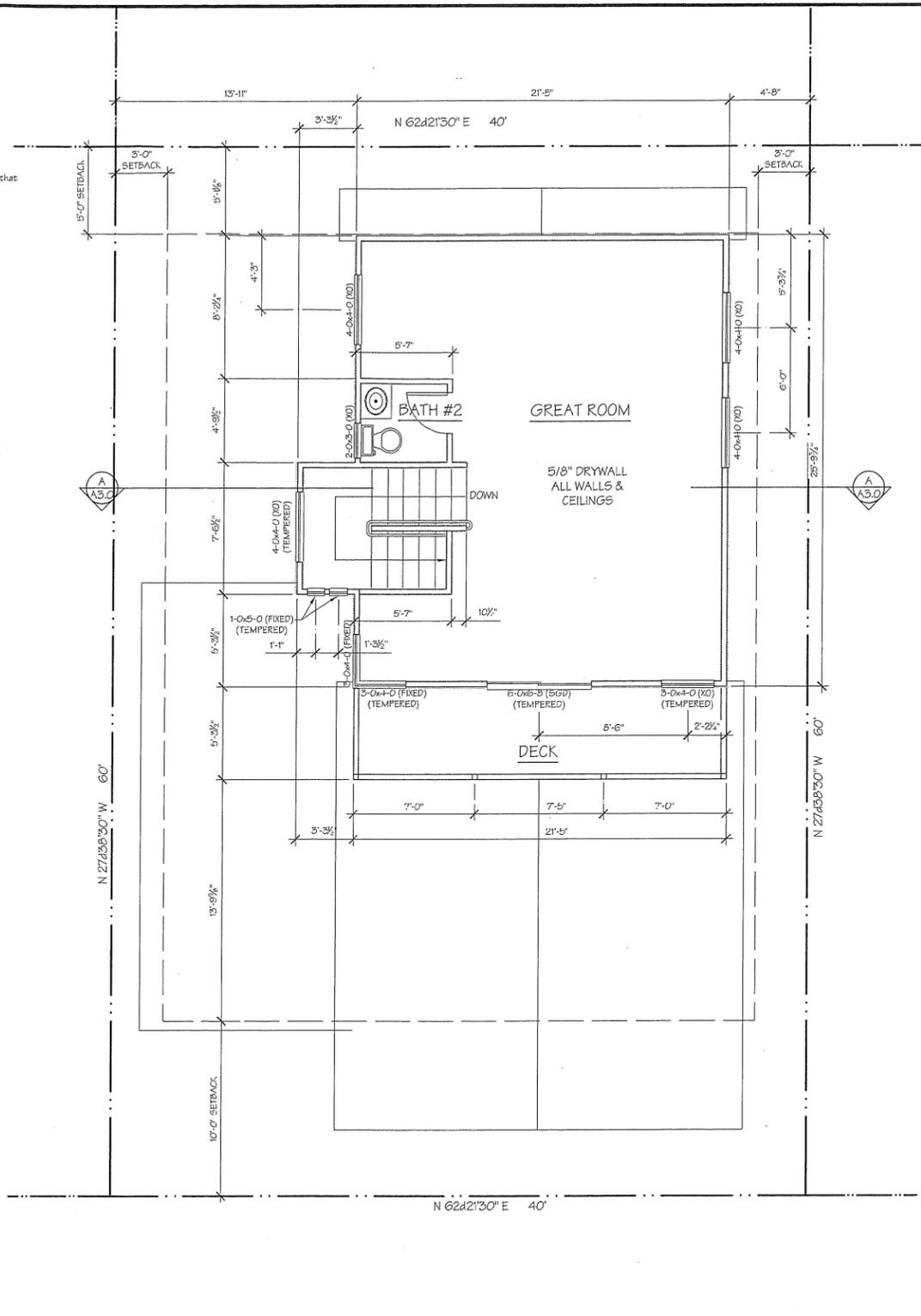


STAIRWAY & WINDOW NOTES:

- STAIRWAY:**
- The maximum rise of stairways shall be not more than 8" and a minimum run of not less than 11" per Section 1009.3.
 - Handrails shall be not less than 34" nor more than 38" above the nosing of the tread and shall be spaced out from the wall not less than 1 1/2".
 - Guardrails shall be provided on the open sides of all stairways.
 - Handrails shall terminate at a point 6" beyond the bottom step.
 - Guardrail/Handrails shall be provided with intermediate rails so spaced that no object more than 4" in diameter can pass through the railing per the requirements of Section 1010.3.
 - Stairways shall have a minimum headroom of not less than 6'-8" per Section 1009.2.
 - Top rail shall be capable of withstanding a 20 pF load applied horizontally at the top of the rail.

WINDOWS AND DOORS:

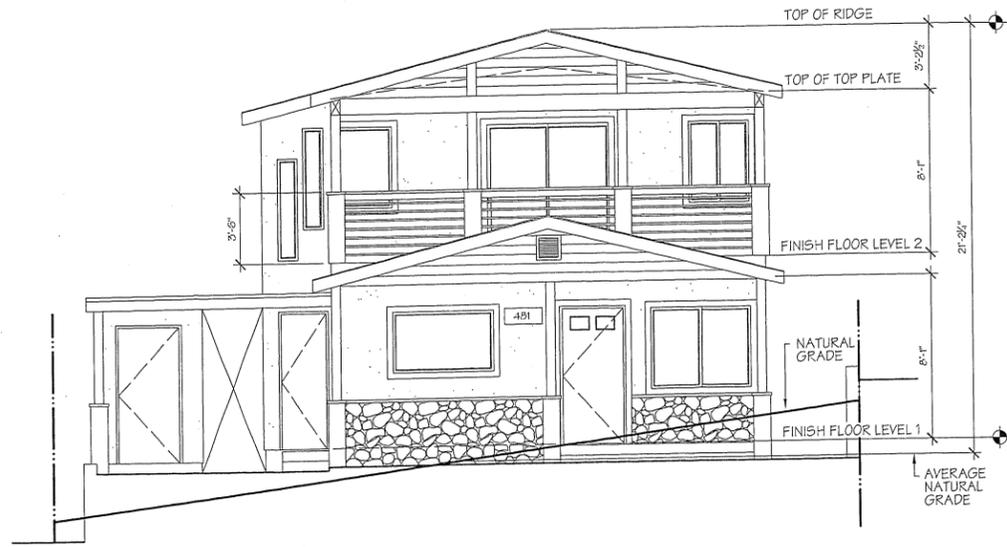
- Escape windows: Provide at least one window for each bedroom with a minimum net clear opening of 5.7 square feet (CBC 2026.2).
 - A. Minimum height 20"
 - B. Minimum width 20"
 - C. Sill height 44" maximum above finish floor (CBC 2026.3).
- Provide solid core self closing 1 3/8" door between garage and house. (CBC 406.1.4).
- Provide double glazing at all doors and windows unless noted otherwise.
- Provide screens at operable window panes and/or sliding glass doors.
- Provide tempered glazing in the following locations (CBC 2406.3):
 - A. Glass panels in doors.
 - B. All glass panels within 12" of doors in the same wall plane where the bottom edge of glazing is less than 60" above the floor or walking surface.
 - C. Glazing with an area in excess of 9 square feet within 18 inches of finished floor.
 - D. Windows in tub and shower enclosures within 60 inches of finished floor.



