



# CITY OF MORRO BAY PLANNING COMMISSION AGENDA

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*The City of Morro Bay is dedicated to the preservation and enhancement of the quality of life.  
The City shall be committed to this purpose and will provide a level of municipal service and safety  
consistent with and responsive to the needs of the public.*

**Regular Meeting - Tuesday, October 21, 2014  
Veteran's Memorial Building – 6:00 P.M.  
209 Surf Street, Morro Bay, CA**

Chairperson Robert Tefft

Vice-Chairperson Gerald Luhr  
Commissioner Richard Sadowski

Commissioner Michael Lucas  
Commissioner Katherine Sorenson

ESTABLISH QUORUM AND CALL TO ORDER  
MOMENT OF SILENCE / PLEDGE OF ALLEGIANCE  
PLANNING COMMISSIONER ANNOUNCEMENTS

## PUBLIC COMMENT PERIOD

Members of the audience wishing to address the Commission on matters not on the agenda may do so at this time. In a continual attempt to make the public process open to members of the public, the City also invites public comment before each agenda item. Commission hearings often involve highly emotional issues. It is important that all participants conduct themselves with courtesy, dignity and respect. All persons who wish to present comments must observe the following rules to increase the effectiveness of the Public Comment Period:

- When recognized by the Chair, please come forward to the podium and state your name and address for the record. Commission meetings are audio and video recorded and this information is voluntary and desired for the preparation of minutes.
- Comments are to be limited to three minutes so keep your comments brief and to the point.
- All remarks shall be addressed to the Commission, as a whole, and not to any individual member thereof. Conversation or debate between a speaker at the podium and a member of the audience is not permitted.
- The Commission respectfully requests that you refrain from making slanderous, profane or personal remarks against any elected official, commission and/or staff.
- Please refrain from public displays or outbursts such as unsolicited applause, comments or cheering.
- Any disruptive activities that substantially interfere with the ability of the Commission to carry out its meeting will not be permitted and offenders will be requested to leave the meeting.
- Your participation in Commission meetings is welcome and your courtesy will be appreciated.

In compliance with the Americans with Disabilities Act, if you need special assistance to participate in this meeting, please contact the Public Services' Office Assistant at (805) 772-6264. Notification 24 hours prior to the meeting will enable the City to make reasonable arrangements to ensure accessibility to this meeting. There are devices for the hearing impaired available upon request at the staff's table.

## PRESENTATIONS

Informational presentations are made to the Commission by individuals, groups or organizations, which are of a civic nature and relate to public planning issues that warrant a longer time than Public Comment will provide. Based on the presentation received, any Planning Commissioner may declare the matter as a future agenda item in accordance with the General Rules and Procedures. Presentations should normally be limited to 15-20 minutes.

A. CONSENT CALENDAR

A-1 Current and Advanced Planning Processing List  
**Staff Recommendation:** Receive and file.

B. PUBLIC HEARINGS

Public testimony given for Public Hearing items will adhere to the rules noted above under the Public Comment Period. In addition, speak about the proposal and not about individuals, focusing testimony on the important parts of the proposal; not repeating points made by others.

B-1 **Case No.:** #UP0-380 and AD0-090

**Site Location:** 501 Zanzibar Street, Morro Bay, CA

**Conditional Use Permit and Parking Exception:** Request to allow an addition exceeding 25% of existing floor area to a single-family residence with nonconforming front, side and garage setbacks, and to allow a second open parking space where two covered and enclosed spaces are required. The applicant is proposing a second-story addition of 594 square feet plus a 140 square-foot second-story deck to an existing 1,215 square-foot single-family residence and garage. The project is located on a 2,800 square-foot lot at the corner of Zanzibar Street and Panorama Drive. Plans show a second parking space to be located partially in the front setback with access from Zanzibar Street, or in tandem in the driveway and partially in the right-of-way with access from Panorama Drive.

**CEQA Determination:** Categorically Exempt, Section 15301(e), Class 1, for additions of no more than 10,000 square feet where all necessary public services are available and the site is not environmentally sensitive.

**Staff Recommendation:** Approve with conditions

**Staff Contact:** Whitney McIlvaine, ContractPlanner, (805) 772-6211

B-2 **Case No.:** A00-018

**Site Location:** Citywide

**Applicant:** City of Morro Bay

The City of Morro Bay is proposing amendment of both the General Plan and Local Coastal Program. Review of text amendments include alteration to the General Plan Land Use, Open Space and Conservation Element Section 13.C2a and Coastal Land Use Plan Section II.C1, to allow for density bonuses in residential zones for affordable housing, consistent with State Housing Law (Government Code Section 65915).

**CEQA Determination:** Categorically Exempt, Section 15061(b)(3)

**Staff Recommendation:** Review and recommend City Council approval of Amendments to both the General Plan and Local Coastal Program.

**Staff Contact:** Scot Graham, Planning Manager, (805) 772-6291

C. UNFINISHED BUSINESS - None

D. NEW BUSINESS - None

E. DIRECTOR AND PLANNING MANAGER COMMENTS

F. ADJOURNMENT

Adjourn to the regular Planning Commission meeting at the Veteran's Memorial Building, 209 Surf Street, on November 4, 2014, at 6:00 p.m.

### **PLANNING COMMISSION MEETING PROCEDURES**

This Agenda is subject to amendment up to 72 hours prior to the date and time set for the meeting. Please refer to the Agenda posted at the Public Services Department, 955 Shasta Avenue, for any revisions, or call the department at 772-6261 for further information.

Written testimony is encouraged so it can be distributed in the Agenda packet to the Commission. Material submitted by the public for Commission review prior to a scheduled hearing should be received by the Planning Division at the Public Services Department, 955 Shasta Avenue, no later than 5:00 P.M. the Tuesday (eight days) prior to the scheduled public hearing. Written testimony provided after the Agenda packet is published will be distributed to the Commission but there may not be enough time to fully consider the information. Mail should be directed to the Public Services Department, Planning Division.

Materials related to an item on this Agenda are available for public inspection during normal business hours in the Public Services Department, at Mill's/ASAP, 495 Morro Bay Boulevard, or the Morro Bay Library, 695 Harbor, Morro Bay, CA 93442. Materials related to an item on this Agenda submitted to the Planning Commission after publication of the Agenda packet are available for inspection at the Public Services Department during normal business hours or at the scheduled meeting.

This Agenda may be found on the Internet at: [www.morro-bay.ca.us/planningcommission](http://www.morro-bay.ca.us/planningcommission) or you can subscribe to Notify Me for email notification when the Agenda is posted on the City's website. To subscribe, go to [www.morro-bay.ca.us/notifyme](http://www.morro-bay.ca.us/notifyme) and follow the instructions.

The Brown Act forbids the Commission from taking action or discussing any item not appearing on the agenda, including those items raised at Public Comment. In response to Public Comment, the Commission is limited to:

1. Responding to statements made or questions posed by members of the public; or
2. Requesting staff to report back on a matter at a subsequent meeting; or
3. Directing staff to place the item on a future agenda. (Government Code Section 54954.2(a))

Commission meetings are conducted under the authority of the Chair who may modify the procedures outlined below. The Chair will announce each item. Thereafter, the hearing will be conducted as follows:

1. The Planning Division staff will present the staff report and recommendation on the proposal being heard and respond to questions from Commissioners.
2. The Chair will open the public hearing by first asking the project applicant/agent to present any points necessary for the Commission, as well as the public, to fully understand the proposal.
3. The Chair will then ask other interested persons to come to the podium to present testimony either in support of or in opposition to the proposal.
4. Finally, the Chair may invite the applicant/agent back to the podium to respond to the public testimony. Thereafter, the Chair will close the public testimony portion of the hearing and limit further discussion to the Commission and staff prior to the Commission taking action on a decision.

### **APPEALS**

If you are dissatisfied with an approval or denial of a project, you have the right to appeal this decision to the City Council up to 10 calendar days after the date of action. Pursuant to Government Code §65009, you may be limited to raising only those issues you or someone else raised at the public hearing described in this notice, or in written correspondence delivered to the Commission, at, or prior to, the public hearing. The appeal form is available at the Public Services Department and on the City's web site. If legitimate coastal resource issues related to our Local Coastal Program are raised in the appeal, there is no fee if the subject property is located within the Coastal Appeal Area. If the property is located outside the Coastal Appeal Area, the fee is \$250 flat fee. If a fee is required, the appeal will not be considered complete if the fee is not paid. If the City decides in the appellant's favor then the fee will be refunded.