NOTES:

- Low flow fixtures to be used: 1.5 Gallon Toilets
 2.75 Gall/min shower heads
- Water pressure limited to 80 p.s.i.
- 2x6 stud walls at plumbing locations where needed.
- Garages, walls and soffits of enclosed usable spaces under stairs shall be protected with type "X" 5/8" sheetrock (CBC 1009.5.3).
- Sightlines shall comply with CBC 2610, ICBO #4676.
- Hose bibbs shall be protected by and approved non-removable type of backflow prevention device. CBC Section 602.3.5.
- Provide access panel (min 12"x12") or utility space for all plumbing fixtures having concealed slip-joint connections. CPC 207.4.

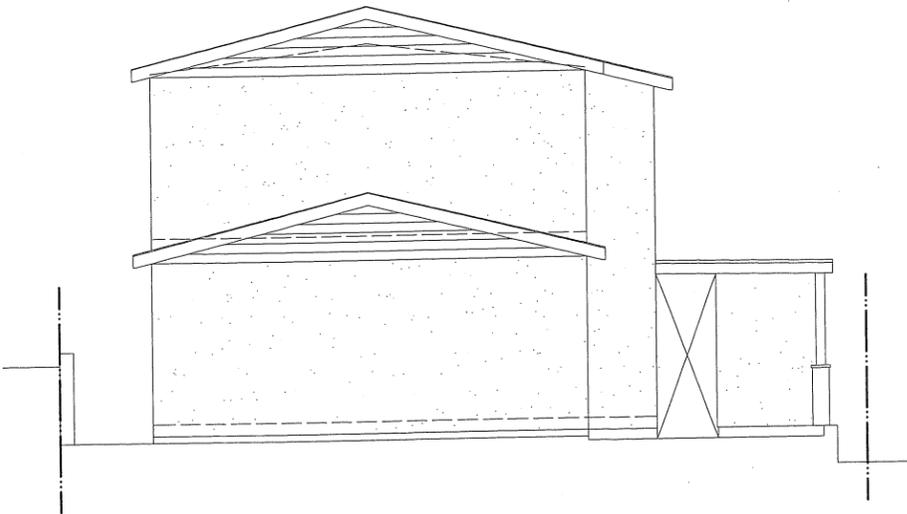
No.	Revision	Date



SOUTH ELEVATION (JAVA ST)
SCALE: 1/4"=1'-0"



WEST ELEVATION
SCALE: 1/4"=1'-0"



NORTH ELEVATION
SCALE: 1/4"=1'-0"



EAST ELEVATION
SCALE: 1/4"=1'-0"

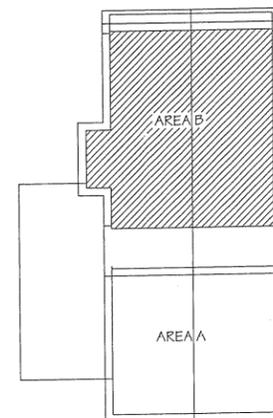
EXTERIOR FINISHES:

- STUCCO:**
- Backing: 16 gauge wire, six inches to center vertical spacing; or solid sheathing.
 - Weatherproof paper: Kraft type building paper No. 15 asphalt saturated felt. Apply over backing.
 - Lath: Stucco mesh, 1/2" gage per square yard minimum weight; fasteners spaced six inches center to center vertically and 16 inches center to center horizontally, fur 1/4" out from backing.
 - Stucco: Two coat application over masonry; three coat application over wood framing.
 - Scratch coat: 3/8" thickness; one part portland cement to four parts sand, allow 48 hours between coats.
 - Brown coat: 3/8" thickness; one part portland cement to five parts sand; allow seven days between coats.
 - Finish coat: 1/8" thickness; one part portland cement to three parts sand.
 - Lime: proportions in accordance with CBC 2507.
 - Exterior stucco walls shall be provided with a weep course at or below the foundation line with a vertical attachment flange of 3/16" and shall be attached a minimum of 8" above finish grade (CBC Section 2512.1.2).

ROOF NOTES:

- Roofing materials and installation shall be in accordance with CBC Chapter 15.
- Flash crickets and valleys in accordance with CBC section 1507.2.9.2.
- Flash and counterflash junctions of roofs and vertical surfaces in accordance with CBC section 1507.2.9.
- Roofing materials:
 - Underlayment: 15 lb felt.
 - Roofing: 25 yr composition shingles.
- Flash all plumbing, mechanical and electrical roof penetrations.
- Attic access: 22x30 inches minimum in size, 30 inches minimum clear headroom above. CBC Section 1209.2.
- Provide attic cross ventilation as follows (CBC section 1203.2):
 - Net free ventilation area: 1/150 of attic area, or
 - 1/300 of attic area where at least 50 percent of required ventilating area is provided by ventilators located in the upper portion of attic at least three feet above eaves and the remaining ventilating area is provided by eave vents.
- Ventilating calculation:
 - Attic area: Area A: 405 square feet
Area B: 350 square feet
 - Ventilating area required: Area A: 405 square feet at 1/150 = 2.72 s.f.
Area B: 350 square feet at 1/150 = 2.33 s.f.
- Type of vent used:
 - Area A: 3(3) 6x6 sq. inches of ventilation req'd. Use (1) 12"x12" Square Galb Vent w/ NFVA = 60 square inches + (6) Vulcan Eave Vent VE55H w/ NFVA = 44 in²/each = 262 square inches.

- Area B: 350 sq. inches of ventilation req'd. Use (13) Vulcan Eave Vent VE55H w/ NFVA = 44 in²/each = 572 square inches.
- Protect attic vents against entrance of rain and snow (CBC section 1203.2).
- Cover attic vents with corrosion resistant wire mesh with openings of 1/4" (CBC section 1203.2.1).
- A vapor retarder having a transmission rate not exceeding 1 perm shall be installed on the warm side of the attic insulation. Paper faced insulation is prohibited in attics or other ventilated spaces.



Project Name and Address
Kathleen Bergantzel
115 Rosewood Lane #20
Morro Bay, CA 93420
(805) 481-1287

Project No.
EXTERIOR ELEVATIONS

Project Name and Address
GONZALEZ-REYNA RESIDENTIAL REMODEL
481 JAVA STREET
MORRO BAY, CA

Scale
A2.0
Date
09/26/13



City of Morro Bay
 Public Services/Planning Division
 Current & Advanced Project Tracking Sheet
 This tracking sheet shows the status of the work being processed by the Planning Division
 New Planning items or items recently updated are highlighted in yellow. Building permit updates are highlighted in green.

Agenda No: C-1

Meeting Date: May 20, 2014

Approved projects are deleted on next version of log.

#	Applicant/ Property Owner	Project Address	Date	Permit Numbers	Project Description/Status	Planning Comments and Notations	Building/Fire Comments and Notations	Engineering Comments and Notations	Harbor/Admin Comments and Notations
Hearing or Action Ready									
1	Adamson	1000 Ridgeway	9/12/13	CP0-408	Admin Coastal Development Permit for Demo/Reconstruct of 4,829sf SFR with 1,201sf garage	Parking Exception previously granted by Planning Commission for reduced driveway length Oct. 2012. CJ. KM - Correction letter sent 10/11/13. Corrections received 11/18/13. Permit issued on 12/20/13 and project appealed on 12/30/13. Contacted applicant to request additional info for appeal hearing. Appeal to be heard by PC on or before 2/19/14. Continued to the 3/5/14 PC mtg. Project continued for 60 days to allow for project revisions. Project to be heard at the 6/3/14 PC meeting.	BC- conditionally approved.	BCR: Resubmit plans to address comments noted in memo of 10/14/13 - drainage report and street widening required	
2	Cockrill	3031 Beachcomber	1/13/14	CP0-420	Addition to Existing Single Family Home in Coastal Appeals Area - concurrent permitting total of 1,940 sf	Under initial review. Spoke w/ Applicant 2-27-14 re status of project. Project continued by Planning Commission to the 5-20-14 meeting. Status of Paper Street under review with City Attorney. CJ. Noticed 5/23 NC	BC- conditionally approved. FD/TP-Cond App 2/24/14		
3	Gonzalez	481 Java	12/30/13	UP0-374	Conditional Use Permit for Non conforming single family residence	KM - Under initial review. GN - Incomplete letter sent 1/30/14. Met w/ applicant 4/3 WM/GN. Applicant resubmitted 4/3/14. GN - Third incomplete letter sent 4/8/14. Project does not conform to standards. Applicant responded 5/1/14 wishes to proceed to PC w/ project as submitted. WM. Noticed 5/23 NC.	BC-under review.		
4	Wikler	405 Pacific	3/27/14	CP0-430	3 new unit construction to existing SFR	Incomplete letter sent 4/24/14 GN. Resubmitted 4/29/14 GN. Project complete and ready to be noticed for administrative CDP.	BC- conditionally approved.	BCR- conditionally approved-reconstruct ADA ramp and design DW approach per B-6	
5	Wammack	505 Walnut	12/31/13	CP0-417	Coastal Development Permit for new 3,236sf SFR including 489sf garage on vacant lot - concurrent permitting for Building Permit	GN - Incomplete letter sent 1/31/14. Resubmittal received 4-1-14. GN - 2nd incomplete letter sent 4/15/14. Waiting on applicant to redline plans, then scheduling for PC hearing. Anticipate 6-17-14 PC agenda. GN	BC- conditionally approved.	BCR-under review	

#	Applicant/ Property Owner	Project Address	Date	Permit Numbers	Project Description/Status	Planning Comments and Notations	Building/Fire Comments and Notations	Engineering Comments and Notations	Harbor/Admin Comments and Notations
6	City of Morro Bay	Citywide	4/18/14	A00-021	2014-2019 Housing Element Update	Sent to Department of Housing and Community Development for review and certification on 4/18/14. Initial Study/ Negative Declaration routed to State Clearinghouse 5/12/14. Final Housing Element to be agendized for 4/17/14 PC mtg and 4/24/14 Council meeting.	No review performed.		
30 -Day Review, Incomplete or Additional Submittal Review									
7	Rodgers	445 Shasta	5/23/14	CP0-436	Coastal Development Permit	New SFR on vacant lot			
8	Hauser	501 Zanzibar	5/23/14	UP0-380/ AD0-090	Conditional Use Permit & Parking Exception	Single Family Addition of more than 25% to a non-conforming SFR. Parking Exception			
9	Ramsey	330 Kings	5/20/14	AD0-089	Parking Exception	Exception request to allow one car garage with tandem driveway parking in existing single family home with a one car garage where 2 spaces are required by code			
10	Moores	1169 Market	5/12/14	SP0-141	Appeal of Sign Exception Permit Extension Denial.	Appeal filed 4/11 regarding Director's decision to deny a 2 year time extension for Sign Exception Permit SP0-141. Planning response sent 5/8/14. CJ. Due to schedule conflicts, Appellant requesting PC agendize for either 6/17/14 or 7/15/14 meeting.			
11	GAFCO	1170 Front Street	5/9/14	UP0-120/AD0-024	Time Extension for Planning Approvals.	Permit expires 7/7/14. Two year extension requested requires Planning Commission approval. Administrative extensions allowed have been exhausted.			
12	Caruso	2830 Main Street	5/8/14	UP0-379	Minor Use Permit	Minor use permit for a fabric retail store in MCR zone district where previous use permit expired.			
13	Garcia	500 Kings	5/8/14	CP0-435	Admin CDP for demolition of existing single family residence	Under review.			