City Council decisions may also be appealed to the California Coastal Commission pursuant to the Coastal Act Section 30603 for those projects that are in their appeals jurisdiction. Exhaustion of appeals at the City is required prior to appealing the matter to the California Coastal Commission. The appeal to the City Council must be made to the City and the appeal to the California Coastal Commission must be made directly to the California Coastal Commission Office. These regulations provide the California Coastal Commission 10 working days following the expiration of the City appeal period to appeal the decision. This means that no construction permit shall be issued until both the City and Coastal Commission appeal period have expired without an appeal being filed. The Coastal Commission's Santa Cruz Office at (831) 427-4863 may be contacted for further information on appeal procedures.



City of Morro Bay  
Public Services/Planning Division  
Current & Advanced Project Tracking Sheet

This tracking sheet shows the status of the work being processed by the Planning Division  
New Planning items or items recently updated are highlighted in yellow. Building items highlighted in green are pending action from the applicant.

Approved projects are deleted on next version of log.

Agenda No: A-1

Meeting Date: October 21, 2014

#	Applicant/ Property Owner	Project Address	Date	Permit Numbers	Project Description/Status	Planning Comments and Notations	Building/Fire Comments and Notations	Engineering Comments and Notations	Harbor/Admin Comments and Notations
<b>Hearing or Action Ready</b>									
1	Hauser	501 Zanzibar	5/23/14	UP0-380/ AD0-090	<b>Conditional Use Permit &amp; Parking Exception</b>	Single Family Addition of more than 25% to a non-conforming SFR. Parking Exception. Correction letter sent 9-5-14. WM. Resubmitted 9/29/14. Tentative Planning Commission hearing date 10-21-14. WM.	BC- incomplete	RPS- Conditions established in Memo of 3/21/14 for B-30133	
2	LaPlante	3093 Beachcomber	11/3/11	CP0-365	<b>Coastal Development Permit for New SFR in appeals jurisdiction. Proposed SFR of 3,495sf w/ 500 sf garage on vacant land.</b>	SD-- Incomplete Letter 12/12/11. Phase 1 Arch Report required and Environmental Document. Environmental in process. Letter sent 4/11/2012 requesting environmental study. Applicant has requested a meeting on August 9, 2012 to review environmental study request. MR-Met with Applicant and discussed potential impacts of project and CEQA information requested to complete MND. Applicant is preparing Biological Report. Biological report received 3/13 and under review. Project referred to environmental consultant and Coastal. MND in process. Applicant revising bio report and snail study. Spoke w/ Applicant Representative 3-13-14. Snail study complete and sent to Dept of Fish and Wildlife for concurrence review. Spoke w/ environmental consultant re completion of environmental 4/7 CJ. Met with application 7-18-14 to request addendum to bio report in order to complete CEQA. Bluff determination and snowy plover report submitted 8-14-14. CJ. MND complete. Anticipate routing to State Clearinghouse on 9/18/14. Anticipated Public Hearing Date 11/4/14. CJ.	Review complete, applicant to obtain building permit prior to construction.	DH comments submitted 1/18/2012. Provide EC, drainage report, SW mgmt.	No Comments to date
<b>30 -Day Review, Incomplete or Additional Submittal Review</b>									
2	Najarian	2295 Juniper	10/13/14	CP0-454	<b>Administrative Coastal Development Permit</b>	New SFR on vacant lot.		ME/DH	
3	Christensen	670 Shasta	10/9/14	UP0-390/ AD0-095	<b>Conditional Use Permit and Parking Exception for SFR Addition</b>	Addition greater than 25% to a nonconforming structure plus parking exception to allow a single car garage where two spaces are required.		RPS Approved 10/14/14	
4	Theis	960 Balboa	9/26/14	CP0-453/AD0-094	<b>Coastal Development Permit and Parking Exception to demolish carport and construct 1 car garage.</b>	Parking Exception request to allow tandem parking in driveway to count for 2nd required parking space. Site visit completed. Under review. JG.	BC- conditionally approved.	ME- Approved 10/7/14	

#	Applicant/ Property Owner	Project Address	Date	Permit Numbers	Project Description/Status	Planning Comments and Notations	Building/Fire Comments and Notations	Engineering Comments and Notations	Harbor/Admin Comments and Notations
5		433 Oahu	9/19/14	CP0-452	Admin Coastal Development Permit of 1,663 sf SFR with 458 sf garage	New SFR on vacant lot. Project deemed complete and ready to be noticed on 10/22. JG.			
6	Leage	833 Embarcadero	9/15/14	UP0-389	Demolish existing building. Reconstruct new 1 story building (retail/restaurant use) & outdoor improvements	Under review. Deemed incompleated. Letter sent 10-13-14. CJ	BC- incomplete	RPS - Disapproved for plan corrections noted in memo of 10/14/14	
7	Jeffers	2740 Elm Street	9/3/14	CP0-450	Admin Coastal Development Permit	Demo/Reconstruct of SFR. Demolition of 830sq home and reconstruct 1523 sf home with 2 car garage. Under review. Correction letter sent 9-12-14. Resubmitted 9-26-14. 2nd Incomplete letter sent. JG.	BC- conditionally approved.	JW- Approved 10/1	
8	Verizon / Knight	750 Radcliffe	8/13/14	CP0-449/ UP0-385	CDP and CUP for upgrades to telecommunications facility	Correction letter sent 9-17-14. CJ.	BC- conditionally approved.		
9	Salin	845 Ridgeway	8/8/14	CP0-448	Admin Coastal Development Permit for new SFR	Correction letter sent 8-28-14. with follow-up direction emailed 9/10/14. Confirmed with Applicant's Representation 9-30-14. CJ	BC- conditionally approved.	DH- Approved 8/28/14	
10	Wordeman	2900 Alder	7/28/14	CP0-447	Administrative Coastal Development Permit for new construction of duplex in R-4 zone.	Proposed Duplex unit A at 1965sf w/ 605 sf garage and unit B at 1,714sf w/ 605sf garage. Under Review. Correction letter sent 8-27-14. CJ.	BC- conditionally approved.		
11	Romeiro	219 Marina	7/22/14	CP0-446	Addition to Non conforming SFR in Coastal Appeals Jurisdiction	Addition that exceeds 10% in appeals area requires CDP. Incomplete letter sent 9-23-14. WM.	BC- conditionally approved.		
12	McCallister	176 Java St.	7/21/14	CP0-444	Coastal Development Permit for addition to existing SFR within coastal appeals jurisdiction.	Addition that exceeds 10% in appeals area requires CDP. Correction letter sent 8-25-14. Corrections and bio report submitted 10/16. Under review. JG			
13	Sotelo & Chanley	420 Island	7/17/14	CP0-443	CDP for construction of new 1,678sf SFR w/ 482sf garage adjacent to ESH	Under Review. Correction letter sent 8-15-14. SG. Resubmittal received 8/29/14. 2nd Incomplete letter sent 9-16-14. SG.	BC- conditionally approved.	BCR - conditionally approved. Needs Floodplain Dev. Permit	
14	Johnson	301 Little Morro Creek Rd	6/26/14	CP0-442 & UP0-081	CDP and Special/Interim Use Permit for new BMX Bike Park	Under Review. Correction letter sent 8-26-14. Meeting held 9-9 w/ Applicant to discuss outstanding issues. CJ.		BCR- Conditionally improved with stomwater exemption. Needs floodplain dev. Permit	
15	Dennis	290 Piney Ln	6/26/14	CP0-440	Administrative Coastal Development Permit for new 3,108 SFR with 591sf garage and 316sf balcony	Under Review. Correction letter sent 9-08-14. Resubmitted with corrections 10/15. Under review. JG.	BC- conditionally approved.	BCR/DH drainage plan under review	
16	Dennis	270 Piney Ln	6/26/14	CP0-439	Administrative Coastal Development Permit for new 3,108 SFR with 591sf garage and 316sf balcony	Under Review. Correction letter sent 9-08-14. Resubmitted with corrections 10/15. Under review. JG.	BC- conditionally approved.	BCR/DH drainage plan under review	
17	Dennis	280 Piney Ln	6/26/14	CP0-438	Administrative Coastal Development Permit for new 3,108 SFR with 591sf garage and 316sf balcony	Under Review. Correction letter sent 9-08-14. Resubmitted with corrections 10/15. Under review. JG.	BC- conditionally approved.	BCR/DH drainage plan under review	