#	Applicant/ Property Owner	Project Address	Date	Permit Numbers	Project Description/Status	Planning Comments and Notations	Building/Fire Comments and Notations	Engineering Comments and Notations	Harbor/Admin Comments and Notations
14	Montecalvo / Wisel	510 Fresno Ave & 515 Kern	5/1/14	S00-119	Lot line adjustment	Under review	BC- conditionally approved.		
15	Dennis	300 Piney	4/18/14	CP0-434	3 new units PUD to existing SFD	Under Review. Applicant desires to process CDP for 3 new homes concurrent with final map processing. Incomplete letter to be sent as project will require 3 separate CDPs for 3 homes. CJ.			
16	Willcutt	845 Embarcadero, Suite H	4/16/14	UP0-378	Minor Use Permit	Minor use permit for a wine bar business in an existing comercial suite. Parking review performed for change of use. Permit noticed and issued 5-19-14. CJ.			
17	Lowgren	491 Little Morro Creek Rd	4/10/14	S00-018	Lot line adjustment	Under review. Correction letter sent 5-28-14. CJ.	BC- corrections/ incomplete		
18	Strasburg/Oehler	371 Piney	3/20/14	CP0-427	New SFR - Admin CDP	Received 3/25/14. Under Initial review. CJ. Correction letter sent 4/25 NC.	BC- conditionally approved.		
19	Romero	2931 Ironwood	3/6/14	CP0-428	New 2,496 SFR with 64 sf garage- Admin CDP	Correction letter sent 4/25 NC.	BC- conditionally approved.		
20	Carver	431 Kern	2/5/14	CP0-426	Demo 1100sf SFR / Reconstruct 2274sf SFR	correction letter sent 4/10	BC- corrections/ incomplete		
21	AT&T	590 Morro	1/16/14	CP0-126 / UP0-084	Upgrade of unmanned telecommunications facility	Under initial review. Emailed update to Applicant 3-3-14. Correction letter sent 3-19-14. WM	BC- conditionally approved.		
22	Groom	3039 Ironwood	1/15/14	CP0-422	New 2,206sf Single Family Home with 510sf garage - concurrent permitting with Building Division	Under initial review Correction letter sent 3-13-14. GN	BC- conditionally approved.	BCR-under review FD/TP Approve.	
23	Leage	1185-1215 Embarcadero	1/9/14	UP0-058	Floating Docks - Phase 2	Under review. Met with environmental consultant regarding CEQA requirements 4-17-14. CJ. Reviewing environmental proposal. Status update sent via email 5-23-14.	BC-under review.		

#	Applicant/ Property Owner	Project Address	Date	Permit Numbers	Project Description/Status	Planning Comments and Notations	Building/Fire Comments and Notations	Engineering Comments and Notations	Harbor/Admin Comments and Notations
24	Hough	289 Main	10/16/13	CP0-410 & UP0-369	CDP and CUP to construct a 2,578sf single family home on vacant lot	CJ- under review. Met with Applicant's representative 11-21-13. Project subject to bluff development standards. Met w/ Applicant representative 3-3-14 regarding bluff determination per LCP maps. Letter sent 4-1-14 re completeness and bluff standards. CJ.	BC- conditionally approved. TP-Disapprove 12/6/13.	BCR: Conditionally approved: ECP and sewer video required per memo of 10/28/13	
25	Redican	725 Embarcadero Rd.	6/26/13	UP0-359	Use Permit for seven boat slips and gangway	Under review. Incomplete letter sent 7-23-13. Resubmittal received on October 1, 2013. Additional info requested and resubmittal received 12-2-13. Incomplete letter sent 12-30. Meeting with Applicant on 2-13-14. Emailed Applicant 2-26-14 to clarify eelgrass study requirements for environmental review. CJ. Met with environmental consultant to review CEQA requirements 4-17-14. CJ/WM	Bldg -- Review complete, applicant to obtain building permit prior to construction. Disapproved 4/21/14TP-Disapprove 11/19/13.	N/R	Harbor conditions: 1. one slip to be reserved for public use; 2. southern-most end tie to remain vacant in order to not encroach on neighboring lease site. Note-water lease line will need to be extended out to accommodate slips. EE 12/16/13
26	Goodwin	2920 Juniper	5/21/13	CP0-399	Coastal Development Permit for new 3,645sf SFR with 1,028sf garage on vacant lot	CJ- Application deemed incomplete. Requested corrections 6/10/13.	BC-please route to building.	RS&DH-Plan revisions reqd per memo 5/29/13	
Continued projects									
27	City of Morro Bay	End of Nutmeg	1/18/12	UP0-344	Environmental documents for Nutmeg Tanks. Permit number for tracking purposes only County issuing permit. Demo existing and replace with two larger reservoirs. City handling environmental review	KW--Environmental contracted out to SWCA estimated to be complete on 4/27/2012. SWCA submitted draft I.S. to City on May 1, 2012. MR-Reviewed MND and met with SWCA to make corrections. In contact with County Environmental Division for their review. MND received by SWCA on 10/7/12. MND out for public notice and 30 day review as of 11/19/12. 30 day review ends on 12/25/12. No comments received. Scheduled for 1/16/13 Planning Commission meeting and then to be referred back to SLO County. Planning Commission continued this item to address concerns regarding traffic generated from the removal of soil. In applicant's court, they are addressing issues brought up by neighbors during initial P.C. meeting. Project has been redesigned and will be going forward with concrete tanks. Modifications to the MND are in process.	No review performed.	BCR- New design concept completed. Needs new MND for concrete tank, less truck trips. Neighborhood mtg held 9/27. Neighbors generally support new design that reduces truck trips by 80%. Concrete batch plant set up on site will further reduce impact. 5/5/14 - Cannon contract signed to finish permit phase. Construction will be delayed to FY15/16	
Projects in Process									