#	Applicant/ Property Owner	Project Address	Date	Permit Numbers	Project Description/Status	Planning Comments and Notations	Building/Fire Comments and Notations	Engineering Comments and Notations	Harbor/Admin Comments and Notations
18	Frye	250 & 244 Shasta Street	6/17/14	CP0-213 Amendment	<b>Amendment to CP0-213 &amp; Variance Request (amendment to original 2006 CDP for 250 Shasta)</b>	Amendment to Administrative Coastal Permit CP0-213 and Variance Request to allow a north side yard setback of less than the required 5 feet at 244 Shasta. Including encroachment of garage into required side yard setback and allow home at 0 ft. setback. Correction letter sent 8-28-14. 2nd letter sent 9-18-14 regarding administrative permit modification for a non-conforming structure.		BCR_ 7/8/13 cond appr. Complete frontage improvements required	
19	Strasburg/Oehler	371 Piney	3/20/14	CP0-427	<b>New SFR - Admin CDP</b>	Received 3/25/14. Under Initial review. CJ. Correction letter sent 4/25 NC. Resubmittal received 5/21. Corrections sent 6-3-14 and 7-10-14. WM	BC- conditionally approved.	JSW- conditionally approved.	
20	Hough	289 Main	10/16/13	CP0-410 & UP0-369	<b>CDP and CUP to construct a 2,578sf single family home on vacant lot</b>	CJ- under review. Met with Applicant's representative 11-21-13. Project subject to bluff development standards. Met w/ Applicant representative 3-3-14 regarding bluff determination per LCP maps. Letter sent 4-1-14 re completeness and bluff standards. CJ.	BC- conditionally approved. TP-Disapprove 12/6/13.	BCR: Conditionally approved: ECP and sewer video required per memo of 10/28/13	
21	Redican	725 Embarcadero Rd.	6/26/13	UP0-359	<b>Use Permit for seven boat slips and gangway</b>	Under review. Incomplete letter sent 7-23-13. Resubmittal received on October 1, 2013. Additional info requested and resubmittal received 12-2-13. Incomplete letter sent 12-30. Meeting with Applicant on 2-13-14. Emailed Applicant 2-26-14 to clarify eelgrass study requirements for environmental review. CJ. Met with environmental consultant to review CEQA requirements 4-17-14. Seeking additional fee estimate for CEQA review. Met with consultant 7-2-14. Revised fee estimate provided to applicant 7-25-14. Draft environmental MND received from consultant and under review for completeness. Info hold letter sent 9-2-14. CJ.	Bldg -- Review complete, applicant to obtain building permit prior to construction. Disapproved 4/21/14TP-Disapprove 11/19/13.	N/R	Harbor conditions: 1. one slip to be reserved for public use; 2. southern-most end tie to remain vacant in order to not encroach on neighboring lease site. Note-water lease line will need to be extended out to accommodate slips. EE 12/16/13
22	Goodwin	2920 Juniper	5/21/13	CP0-399	<b>Coastal Development Permit for new 3,645sf SFR with 1,028sf garage on vacant lot</b>	CJ- Application deemed incomplete. Requested corrections 6/10/13. Sent Intent to Deem Withdrawn letter on 8-28-14. JG. Spoke with applicant who requested to keep application active. JG. Resubmittal received 9/25/14. Under Review	BC-please route to building.	RS&DH-Plan revisions rqd per memo 5/29/13	
23	Perry	3202 Beachcomber	9/8/2011 & 10/25/2012	AD0-067 / CP0-381	<b>Variance.</b> Demo/Reconstruct. New home with basement in S2.A overlay. Variance approved for deck only; the issue of stories was resolved due to inconsistencies in Zoning Ordinance.	Variance approved at 8/15/12 PC meeting. Appealed by 3 parties to City Council. Appeal to be heard. City Attorney reviewing. Appeal in abeyance until coastal application complete. Incomplete letter for CDP sent 12/13/12. No response since 2012. Sent Intent to Deem Withdrawn Letter 9-2-14. JG. Applicant responded with Request for Meeting to keep CDP application open. SG.	Review complete, applicant to obtain building permit prior to construction.	See above	

Continued projects

#	Applicant/ Property Owner	Project Address	Date	Permit Numbers	Project Description/Status	Planning Comments and Notations	Building/Fire Comments and Notations	Engineering Comments and Notations	Harbor/Admin Comments and Notations
24	Frye	3420 Toro Lane	1/13/14	CP0-419 & UP0-383	<b>Coastal Development Permit and Conditional Use Permit for New 2,209sf SFR and 551sf garage w/ approx. 300 sf of decking on vacant lot.</b>	Under initial review. Met w/ Applicant 1-17-14 re Incomplete Submittal of Plans. Resubmitted 1-23-14. Correction letter sent 2-20-14 CJ Met w/ Applicant 2-28-14 to review process - CJ. Correction letter sent 3-28-14. Met w/ environmental consultant 4/7. Draft initial study under review and plans resubmitted 6/25/14. WM. Project subject to Bluff Development Standards. Mitigated Negative Declaration routed to State Clearinghouse with tentative PC hearing date for 9/2/14. Correspondence received from Coastal Commission and Ca Dept of Fish and Wildlife regarding environmental. Applicant addressing concerns. PC hearing date continued to date uncertain. Met with Applicant 9-30-14. WM	BC-disapproved- need geologic and engineering geology report.FD/TP Approve2/24/14	RS/DH 7/22/14 under review	
25	Gonzalez	481 Java	12/30/13	UP0-374	<b>Conditional Use Permit for Non conforming single family residence</b>	KM - Under initial review. GN - Incomplete letter sent 1/30/14. Met w/ applicant 4/3 WM/GN. Applicant resubmitted 4/3/14. GN - Third incomplete letter sent 4/8/14. Project does not conform to standards. Applicant responded 5/1/14 wishes to proceed to PC w/ project as submitted. WM. Noticed 5/23 NC. Continued to a date uncertain by Planning Commission at the 6/3 meeting to address parking non-conformities. WM. Resubmitted 9/26/14.	BC- conditionally approved.	BCR - Began resubmittal review 9/30/14	
26	City of Morro Bay	End of Nutmeg	1/18/12	UP0-344	<b>Environmental documents for Nutmeg Tanks.</b> Permit number for tracking purposes only County issuing permit. Demo existing and replace with two larger reservoirs. City handling environmental review	KW--Environmental contracted out to SWCA estimated to be complete on 4/27/2012. SWCA submitted draft I.S. to City on May 1, 2012. MR-Reviewed MND and met with SWCA to make corrections. In contact with County Environmental Division for their review. MND received by SWCA on 10/7/12. MND out for public notice and 30 day review as of 11/19/12. 30 day review ends on 12/25/12. No comments received. Scheduled for 1/16/13 Planning Commission meeting and then to be referred back to SLO County. Planning Commission continued this item to address concerns regarding traffic generated from the removal of soil. In applicant's court, they are addressing issues brought up by neighbors during initial P.C. meeting. Project has been redesigned and will be going forward with concrete tanks. Modifications to the MND are in process. Neighborhood meeting conducted with Engineering on 9/27/2013.	No review performed.	BCR- New design concept completed. Needs new MND for concrete tank, less truck trips.Neighborhood mtg held 9/27. Neighbors generally support new design that reduces truck trips by 80%. Concrete batch plant set up on site will further reduce impact. 5/5/14 - Cannon contract signed to finish permit phase. Construction will be delayed to FY15/16	

Projects in Process

#	Applicant/ Property Owner	Project Address	Date	Permit Numbers	Project Description/Status	Planning Comments and Notations	Building/Fire Comments and Notations	Engineering Comments and Notations	Harbor/Admin Comments and Notations
27	Frye	244 Shasta	3/6/13	CP0-396 and AD0-081	<b>Secondary Unit and Parking Exception.</b>	Proposed creation of secondary unit from garage. Parking exception. First Noticed 5-16-13. Setbacks noted on plan incorrect, therefore project required to be re-noticed on 6/26/13. Applicant now required to comply with or amend existing permit #CP0-013 before proceeding with proposed project. Met with applicant's representative regarding previously approved permit. Waiting for applicant's resubmittal. Wayne Adams submitted a letter 1/6/14 requesting that the City determine the remaining permit considered abandoned. Letter sent re permit amendment request on 3-31. CJ. Permit modification received 6-17-14. Correction letter sent re. permit modification 8-27-14. CJ.	No review performed.	N/R	
<b>Environmental Review</b>									
28	Sonic	1840 Main St.	8/14/13	UP0-364 & CP0-404	<b>Conditional Use Permit and Coastal Development Permit to develop Sonic restaurant.</b>	Under initial review. Comment letter sent 9/10/13. CJ. Spoke w/ applicant 10/3 re: traffic study. CJ. Public Works & Fire comments received & forwarded 10/8/13 to applicant. Comments from Cal Trans received 10/31 and forwarded to Applicant. Applicant requested meeting w/ City staff & Cal Trans to review project requirements. Had project meeting-discussed traffic study requirements on 11-21-13. Requested fee estimate from environmental consultant for CEQA purposes. CJ. Resubmitted 5/27. Environmental Review in process. Correction letter based on environmental review sent 8-6-14. CJ	Bldg -- Review complete, applicant to obtain building permit prior to construction.FD-Disapprove UPO 364/CPO 404 9/11/13	RPS: Initial conditions provide by memos of 9/10/13 and 10/14. Met with Caltrans on 10/17. 7/22/14 Resubmittal review underway	
29	Turner	356 Yerba Buena	10/30/13	CP0-412	<b>Single Family Addition &amp; Remodel to a total of 2,767sf with 599sf garage</b>	Property located within ESH area. Wetlands delineation study received. Incomplete letter sent 11-26-13. CJ. Resubmittal received. Draft initial study under review. 2nd incomplete letter sent 8-29-14. CJ. Public Works comments sent 8/29 to Applicant necessary to complete MND. Draft MND received from consultant. Resubmittal received 9/5/14. CJ.	BC- conditionally approved.TP-Cond Approve 11/25/13.	JW-Disapproved; additional easement in question 10-1-2014.	
30	City of Morro Bay	N/A			<b>MND for Chorro Creek Stream Gauges</b>	Applicant requesting meeting for week of 9/9/13. SWCA performing the environmental review-tentatively scheduled for 10/14/2013.	No review performed.	N/R	
<b>Grants</b>									
31	Coastal Conservancy, California Coastal Commission, California Ocean Protection Council	City-wide			<b>\$250,000 Grant Opportunity for funding for LCP update to address sea-level rise and climate change impacts.</b>	Application submitted July 15, 2013. Awaiting results. Agency requested additional information and submitted 10-7-13. Notice received application was successful for amount requested. City funded \$250,000. Staff in contact with CA Ocean Protection Council staff to commence grant contract.	No review performed.	N/A	

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32	City of Morro Bay	City-wide				CDBG funding to CAPSLO for operation of the Prado Day Center & Homeless Shelter, & Senior Nutrition Program and ADA Pedestrian Accessibility project.	Staff has ongoing responsibilities for contract management. 2012 contracts in progress. 2013 contracts in progress. City Council approval 6/10/14 for City participation in Urban County consortium for Fiscal Years 2015-2017. Upon approval, agreement to be forwarded to County Board of Supervisors for 7/8/14 meeting. HUD monitoring visit conducted 7/17/14 for Fair Housing and Public Participation federal compliance. Needs Assessment Workshop scheduled for 9/11/14 in tandem with Cities of Atascadero and Paso Robles at Atascadero City Hall 5pm.	No review performed.	N/R	
Project requiring coordination with another jurisdiction										
33	City of Morro Bay	Outfall				Original jurisdiction CDP for the outfall and for the associated wells	Coastal staff is working with staff. Coastal letter received 4/29/2013.	No review performed.	City provided response to CCC on 7/12/13. Per Qtrly Conference Call CCC will take 30days to respond	
34	City of Morro Bay Desal Plant	170	Atascadero			Project requires a Coastal Development Permit for upgrades at the Plant. Final action taken Sent to CCC but pursuant to their request the City has rescinded the action.	Waiting for outcome from the CDP application for the outfall	No review performed.	BCR- Phase 1 Maint and Repair project is underway. Desal plant start-up scheduled for 10/15/13. Phase 1 complete and finalized. Phase 2 on hold as of 7/22/14.	
Preapplication projects - None currently										
Final Map Under Review										
35	Medina	3390	Main	10/7/11	Map	Final Map. Issues with ESH restoration. Applicant placed processing of final map on hold by proposing an amendment to the approved tentative map and coastal development permit. Applicant proposed administrative amendment. Elevated to PC, approved 1/4/12. Appealed, scheduled for 2/14/12 CC Meeting. Appeal upheld by City Council, and project with denied 2/14/12. map check returning for corrections on 3/9/12	SD--Meeting with applicant regarding ESH Area and Biological Study. MR- Received letters from biologist regarding revegetation on 9/2/12. Letter sent to biologist. Recent Submittal reviewed and memo sent to PW regarding deficiencies. Initial review shows resubmitted map does not meet the 50 foot ESH boundary.	No review preformed.	DH - resubmitted map and Biological study on Dec 19th 2012. PW has completed their review. Received a letter from Medina's lawyer and preparing response. PW comments sent to RS to be included with his response letter. RS said to process map for CC. Letter being prepared to send to applicant to submit mylars for CC meeting.	
Projects Continued Indefinitely, No Response to Date on Incomplete Letter or inactive										

#	Applicant/ Property Owner	Project Address	Date	Permit Numbers	Project Description/Status	Planning Comments and Notations	Building/Fire Comments and Notations	Engineering Comments and Notations	Harbor/Admin Comments and Notations
36	Maritime Museum Association (Larry Newland)	Embarcadero	11/21/05	UP0-092 & CP0-139	<b>Embarcadero-Maritime Museum (Larry Newland).</b> Submitted 11/21/05. Resubmitted 10/5/06, tentative CC for landowner consent 1/22/07 Landowner consent granted. Resubmitted 5/25/07. Resubmitted additional material on 9/30/09. Applicant working with City Staff regarding lease for subject site. Applicants enter into agreement with City Council on project. Applicant to provide revised site plan. Staff processing a "Summary Vacation (abandonment)" for a portion of Surf Street. Staff waiting on applicant's resubmittal. Meeting held with applicant 2/23/2011. Staff met with applicant 1/27/11 and reviewed new drawings, left meeting with applicant indicating they would be resubmitting new plans based on our discussions.	KW--Incomplete 12/15/05. Incomplete 3/7/07. Incomplete Letter sent 6/27/07. Met to discuss status 10/4/07 Incomplete 2/4/08. Met with applicants on 3/3/09 regarding inc. later. Met with applicants on 2/19/2010. Environmental documents being prepared. Meeting held with city staff and applicants on 2/3/2011. Sent Intent to Deem Withdrawn letter 9-2-14. JG.	Please route project to Building upon resubmittal.	An abandonment of Front street necessary. To be scheduled for CC mtg.	
37	Sequoia Court Estates	670 Sequoia	4/3/12	UP0-349 & S00-112	<b>Parcel Map. 3 parcels and an open space parcel.</b> A revised subdivision map was submitted for review on August 6, 2012.	Incomplete letter sent to applicant/agent. Project submitted without necessary materials for processing. Applicant submitted a revised plan reducing the number of lots, and is providing additional information as requested addressing City requested information. Additional information submitted; waiting for biological report. Report should be submitted in September 2012. Needs drainage plans. MR: Second incomplete letter sent 11/13/12. MND in preparation. Susan Craig, Coastal Commission staff confirmed property is entirely outside coastal zone. Met with applicant on 1/30/2013 project moving ahead, staff waiting on resubmittal. Applicant directed to obtain wetland determination. Project waiting on applicant. Resubmittal received 9-10-13. Corrections sent to applicant. Project still does not meet code requirements. Subdivision Review Committee to review project 2/11/14. Sent Intent to Deem Withdrawn letter on 9-2-14. JG.	Review complete, applicant to obtain building permit prior to construction. TP/FD Disapprove SOO-112 w/corrections 10/18/13. FD Disapprove 1/31/14.	BCR- comments submitted 4/17/12. Drainage issues need to be addressed. 1/17/14 Drainage report incomplete. Developer needs to show how water quality requirements will be addressed. Peak flow mitigation not required at this phase.	
38	Lucky 7	1860 Main	3/12/13	CP0-394	<b>Construct Fuel Island Canopy</b>	CJ- Requested additional info. 3-29-13 Resubmittal received 7-22. Project deemed not exempt from CEQA. Initial Study in process. Requested photometric plan for new lighting of canopy via phone 1-28-14 for initial study. Photometric plan and revised plans received 2-10-14. Reviewing new material submitted for inclusion in Initial Study. Initial Study complete and ready for signature 5/1/14. Reviewed with applicant 5/12. Waiting on Applicant to sign mitigations. WM. Sent Intent to Deem Withdrawn letter 8-28-14. JG.	Review complete, applicant to obtain building permit prior to construction. FD Approval CPO 394 8/23/13	Approved BCR 3/18/13	