#	Applicant/ Property Owner	Project Address	Date	Permit Numbers	Project Description/Status	Planning Comments and Notations	Building/Fire Comments and Notations	Engineering Comments and Notations	Harbor/Admin Comments and Notations
28	Frye	244 Shasta	3/6/13	CP0-396 and AD0-081	Secondary Unit and Parking Exception.	Proposed creation of secondary unit from garage. Parking exception. First Noticed 5-16-13. Setbacks noted on plan incorrect, therefore project required to be re-noticed on 6/26/13. Applicant now required to comply with or amend existing permit #CP0-013 before proceeding with proposed project. Met with applicant's representative regarding previously approved permit. Waiting for applicant's resubmittal. Wayne Adams submitted a letter 1/6/14 requesting that the City determine the remaining permit considered abandoned. Letter sent re permit amendment request on 3-31. CJ	No review performed.	N/R	
Environmental Review									
29	Sonic	1840 Main St.	8/14/13	UPO-364 & CP0-404	Conditional Use Permit and Coastal Development Permit to develop Sonic restaurant.	Under initial review. Comment letter sent 9/10/13. CJ. Spoke w/ applicant 10/3 re: traffic study. CJ. Public Works & Fire comments received & forwarded 10/8/13 to applicant. Comments from Cal Trans received 10/31 and forwarded to Applicant. Applicant requested meeting w/ City staff & Cal Trans to review project requirements. Had project meeting-discussed traffic study requirements on 11-21-13. Requested fee estimate from environmental consultant for CEQA purposes. CJ.	Bldg -- Review complete, applicant to obtain building permit prior to construction.FD-Disapprove UPO 364/CPO 404 9/11/13	RPS: Initial conditions provide by memos of 9/10/13 and 10/14. Met with Caltrans on 10/17 and are awaiting their comment letter. Left messages for project Architect 10/18/13 advising him of Caltrans concerns.	
30	Turner	356 Yerba Buena	10/30/13	CP0-412	Single Family Addition & Remodel to a total of 2,767sf with 599sf garage	Property located within ESH area. Wetlands delineation study received. Incomplete letter sent 11-26-13. CJ. Resubmittal received. Initial stud in progress.	BC- conditionally approved.TP-Cond Approve 11/25/13.		
31	Frye	3420 Toro Lane	1/13/14	CP0-419	New Single Family Home	<i>Under initial review. Met w/ Applicant 1-17-14 re Incomplete Submittal of Plans. Resubmitted 1-23-14. Correction letter sent 2-20-14 CJ Met w/ Applicant 2-28-14 to review process - CJ. Correction letter sent 3-28-14. Met w/ environmental consultant 4/7 WM.</i>	<i>BC-disapproved- need geologic and engineering geology report.FD/TP Approve2/24/14</i>		
32	City of Morro Bay	N/A			MND for Chorro Creek Stream Gauges	Applicant requesting meeting for week of 9/9/13. SWCA performing the environmental review-tentatively scheduled for 10/14/2013.	No review performed.	N/R	

#	Applicant/ Property Owner	Project Address	Date	Permit Numbers	Project Description/Status	Planning Comments and Notations	Building/Fire Comments and Notations	Engineering Comments and Notations	Harbor/Admin Comments and Notations
33	Meissner	1387 Hillcrest	12/12/13	CP0-416	Admin CDP for 2,088sf SFR with a 507sf garage	KM - Under review. Project within threshold for proximity to cultural resources. Project deemed not exempt from CEQA and subject to an initial study. Letter sent to applicant 1/6/14. Resubmitted with Phase 1 Archaeological. Environmental review in progress. WM	BC- conditionally approved.		
34	Lucky 7	1860 Main	3/12/13	CP0-394	Construct Fuel Island Canopy	CJ- Requested additional info. 3-29-13 Resubmittal received 7-22. Project deemed not exempt from CEQA. Initial Study in process. Requested photometric plan for new lighting of canopy via phone 1-28-14 for initial study. Photometric plan and revised plans received 2-10-14. Reviewing new material submitted for inclusion in Initial Study. Initial Study complete and ready for signature 5/1/14. Reviewed with applicant 5/12. WM	Review complete, applicant to obtain building permit prior to construction. FD Approval CPO 394 8/23/13	Approved BCR 3/18/13	
35	Sequoia Court Estates	670 Sequoia	4/3/12	UP0-349 & S00-112	Parcel Map. 3 parcels and an open space parcel. A revised subdivision map was submitted for review on August 6, 2012.	Incomplete letter sent to applicant/agent. Project submitted without necessary materials for processing. Applicant submitted a revised plan reducing the number of lots, and is providing additional information as requested addressing City requested information. Additional information submitted; waiting for biological report. Report should be submitted in September 2012. Needs drainage plans. MR: Second incomplete letter sent 11/13/12. MND in preparation. Susan Craig, Coastal Commission staff confirmed property is entirely outside coastal zone. Met with applicant on 1/30/2013 project moving ahead, staff waiting on resubmittal. Applicant directed to obtain wetland determination. Project waiting on applicant. Resubmittal received 9-10-13. Corrections sent to applicant. Project still does not meet code requirements. Subdivision Review Committee to review project 2/11/14.	Review complete, applicant to obtain building permit prior to construction. TP/FD Disapprove SOO-112 w/corrections 10/18/13. FD Disapprove 1/31/14.	BCR- comments submitted 4/17/12. Drainage issues need to be addressed. 1/17/14 Drainage report incomplete. Developer needs to show how water quality requirements will be addressed. Peak flow mitigation not required at this phase.	

#	Applicant/ Property Owner	Project Address	Date	Permit Numbers	Project Description/Status	Planning Comments and Notations	Building/Fire Comments and Notations	Engineering Comments and Notations	Harbor/Admin Comments and Notations
36	LaPlante	3093 Beachcomber	11/3/11	CP0-365	New SFR. Resubmittal and Phase 1 Arch report 2/6/12.	SD-- Incomplete Letter 12/12/11. Phase 1 Arch Report required and Environmental Document. Environmental in process. Letter sent 4/11/2012 requesting environmental study. Applicant has requested a meeting on August 9, 2012 to review environmental study request. MR-Met with Applicant and discussed potential impacts of project and CEQA information requested to complete MND. Applicant will provide MND fees with submittal of Biological report. 8/9/12 MR met with applicant and owner to discuss environmental issues. Would require a detailed MND. Applicant is still considering preparation of Biological Report. Staff met with applicant and his agent, discussed elements of the project especially the Biological report needs to be prepared. Draft biological report received and under review. Project referred to environmental consultant and Coastal. MND in process. Applicant revising bio report and snail study. Spoke w/ Applicant Representative 3-13-14. Snail study complete and sent to Dept of Fish and Wildlife for concurrence review. Spoke w/ environmental consultant re completion of environmental 4/7 CJ.	Review complete, applicant to obtain building permit prior to construction.	DH comments submitted 1/18/2012. Provide EC, drainage report, SW mgmt.	No Comments to date
Grants									
37	Coastal Conservancy, California Coastal Commission, California Ocean Protection Council	City-wide			\$250,000 Grant Opportunity for funding for LCP update to address sea-level rise and climate change impacts.	Application submitted July 15, 2013. Awaiting results. Agency requested additional information and submitted 10-7-13. Notice received application was successful for amount requested. City funded \$250,000. Staff in contact with Coastal Conservancy staff to commence grant contract. Grant activity start date expected to be February 2014. RFP in process.	No review performed.	N/A	
38	City of Morro Bay	City-wide			CDBG funding to CAPSLO for operation of the Prado Day Center & Homeless Shelter, & Senior Nutrition Program and ADA Pedestrian Accessibility project.	Staff has ongoing responsibilities for contract management. 2012 contracts in progress. 2013 contracts in progress. City Council approval 6/10/14 for City participation in Urban County consortium for Fiscal Years 2015-2017. Upon approval, agreement to be forwarded to County Board of Supervisors for 7/8/14 meeting.	No review performed.	N/R	
Project requiring coordination with another jurisdiction									

#	Applicant/ Property Owner	Project Address	Date	Permit Numbers	Project Description/Status	Planning Comments and Notations	Building/Fire Comments and Notations	Engineering Comments and Notations	Harbor/Admin Comments and Notations
39	City of Morro Bay	Outfall			Original jurisdiction CDP for the outfall and for the associated wells	Coastal staff is working with staff. Coastal letter received 4/29/2013.	No review performed.	City provided response to CCC on 7/12/13. Per Qtrly Conference Call CCC will take 30days to respond	
40	City of Morro Bay Desal Plant	170 Atascadero			Project requires a Coastal Development Permit for upgrades at the Plant. Final action taken Sent to CCC but pursuant to their request the City has rescinded the action.	Waiting for outcome from the CDP application for the outfall	No review performed.	BCR- Phase 1 Maint and Repair project is underway. Desal plant start-up scheduled for 10/15/13. Phase 1 complete and finalized. Phase 2 on hold as of 5/7/14.	
Preapplication projects									
41		Little Morro Creek Road			BMX park	Permit process info provided to applicant on 7-23-13. Staff met with applicant on 8/30/13 to provide further application requirement info. Provided additional clarifying information 11-19-13 to applicant who is finalizing use permit application package. Preliminary site plan email received 4-1-14. CJ	Met with applicant.	Met w/ applicant 10/15/13 to determine project scope	
Final Map Under Review									
42	Medina	3390 Main	10/7/11	Map	Final Map. Issues with ESH restoration. Applicant placed processing of final map on hold by proposing an amendment to the approved tentative map and coastal development permit. Applicant proposed administrative amendment. Elevated to PC, approved 1/4/12. Appealed, scheduled for 2/14/12 CC Meeting. Appeal upheld by City Council, and project with denied 2/14/12. map check returning for corrections on 3/9/12	SD--Meeting with applicant regarding ESH Area and Biological Study. MR- Received letters from biologist regarding revegetation on 9/2/12. Letter sent to biologist. Recent Submittal reviewed and memo sent to PW regarding deficiencies. Initial review shows resubmitted map does not meet the 50 foot ESH boundary.	No review preformed.	DH - resubmitted map and Biological study on Dec 19th 2012. PW has completed their review. Received a letter from Medina's lawyer and preparing response. PW comments sent to RS to be included with his response letter. RS said to process map for CC. Letter being prepared to send to applicant to submit mylars for CC meeting.	
Projects Continued Indefinitely, No Response to Date on Incomplete Letter or inactive									

#	Applicant/ Property Owner	Project Address	Date	Permit Numbers	Project Description/Status	Planning Comments and Notations	Building/Fire Comments and Notations	Engineering Comments and Notations	Harbor/Admin Comments and Notations
43	Maritime Museum Association (Larry Newland)	Embarcadero	11/21/05	UP0-092 & CP0-139	Embarcadero-Maritime Museum (Larry Newland). Submitted 11/21/05. Resubmitted 10/5/06, tentative CC for landowner consent 1/22/07 Landowner consent granted. Resubmitted 5/25/07. Resubmitted additional material on 9/30/09. Applicant working with City Staff regarding lease for subject site. Applicants enter into agreement with City Council on project. Applicant to provide revised site plan. Staff processing a "Summary Vacation (abandonment)" for a portion of Surf Street. Staff waiting on applicant's resubmittal. Meeting held with applicant 2/23/2011. Staff met with applicant 1/27/11 and reviewed new drawings, left meeting with applicant indicating they would be resubmitting new plans based on our discussions.	KW--Incomplete 12/15/05. Incomplete 3/7/07. Incomplete Letter sent 6/27/07. Met to discuss status 10/4/07 Incomplete 2/4/08. Met with applicants on 3/3/09 regarding inc. later. Met with applicants on 2/19/2010. Environmental documents being prepared. Meeting held with city staff and applicants on 2/3/2011.	Please route project to Building upon resubmittal.	An abandonment of Front street necessary. To be scheduled for CC mtg.	
44	James Maul	530, 532, Morro Ave 534	3/12/10	SP0-323 & UP0-282	Parcel Map. CDP & CUP for 3 townhomes. Resubmittal 11/8/10. Resubmittal did not address all issues identified in correction letter.	KW-Incomplete letter sent 4/20/10. Met with applicant 5/25/10. Letter sent to applicant/agent indicating the City's intent to terminate the application based on inactivity. City advised there will be a new applicant and to keep the application viable.MR: Received letter from applicant's rep 11/15/12 requesting project remain open. Called B. Elster for further information. Six month extension granted.	Please route project to Building upon resubmittal.	N/A	
Projects going forward to Coastal Commission for review (Pending LCP Amendments) / State Department of Housing									