#	Applicant/ Property Owner	Project Address	Date	Permit Numbers	Project Description/Status	Planning Comments and Notations	Building/Fire Comments and Notations	Engineering Comments and Notations	Harbor/Admin Comments and Notations
39	AT&T	590 Morro	1/16/14	CP0-126 / UP0-084	<b>Upgrade of unmanned telecommunications facility</b>	Under initial review. Emailed update to Applicant 3-3-14. Correction letter sent 3-19-14. WM. Intent to Deem Withdrawn letter sent 8-28-14. JG. Spoke with applicant 9-16, intends to resubmit. JG.	BC- conditionally approved.	BCR- ADA ramp upgrade required	
40	James Maul	530, 532, Morro Ave 534	3/12/10	SP0-323 & UP0-282	<b>Parcel Map.</b> CDP & CUP for 3 townhomes. Resubmittal 11/8/10. Resubmittal did not address all issues identified in correction letter.	KW-Incomplete letter sent 4/20/10. Met with applicant 5/25/10. Letter sent to applicant/agent indicating the City's intent to terminate the application based on inactivity. City advised there will be a new applicant and to keep the application viable.MR: Received letter from applicant's rep 11/15/12 requesting project remain open. Called B. Elster for further information. Six month extension granted. Sent Intent to Deem Withdrawn Letter 8-28-14. JG.	Please route project to Building upon resubmittal.	N/A	
<b>Projects going forward to Coastal Commission for review (Pending LCP Amendments) / State Department of Housing</b>									
41	City of Morro Bay	Citywide	4/18/14	A00-021	<b>2014-2019 Housing Element Update / Council Resolution 41-14</b>	Sent to Department of Housing and Community Development for review and certification on 4/18/14. Initial Study/ Negative Declaration routed to State Clearinghouse 5/12/14. Final Housing Element to be agendized for 6/17/14 PC mtg and 6/24/14 Council meeting. Adopted by Council with amendments on 6/24/14. Resubmitted to HCD for final 90 day review period on 7/3/14.	No review preformed.		
42	City of Morro Bay	Citywide	10/16/13	A00-013	<b>Zoning Text Amendment - Second Unit</b>	Secondary Unit Ordinance Amendment. Ordinance 576 passed by City Council in 2012. 6-11-13 City Council direction to staff to bring back to Planning Commission for review of ordinance. At 10-16-13 PC meeting, Commission recommended changes to maximum unit size and tandem parking design where units over 900 sf and/or tandem parking design of second unit triggers a CUP process. Council accepted PC recommendation at 2-11-14 meeting and directed staff to bring back revised ordinance for a first reading and introduction. Item continued to 4/22/14 Council meeting to allow time for Coastal staff comment regarding proposed changes. Council approved Into and First Reading on 4/22/14. Final Adoption of Ord. 585 at 5/13/14 Council meeting. Ordinance to be sent as an LCP Amendment for certification by Coastal Commission.	No review performed.		
43	City of Morro Bay	Citywide		LCP-3-MRB-14-0409	<b>Housing Element Implementation</b>	Ordinance 584 sent as LCP Amendment to Coastal Commission. Coastal letter received 4-28-14. City response letter sent 5-21-14. C.J. Received Coastal response via consultant 7-30-14. LCP Amendment tentatively scheduled for August Coastal Commission hearing.	No review preformed.		

#	Applicant/ Property Owner	Project Address	Date	Permit Numbers	Project Description/Status	Planning Comments and Notations	Building/Fire Comments and Notations	Engineering Comments and Notations	Harbor/Admin Comments and Notations
44	City of Morro Bay	Citywide	2/1/13	Ordinance 556	<b>Wireless Amendment - LCP Amendment</b> CHAPTER 17.27 Amendment for "Antennas and Wireless Telecommunications Facilities" AND MODIFYING CHAPTER 17.12 TO INCORPORATE NEW DEFINITIONS, 17.24 to MODIFY primary district matrices to incorporate the text changes , 17.30 to eliminate section 17.30.030.F "antennas", 17.48 modify to eliminate section 17.48.340 "Satellite dish antennas" and Modify THE TITLE PAGE TO REFLECT THE NEW CHAPTER.	Application for Wireless Amendment submitted to Coastal Commission 9-11-13. Received comments back from CCC 11-27-13, working on addressing issues.	No review performed.	N/A	
45	City of Morro Bay	Citywide	6/12/12	Ordinance 578 / A00-014	<b>North Main Commercial Parking. LCP Amendment to Zoning Ordinance</b> , Title 17 Section 17.44.020 Parking Facilities.	LCP Amendment to Zoning Ordinance, 17.44.020 submitted to Coastal 9-2013. Amend ordinance to exempt the North Main Street Commercial Area from the provisions required by 17.44.02 A.1 which would allow businesses to change use intensity without providing additional parking. Comments received back from Coastal 11-2013., working on addressing outstanding items requested by Coastal.			
<b>Projects Appealed or Forwarded to City Council</b>									
46	City of Morro Bay	Citywide	6/19/13	A00-015	<b>Sign Ordinance Update.</b> Text Amendment Modifying Section 17.68 "Signs"	Text Amendment Modifying Section 17.68 "Signs". Planning Commission placed the ordinance on hold pending additional work on definitions and temporary signs. 5/17/2010. PC made recommendations and forwarded to Council. Scheduled for 5/10/11 CC meeting, item was continued. Item heard at 5/24/11 City Council Meeting. Interim Urgency Ordinance approved to allow projecting signs. A report on the status of this project brought to PC on 2/7/2011. The item to be back to City Council first meeting in Nov. Workshops scheduled 9/29/11 & 10/6/11 .-Workshop results going to City Council 12/13/11. Continued to 1/10/12 CC meeting. Staff Report to PC. Project went to 5/2/2012. Currently an intern is working on the Sign Ordinance. Update due to City Council in June 2013. Draft Sign Ordinance reviewed by PC on 6/19/13. Continued to 7/3/13 PC meeting for further review. PC has reviewed Downtown, Embarcadero, and Quintana Districts as well as the Tourist-Oriented Directional Sign Plan. 8/21/13 PC meeting scheduled to review North Main Street District. Final Draft of Sign Ordinance approved at 9/4/13 PC meeting with recommendation to forward to City Council. Council directed staff to do further research with local businesses. First workshop held 11/14 with approx. 12 Quintana area businesses. Downtown workshop held March 2014, North Main business workshop held 4/28/14 and Embarcadero business workshop to be held 5/19/14. Result of sign workshops to be agendized for Planning Commission.	No review performed.	N/R	

#	Applicant/ Property Owner	Project Address	Date	Permit Numbers	Project Description/Status	Planning Comments and Notations	Building/Fire Comments and Notations	Engineering Comments and Notations	Harbor/Admin Comments and Notations
Projects in Building Plan Check									
47	Sangren	675 Anchor	11/28/12	B-29813	SFR Addition	Requested corrections 1/9/13. CJ. Resubmittal received and under review (November 14, 2013). Denial letter sent 4/24/14 GN	BC- Returned for corrections 1/9/13.	N/A	
48	Sherrod	938 Anchor	11/8/13	B-30053	SFR Add/ Remodel	KM -Under review. Corrections returned 12-9-13. Variance granted by PC for rear yard. Front yard setback non-conforming.	BC- on hold pending planning process.	DH-7/22/14 needs sewer video	
49	Hill	445 Arcadia	7/8/14	B-30204	SFR Carport/ Deck	CJ - Corrections sent 7-14-14. Left msg w/ applicant requesting site visit 9/25/14. CJ.	BC- Resubmitted 9/10/14.	JW-Disapproved, Correction Memo filed 7/18/2014	
50	LaPlante	3093 Beachcomber	11/3/11	B-29586	New SFR	SD--Incomplete Letter 12/12/11. Phase 1 Arch Report required and Environmental Document. Incomplete letter sent 2/2012. MR: Met with applicant to go over environmental issues.	BC- Application on hold during planning process	DH- Provide SW mgmt, drainage rpt, EC.	
51	Beckett	175 Easter	8/19/14	B-30245	SFR Add		BC- under review.		
52	Jeffers	2740 Elm	3/12/14	B-30126	SFR Demo/ Reconstruct	GN - Needs CDP; Correction memo sent 4/10/14. Pending CDP approval. CJ. Correction letter sent 10/15/2014	BC-returned for corrections 4/15/14.	JW- 4/7/14 corrections needed. JW- 9/9/14 2nd Submittal: Corrections and SWR Video needed.	
53	Caldwell	801 Embarcadero	8/18/14	B-30250	Commercial Hood System		BC- returned for corrections 10/8/14.		
54	Fowler	1213 Embarcadero	9/11/14	B-30270	Phase 1-B Water Site Improvements		BC-under review.		
55	PG&E	1290 Embarcadero	10/2/13	G-040	Soil Removal	CJ- Monitoring Well location partially in Coastal original jurisdiction. Coastal Commission processing consolidated permit. Waiver granted by Coastal 9-14-1491-W	BC- on hold pending planning process.	Memo of 11/29/13. CDP application should address soil revegetation or stabilization of excavated area	
56	Buquet	647 Estero	3/14/14	B-30129	New SFR	GN- conditionally approved, need to add conditions as a separate plan sheet. 3/27/14	BC- RTI 5/12/14.	DH - approved 5.8.14	
57	Appleby	381 Fresno	7/31/14	B-30227	Carport& Storage Shed	Correction sent 8-7-14. WM. Requires CUP. Waiting on CUP application.	BC-on hold pending Planning process.	RPS - No PW comments if street access is not required for	
58	Montecalvo	510 Fresno	5/16/14	B-30212	New 2car garage w/ storage	Corrections sent 8-11-14. WM.	BC- returned for corrections 8/22/14.	Assigned to ME/DH for review	
59	Conrad	2820 Greenwood	12/30/13	B-30079	SFR Add/ Second Unit	Under review. 2nd unit will require CDP.	BC- returned for corrections 2/28/14.		
60	MB Friends of the Library	625 Harbor	10/6/14	B-30263	Disabled Access Site Improvements		BC- under review		
61	MB Friends of the Library	625 Harbor	10/7/14	B-30290	Courtyard Improvements		BC- under review		
62	Meissner	1387 Hillcrest	7/31/14	B-30226	New SFR	Corrections sent 8-22-14. WM.	BC- under review		
63	Wass	2910 Ironwood	9/30/14	B-30285	SFR Remodel/ Structural Modifications		BC- under review		
64	Groom	3039 Ironwood	1/15/14	B-30084	New SFR	Needs CDP.	BC-Ready to Issue 7/10/14.	BCR-7/1/14 approved. SW O&M plan rec'd 7/10/14	
65	Sotello	420 Island	6/30/14	B-30192	New SFR	Needs CDP.	BC- Returned for correction 10/2/14.		

#	Applicant/ Property Owner	Project Address	Date	Permit Numbers	Project Description/Status	Planning Comments and Notations	Building/Fire Comments and Notations	Engineering Comments and Notations	Harbor/Admin Comments and Notations
66	McCallister	176 Java	6/3/14	B-30179	SFR Remodel	Project exceeds 10% in coastal appeals area. Will require a CDP prior to Building. CJ	BC-Returned for corrections 6/18/14.	BCR- under review	
67	Gonzalez	481 Java	10/6/13	B-30029	SFR Addition/ Remodel	KM - Disapproved due to nonconforming issues 10/22/13. GN - Sent out incomplete letter 1/30/14 with revisions. Resubmitted 4/3/14. Third incomplete letter sent 4/8/14.	BC- on hold pending planning process.	Return for resolution of Planning issues	
68	Ramsay/ Chivens	431 Kern	3/11/14	B-30078	SFR Demo/ Reconstruct	Needs CDP prior to Building Permit	BC-Issued 9/16/14.	RS 3/24/14 Cond Appr. w/ frontage Improvements	
69	Ramsey	330 Kings	8/13/14		SFR Addition	Approved 8/21/14. CJ.	BC-Issued 9/22/14.	BCR 9/9/14 Resubmittal approved	
70	Gong	217 Main	2/27/14	B-30115	New SFR	Correction memo sent 4/24/14 GN. Approved 8/25/14. CJ.	BC- Issued 8/28/14.	BCR- 2nd review complete, several items from first review not addressed	
71	Senior Appartments	555 Main	6/30/14	B-30190	21 Unit Senior Apartments	Corrections sent 8-5-14. CJ.	BC-Returned for corrections 9/2/14.	To BCR for review 7/17/14	
72	AT&T	788 Main	6/23/14	B-30194	Recycling Facility and Site Improvements	Correction sent 7-14-14. WM	BC-under review.	RPS -Conditional Approval with modifications per memo of	
73	Dyson	1177 Main	8/18/14	B-30248	Covered Patio		BC-Returned for corrections 9/8/14.		
74	Naran	2176 Main	5/13/13	B-29918	Partial change of occupancy	CJ - Corrections sent 5-29. Resubmittal received 11-20 and corrections sent 12-10-13.	BC-returned for corrections 12/16/13.	N/R	
75	Domino's	2360 Main	9/16/14	B-30278	Commercial remodel		BC-RTI 10/8/14.		
76	Meisterlin	315 Morro Bay Blvd.	9/12/14	B30275	Commercial Alteration-Handicap restroom		BC-returned for corrections 10/2/14.		
77	Arriana's	525 Morro Bay Blvd	7/14/14	B-30208	Commercial Foodservice Facility		BC-out for corrections.		
78	Valelley	460 Olive	9/12/14	B-30273	New SFR, previously constructed second unit, address changed to 468 Olive				
79	Nagy	371 Piney	8/11/14	B-30237	New SFR		BC-out for corrections.		
80	T-Mobile	750 Radcliffe	7/25/14	B-30221	Fiber Utility Connection	Under review.	BC-Returned for corrections 9/30/14.		
81	Adamson	1000 Ridgeway	9/11/13	B-30008	New SFR	CJ - on hold until CDP approval. CDP under appeal. CDP denied by Planning Commission 6/17. Council denied appeal 8-12-14 thus denying project.	BC- on hold pending planning process.	BCR: Revise plans per memo of 10/14/13	
82	Frye	244 Shasta	5/7/13	B-29910	Garage to Second Unit conversion	KM - Needs to comply with or amend existing CDP. Wayne Adams submitted a letter 1/6/14 requesting that the City determine the remaining permit considered abandoned.	BC- on hold pending planning process.	BCR-approved 5/13/13	
83	Rodgers	445 Shasta	9/26/14	B-30243	New SFR		BC- resubmitted 9/29/14. No WEU required, house previously demo'd on site 2003.	RPS - Approved with deferred submittal of frontage improvement plans per memo of 10/14/14	
84	Riles	155 Tahiti	10/6/14	B-30289	Convert portion of storage room to bathroom and closet.		BC-under review.		
85	Williams	320 Trinidad	7/24/14	B-30220	Convert Existing Storage Space to Guest House	Deed restriction required prior to issuance. CJ.	BC-RTI pending covenant.		
86	James	341 Vashon	9/18/14	B-30279	New SFR		BC-under review. 1 WEU required.	JSW- Disapproved; comments forward to BLDG, 10-01-2014.	
86	Wammack	505 Walnut	12/31/13	B-30076	New SFR	CJ - needs CDP	BC-on hold pending Planning process.	BCR sidewalk deferral agreement	