#	Applicant/ Property Owner	Project Address	Date	Permit Numbers	Project Description/Status	Planning Comments and Notations	Building/Fire Comments and Notations	Engineering Comments and Notations	Harbor/Admin Comments and Notations
45	City of Morro Bay	Citywide	10/16/13	A00-013	Zoning Text Amendment - Second Unit	Secondary Unit Ordinance Amendment. Ordinance 576 passed by City Council in 2012. 6-11-13 City Council direction to staff to bring back to Planning Commission for review of ordinance. At 10-16-13 PC meeting, Commission recommended changes to maximum unit size and tandem parking design where units over 900 sf and/or tandem parking design of second unit triggers a CUP process. Council accepted PC recommendation at 2-11-14 meeting and directed staff to bring back revised ordinance for a first reading and introduction. Item continued to 4/22/14 Council meeting to allow time for Coastal staff comment regarding proposed changes. Council approved Into and First Reading on 4/22/14. Final Adoption of Ord. 585 at 5/13/14 Council meeting. Ordinance to be sent as an LCP Amendment for certification by Coastal Commission.	No review performed.		
46	City of Morro Bay	Citywide		LCP-3-MRB-14-0409	Housing Element Implementation	Ordinance 584 sent as LCP Amendment to Coastal Commission. Coastal letter received 4-28-14. City response letter sent 5-21-14. CJ	No review performed.		
47	City of Morro Bay	Citywide	2/1/13	Ordinance 556	AMENDING THE MUNICIPAL CODE BY ADDING CHAPTER 17.27 ESTABLISHING REGULATIONS AND PROCEDURES ENTITLED "Antennas and Wireless Telecommunications Facilities" AND MODIFYING CHAPTER 17.12 TO INCORPORATE NEW DEFINITIONS, 17.24 to MODIFY primary district matrices to incorporate the text changes , 17.30 to eliminate section 17.30.030.F "antennas", 17.48 modify to eliminate section 17.48.340 "Satellite dish antennas" and Modify THE TITLE PAGE TO REFLECT THE NEW CHAPTER.	Application for Amendment submitted to Coastal Commission 9-11-13. Received comments back from CCC 11-27-13, working on addressing issues	No review performed.	N/A	
Projects Appealed or Forwarded to City Council									

#	Applicant/ Property Owner	Project Address	Date	Permit Numbers	Project Description/Status	Planning Comments and Notations	Building/Fire Comments and Notations	Engineering Comments and Notations	Harbor/Admin Comments and Notations
48	City of Morro Bay	Citywide	6/19/13	A00-015	Sign Ordinance Update. Text Amendment Modifying Section 17.68 "Signs"	Text Amendment Modifying Section 17.68 "Signs". Planning Commission placed the ordinance on hold pending additional work on definitions and temporary signs. 5/17/2010. PC made recommendations and forwarded to Council. Scheduled for 5/10/11 CC meeting, item was continued. Item heard at 5/24/11 City Council Meeting. Interim Urgency Ordinance approved to allow projecting signs. A report on the status of this project brought to PC on 2/7/2011. The item to be back to City Council first meeting in Nov. Workshops scheduled 9/29/11 & 10/6/11. -Workshop results going to City Council 12/13/11. Continued to 1/10/12 CC meeting. Staff Report to PC. Project went to 5/2/2012. Currently an intern is working on the Sign Ordinance. Update due to City Council in June 2013. Draft Sign Ordinance reviewed by PC on 6/19/13. Continued to 7/3/13 PC meeting for further review. PC has reviewed Downtown, Embarcadero, and Quintana Districts as well as the Tourist-Oriented Directional Sign Plan. 8/21/13 PC meeting scheduled to review North Main Street District. Final Draft of Sign Ordinance approved at 9/4/13 PC meeting with recommendation to forward to City Council. Council directed staff to do further research with local businesses. First workshop held 11/14 with approx. 12 Quintana area businesses. Downtown workshop held March 2014, North Main business workshop held 4/28/14 and Embarcadero business workshop to be held 5/19/14. CJ.	No review performed.	N/R	
49	Perry	3202 Beachcomber	9/8/2011 & 10/25/2012	AD0-067 / CP0-381	Variance. Demo/Reconstruct. New home with basement in S2.A overlay. Variance approved for deck only; the issue of stories was resolved due to inconsistencies in Zoning Ordinance.	Variance approved at 8/15/12 PC meeting. Appealed by 3 parties to City Council. Appeal to be heard. City Attorney reviewing. Appeal in abeyance until coastal application complete. Incomplete letter for CDP sent 12/13/12. No response since 2012.	Review complete, applicant to obtain building permit prior to construction.	See above	
Projects in Building Plan Check									
50	Sangren	675 Anchor	11/28/12	B-29813	SFR Addition	Requested corrections 1/9/13. CJ. Resubmittal received and under review (November 14, 2013). Denial letter sent 4/24/14 GN	BC- Returned for corrections 1/9/13.	N/A	
51	Sherrod	938 Anchor	11/8/13	B-30053	SFR Add/ Remodel	KM -Under review. Corrections returned 12-9-13. Nonconforming rear yard setback requires a CUP.	BC- Returned to applicant 3/21/14		
52	McAlexander	480 Arcadia	2/20/14	B-30110	SFR Add/ Remodel	Correction memo 3/14/14 -Needs CUP. GN. - Correction memo send 4/13/14	BC- Resubmitted 5/9/14.		
53	Cockrill	3031 Beachcomber	12/16/13	B-30068	SFR Add/ Remodel	Addition exceeds 10% in appeals area. Needs CDP. CJ	BC-On hold during Planning process.		
54	LaPlante	3093 Beachcomber	11/3/11	B-29586	New SFR	SD--Incomplete Letter 12/12/11. Phase 1 Arch Report required and Environmental Document. Incomplete letter sent 2/2012. MR: Met with applicant to go over environmental issues.	BC- Application on hold during planning process	DH- Provide SW mgmt, drainage rpt, EC.	
55	Starkie	2770 Cedar	4/1/14	B-30140	PV System	NC - Requested corrections 4/8	BC-returned for corrections		
56	Granite Ranch	2720 Elm	4/30/14	B-30161	SFR Remodel		BC- Returned for corrections 5/7/14.		
57	Jeffers	2740 Elm	3/12/14	B-30126	SFR Demo/ Reconstruct	GN - Needs CDP; Correction memo sent 4/10/14	BC-returned for corrections 4/15/14.		