#	Applicant/ Property Owner	Project Address	Date	Permit Numbers	Project Description/Status	Planning Comments and Notations	Building/Fire Comments and Notations	Engineering Comments and Notations	Harbor/Admin Comments and Notations
87	Haeuser	501 Zanzibar	3/21/14	B-30133	SF Addition	NC - Corrections sent 4/25	BC-Returned for corrections 4/28/14.	RS: Comments provided 3/21/14	
<b>Projects &amp; Permits with Final Action</b>									
88	Najarian	471 Nevis	7/22/14	CP0-445	<b>Administrative Coastal Development Permit for new 1,686 SFR with 507sf garage and 192sf of decking</b>	Under Review. Correction letter sent 9-9-14. JG. Resubmittal received 9-14-14. Project noticed for pending permit 9-26-14. Comment period ends 10-6-14. Admin CDP issued 10-8-14. JG	BC- conditionally approved.	JSW- conditionally approved.	
89	Hibbard	990 Balboa	7/28/14	UP0-384 & AD0-092	<b>Conditional Use Permit and Parking Exception to allow addition to existing non conforming SFR</b>	380 sf addition to 966sf non conforming SFR. Under review. Noticed for PC hearing date 10-7-2014. Permit Issued. JG.	BC- conditionally approved.	BCR - provided corrections 8/4	
90	Sherrod	938 Anchor	9/8/14	UP0-388	<b>Conditional Use Permit for Non conforming single family residence</b>	Project received Variance for rear setback for purposes of addition to a non-conforming SFR. Front yard setback nonconforming. Conditional Use Permit to address front yard setback only. Planning Commission hearing date 10-7-14. WM.	BC- conditionally approved.		
91	Wammack	505 Walnut	12/31/13	CP0-417	<b>Coastal Development Permit for new 3,236sf SFR including 489sf garage on vacant lot - concurrent permitting for Building Permit</b>	GN - Incomplete letter sent 1/31/14. Resubmittal received 4-1-14. GN - 2nd incomplete letter sent 4/15/14. Waiting on plan changes to identify second unit and required parking. Resubmittal received. Planning Commission hearing project at 8/19 meeting and continued with direction for resubmittal. Planning Commission approval on 9-16-14. WM.	BC- conditionally approved.	BCR-approved with deferral of frontage improvements	



AGENDA NO: B-1

MEETING DATE: October 21, 2014

## Staff Report

**TO:** Planning Commissioners

**DATE:** October 21, 2014

**FROM:** Whitney McIlvaine, Contract Planner

**SUBJECT:** **Conditional Use Permit UP0-380 and Parking Exception AD0-090**  
Request to allow additions exceeding 25% of existing floor area for a single-family residence with nonconforming setbacks at 501 Zanzibar Street, and to allow a single-car garage and a second parking space partially in the front setback.

**RECOMMENDATION:**

*CONDITIONALLY APPROVE THE PROJECT* by adopting a motion approving Planning Commission Resolution 24-14 (Exhibit A) which includes the Findings and Conditions of Approval for the project depicted on revised site development plans dated September 25, 2014.

**APPLICANT:** Karla Haeuser

**AGENTS:** Novak Consulting and Avila Drafting and Design

**APN:** 065-035-026



**PROJECT DESCRIPTION:** The Applicant is requesting Conditional Use Permit approval for a 594 square-foot addition and a 140 square-foot deck to the second story of an existing 1,215 square-foot residence (including the garage) with an attached 166 square-foot deck. The residence is considered nonconforming because it has a one car garage where two covered spaces are required, and the interior side yard, front yard and garage setbacks are nonconforming. Approval of a Parking Exception is requested for a second, uncovered parking space to be located at the southeastern corner of the lot with access from Zanzibar Street. Plans also show a tandem parking space option in the driveway and extending into Panorama Drive right-of-way.

Prepared By: WM

Department Review: \_\_\_\_\_

**PROJECT SETTING:** The project is located in a dense residential neighborhood in the north of the City on a small 2,800 square-foot corner lot. The property’s base zoning is R-1 (Single Family Residential). The S.1 overlay provides development standards for small lots. (See *Zoning Ordinance Standards* table below.) Housing in the surrounding area includes a mix of one- and two-story homes and a mix of older homes and newly constructed or remodeled homes.



<b><u>Adjacent Zoning/Land Use</u></b>			
North:	R-1/S.1 Residential Use	South:	R-1/S.1 Residential Use
East:	R-1/S.1 Residential Use	West:	R-1/S.1 Residential Use

<b><u>Site Characteristics</u></b>	
Site Area	Approximately 2,800 square feet
Existing Use	Single family residential
Terrain	Gently sloping and developed
Vegetation/Wildlife	Some ornamental landscaping
Archaeological Resources	n/a
Access	Panorama Drive

<b><u>General Plan, Zoning Ordinance &amp; Local Coastal Plan Designations</u></b>	
General Plan/Coastal Plan Land Use Designation	Low-Medium Density Residential
Base Zone District	R-1
Zoning Overlay District	S.1
Coastal Zone	Located outside the Coastal Appeal Jurisdiction

<b><u>Zoning Ordinance Standards: S.1 Overlay</u></b>		
	<b>Standards</b>	<b>Existing/Proposed</b>
<b>Front Yard Setback</b>	10 feet minimum	Existing and Proposed 10 feet
<b>Interior Side Yard Setback</b>	3 feet minimum	Existing - varies from 2.91 to 3.05 feet New addition - 2.98'* to 3.05'
<b>Exterior Side Yard Setback</b>	6 feet minimum	Existing varies from 9.82 to 9.91 feet – no change
<b>Garage Setback</b>	10 feet minimum	9.91 feet – no change
<b>Rear Yard Setback</b>	5 feet minimum	Existing 5.05 feet – no change
<b>Lot Coverage</b>	50% maximum	Existing 49% - Proposed 48%
<b>Height</b>	25 feet maximum	Proposed 23'10"
<b>Parking</b>	2 covered and enclosed spaces	Proposed 1 covered space 1 uncovered space partially in front setback along Zanzibar Street
*17.48.030 allows for rounding of fractions to whole numbers		

**PROJECT ANALYSIS:**

Current requirements of the Morro Bay City Zoning Ordinance (the “Zoning Ordinance”) for setbacks and parking render the existing structure and the parking arrangement nonconforming. However, additions to nonconforming structures may be permitted with approval of a conditional use permit, subject to certain findings (Morro Bay Municipal Code (“MBMC”) section 17.56.160). Similarly, the Zoning Ordinance allows for exceptions to parking standards, subject to certain findings (MBMC section 17.44.050).



**Design and Materials:** The second story is located toward Zanzibar Street to maximize views. This also maximizes separation from the adjacent new home to the north on Panorama.

Plans indicate the building will have terra cotta colored stucco siding with a “rustic redwood” shingle roof and blue-gray and cream trim ( Exhibit C). A brown composition (e.g. *Trex* or similar) decking is proposed for the new deck. Staff recommends the exterior treatment be consistent throughout the first and second story in terms of colors, materials, windows, trim, and decking.

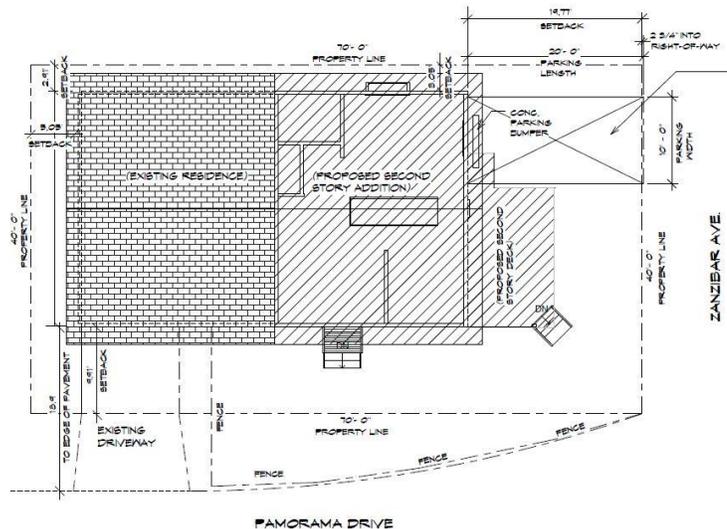
Plans indicate the building will have terra cotta colored stucco

**Setbacks:**

Existing interior side yard and garage setbacks do not quite meet the minimum requirements. The proposed second-story addition and deck are in conformance with setback requirements.

**Parking Exception:**

The existing 965(+/-) square-foot residence with an attached 250(+/-) square-foot, single-car garage was built in 1976. The MBMC allows a single-car garage where a residence is less than 1,000 square feet on properties with the S.1 overlay. The addition triggers the requirement for a second parking space.



Number and Type of Spaces Required: Two covered and enclosed spaces are required for residences of 1,000 square feet or larger.

Dimension Standards: The required minimum dimension for an open parking space where there are no obstacles on either side is 9'x20'. An additional foot of width is required for obstacles on either side of a vehicle.