#	Applicant/ Property Owner	Project Address	Date	Permit Numbers	Project Description/Status	Planning Comments and Notations	Building/Fire Comments and Notations	Engineering Comments and Notations	Harbor/Admin Comments and Notations
58	PG&E	1290 Embarcadero	10/2/13	G-040	Soil Removal	CJ- Needs CDP	BC- on hold pending planning process.	Memo of 11029/13. CDP application should address soil	
59	Craig	561 Estero	5/6/14	B-30162	SFR Remodel	Under review.	BC- under review.		
60	Buquet	647 Estero	3/14/14	B-30129	New SFR	GN- conditionally approved, need to add conditions as a separate plan sheet. 3/27/14	BC- RTI 5/12/14.	DH - approved 5.8.14	
61	Conrad	2820 Greenwood	12/30/13	B-30079	SFR Add/ Second Unit	Under review. 2nd unit will require CDP.	BC- returned for corrections 2/28/14.		
62	Friends of MB Library	625 Harbor	12/18/13	B-30071	Remodel Library	KM - Needs CDP.	BC- resubmitted 4/24/14.		
63	Skiff	2639 Hemlock	1/6/14	B-30081	SFR Addition- construct shop		BC- met with applicant and returned plans for revision.		
64	Groom	3039 Ironwood	1/15/14	B-30084	New SFR	Needs CDP.	BC-under review.		
65	Gonzalez	481 Java	10/6/13	B-30029	SFR Addition/ Remodel	KM - Disapproved due to nonconforming issues 10/22/13. GN - Sent out incomplete letter 1/30/14 with revisions. Resubmitted 4/3/14. Third incomplete letter sent 4/8/14.	BC- on hold pending planning process.	Plans returned w/o comment until PIng issue resolved	
66	Ramsay/ Chivens	431 Kern	3/11/14	B-30078	SFR Demo/ Reconstruct		BC-Returned for corrections 4/29/14.		
67	Schlesinger	2636 Koa	2/28/14	B-30118	SFR Remodel		BC-out for corrections.		
68	Gannon	2571 Laurel	5/9/14	B-30168	SF Addition	NC-Correction memo sent 5/9/14.	BC- Returned for corrections 5/12/14.		
69	Gong	217 Main	2/27/14	B-30115	New SFR	Correction memo sent 4/24/14 GN.	BC- Returned for corrections 4/24/14.	BCR- 2nd review complete, several items from first review not addressed	
70	Naran	2176 Main	5/13/13	B-29918	Partial change of occupancy	CJ - Corrections sent 5-29. Resubmittal received 11-20 and corrections sent 12-10-13.	BC-returned for corrections 12/16/13.	N/R	
71	Volk	800 Quintana	3/27/14	B-30137	Cell Antennas	NC - Corrections sent 4/8	BC-under review.		
72	Rock Harbor	1475 Quintana	3/3/14	B-30119	Commercial Alteration	Approved 3-21 GN	BC-returned for corrections 4/17/14.		
73	Adamson	1000 Ridgeway	9/11/13	B-30008	New SFR	CJ - on hold until CDP approval. CDP under appeal.	BC- returned for corrections 12/30/13.	BCR: Revise plans per memo of 10/14/13	
74	Frye	244 Shasta	5/7/13	B-29910	Garage to Second Unit conversion	KM - Needs to comply with or amend existing CDP. Wayne Adams submitted a letter 1/6/14 requesting that the City determine the remaining permit considered abandoned.	BC- on hold pending planning process.	BCR-approved 5/13/13	
75	Inn at MB	60 State Park	6/27/13	B-29884	Main Building Remodel	CJ- Corrections sent 7-17 including need to modify planning permit. Resubmittal received and response sent 12-18 to amend planning permit. Minor amendment necessary.	BC- Returned for corrections 12/19/13.	RS - Referred to State Parks for comment on frontage imprvmts	
76	Wammack	505 Walnut	12/31/13	B-30076	New SFR	CJ - needs CDP	BC-under review.	BCR sidewalk deferral agreement	
77	Najarian	325 Zanzibar	4/2/14	B-30142	New SFR	WM - Needs signed Acceptance of Conditions Form. 4/8	BC-Returned for corrections 4/24/14.		
78	Haeuser	501 Zanzibar	3/21/14	B-30133	SF Addition	NC - Corrections sent 4/25	BC-Returned for corrections 4/28/14.	RS: Comments provided 3/21/14	

Projects & Permits with Final Action

#	Applicant/ Property Owner	Project Address	Date	Permit Numbers	Project Description/Status	Planning Comments and Notations	Building/Fire Comments and Notations	Engineering Comments and Notations	Harbor/Admin Comments and Notations
79	AT&T	788 Main St.	6/10/13	UP0-362 & CP0-403	Special Use Permit for Recycling Container Enclosure in Parking Lot	CJ- Application under Review. Deemed Incomplete. Letter sent 7-9-13. Resubmittal received 11-5-13. Letter of incompleteness sent 12-4 CJ. Resubmittal received 3-6, reviewed and ready to be agendized for Planning Commission. WM. NC-noticed 5/9/14. Approved by PC on 5-20-14	Bldg -- Review complete, applicant to obtain building permit prior to construction.TP-FD Disapprove Express Check 3/18/13 & FD Disapprove UPO 362 7/23/13. TP-Cond. Approve 12/9/13	RS- Rvw complete no frontage improvements required	
80	Hough	279 Main	10/7/13	CP0-409 &UP0-366	CDP and CUP to construct a 2,617sf single family home on vacant lot	CJ- Project reviewed and additional info requested 11-21-13. Met with Applicant's representative 11-21-13.Resubmittal received and under review. Project deemed complete. Met w/ Applicant Representative 4-30 to discuss agendizing for 5-20-14 PC. NC-noticed 5/9/14. Approved by PC on 5-20-14	Bldg -- Review complete, applicant to obtain building permit prior to construction. TP/FD Disapprove w/corrections 10/17/13.	BCR: Conditionally approved: ECP and sewer video required per memo of 10/28/13	