Location Standards: MBMC section 17.44.020D.2.b. states, "No portion of any parking space or aisle, except entrance and exit driveways, shall be permitted in a required front yard area." MBMC section 17.44.020.D.3.i also states that cars backing onto a public street shall not encroach into the street yard setback. The only type of open parking specifically allowed with approval of an exception is tandem parking, typically in the driveway. Garages closer than 20 feet to the right-of-way are required to have an automatic rolling type garage door opener.

Requested Exception: Rather than provide a two-car garage with the remodel and addition, the applicant is requesting approval for an uncovered 10'x19.77' parking space to be accessed from Zanzibar Street and partially located in the front setback. Given the adjacent deck, 10 feet in width is proposed.

An alternative "Option 2" space is shown on the plans in the driveway area. Staff does not support this option because it would require 10<sup>+</sup> feet of the parking space to be located in the public right-of-way.

Required Findings: Exceptions to parking standards require the following findings to be made (MBMC section 17.44.050):

1. The exceptions will not constitute a grant of special privilege inconsistent with the driveway or parking limitations upon other properties in the vicinity and the reduced parking or alternative design to the parking design standards of this chapter will be adequate to accommodate on the site all parking needs generated by the use.

*Single-family dwellings which are 1,000 square feet in size or larger in the S.1 overlay zone are required to provide two parking spaces. If the second uncovered space in the front setback is approved, then the project would meet that requirement. Dwellings in the surrounding neighborhood have a mix of one- and two-car garages.*

2. The exception will not adversely affect the health, safety or general welfare of persons working or residing in the vicinity and that no traffic safety problems will result from the proposed modification of the parking standard.

*The exception will not adversely affect the health, safety or general welfare because the project is subject to building code and engineering standards for driveway location and construction.*

3. The exception is reasonably necessary for the applicant's full enjoyment of uses similar to those upon the adjoining real property.

*The applicant's parking proposal is similar to parking arrangements in the project vicinity.*

**Conditional Use Permit Requirement:**

The Zoning Ordinance, subsection 17.56.160B, requires approval of a conditional use permit for projects proposing additions in excess of 25% of the existing floor to a nonconforming structure. The project proposes to add 594 square feet of habitable area to an existing 965 square-foot residence, an increase of approximately 62%. (See Exhibit B – Reduced Plans.) As noted above, the structure is nonconforming with regard to setbacks and the garage does not meet minimum requirements for two parking spaces. Approval of a use permit requires the following findings to be made:

1. The enlargement, expansion, or alteration is in conformance with all applicable provisions of the Zoning Ordinance.

*The proposed remodel and additions are consistent with Zoning Ordinance requirements.*

2. The project meets applicable Title 14 (Building and Construction Code) requirements for a conforming use.

*The applicant is required to submit a complete building permit application and obtain the required building permit prior to construction.*

3. The project is suitable for conforming uses and will not impair the character of the zone in which it exists.

*The project proposes additions to a single-family dwelling, which is an allowed use in the R-1 zone. The surrounding neighborhood is developed with one- and two-story homes.*

4. It is not feasible to make the structure conforming without major reconstruction of the existing structure.

*Major reconstruction would be necessary for the existing portion of the project to meet setback requirements and to accommodate a two-car garage.*

**PUBLIC NOTICE:** Notice of this item was published in the San Luis Obispo Tribune newspaper on October 10, 2014, and all property owners of record within 300 feet of the subject site were notified of this evening's public hearing and invited to voice any concerns on this application.

**ENVIRONMENTAL DETERMINATION:** Environmental review was performed for this project and staff determined it meets the requirements for a Categorical Exemption under CEQA Guidelines Section 15301(e) Class 1. That exemption applies to additions of no more than 10,000 square feet where all necessary public services are available and the site is not environmentally sensitive.

**CONCLUSION:** The project is consistent with the General Plan and Local Coastal Plan which establish five residential land use categories to provide for a wide range of densities and to ensure residential land is developed to a density suitable to its location and physical characteristics. The project is consistent with the Zoning Ordinance because housing is a principally allowed use in the Low/Medium Density land use designation and because the Zoning Ordinance allows additions to nonconforming structures and parking standard exceptions upon approval of a conditional use permit (MBMC section 17.56.160) and a parking exception (MBMC section 17.44.050).

Staff recommends the Planning Commission approve the requested Conditional Use Permit #UPO-380 for the proposed addition to a nonconforming structure and approve "option 1" of the Parking Exception #ADO-090 for the project at 501 Zanzibar Street, as shown on revised plans dated September 25, 2014, by adopting Planning Commission Resolution 24-14 which includes the Findings and Conditions of Approval for the project.

**EXHIBITS:**

Exhibit A – Planning Commission Resolution 24-14

Exhibit B – Existing Graphics/Plan Reductions as revised and dated September 25, 2014

Exhibit C – Color and Materials exhibit

## EXHIBIT A

### RESOLUTION NO. PC 24-14

#### A RESOLUTION OF THE MORRO BAY PLANNING COMMISSION APPROVING CONDITIONAL USE PERMIT (UP0-380) TO ALLOW ADDITIONS EXCEEDING 25% OF THE EXISTING FLOOR AREA TO A NONCONFORMING RESIDENTIAL STRUCTURE AND APPROVING A PARKING EXCEPTION (ADO- 090) TO ALLOW A SECOND OPEN UNCOVERED SPACE IN THE FRONT SETBACK AT 501 ZANZIBAR STREET

**WHEREAS**, the Planning Commission of the City of Morro Bay (the “City”) conducted a public hearing at the Morro Bay Veteran’s Hall, 209 Surf Street, Morro Bay, California, on October 21, 2014, for the purpose of considering Conditional Use Permit UPO-380 for a proposed addition to a nonconforming single-family home, and Parking Exception ADO-090 for a second open uncovered space in the front setback at 501 Zanzibar Street; and

**WHEREAS**, notice of the public hearing was provided at the time and in the manner required by law; and

**WHEREAS**, the Planning Commission has duly considered all evidence, including the testimony of the applicant, interested parties, and the evaluation and recommendations by staff, presented at said hearing.

**NOW, THEREFORE, BE IT RESOLVED** by the Planning Commission of the City of Morro Bay as follows:

**Section 1: Findings.** Based upon all the evidence, the Commission makes the following findings:

#### California Environmental Quality Act (CEQA) Finding

1. Pursuant to the California Environmental Quality Act, the project is categorically exempt under Section 15301(e), Class 1 for additions of no more than 10,000 square feet where all necessary public services are available and the site is not environmentally sensitive.

#### Conditional Use Permit Findings

1. The project is consistent with the General Plan and Local Coastal Plan which establish five residential land use categories to provide for a wide range of densities and to ensure that residential land is developed to a density suitable to its location and physical characteristics.
2. The proposed addition is in conformance with all applicable provisions of the Morro Bay City Zoning Ordinance (the “Zoning Ordinance”), including building height, setbacks, and lot coverage.

3. The project meets applicable Title 14 (Building and Construction Code) requirements for a conforming use since the applicant is required to submit a complete building permit application and obtain the required building permit prior to construction.
4. The project is suitable for conforming uses and will not impair the character of the zone in which it exists because it proposes an addition to a single-family dwelling, which is an allowed use in the R-1 zone and the surrounding neighborhood is developed with one- and two-story homes.
5. It is not feasible to make the structure conforming without major reconstruction of the existing structure. Major reconstruction would be necessary in order for the existing structure to meet all setbacks and in order to provide a two-car garage.

#### Parking Exception Findings

1. The exceptions will not constitute a grant of special privilege inconsistent with the driveway or parking limitations upon other properties in the vicinity, and the reduced parking or alternative design to the parking design standards of this chapter will be adequate to accommodate on the site all parking needs generated by the use. With approval of the exception, two required parking places will be provided on site consistent with the Zoning Ordinance requirements.
2. The exception to allow a second open parking space in the front setback will not adversely affect the health, safety or general welfare of persons working or residing in the vicinity, and no traffic safety problems will result from the proposed modification of the parking standard, because the parking area will not conflict with existing traffic patterns in the right-of-way and parking space construction will be subject to Building Code requirements and the City's Engineering Standards.
3. The exception is reasonably necessary for the applicant's full enjoyment of uses similar to those upon the adjoining real property, given the footprint and construction of the existing building on site.

**Section 2. Action.** The Planning Commission does hereby approve Conditional Use Permit UPO-380 and Parking Exception ADO-090 for property located at 501 Zanzibar Street subject to the following conditions:

#### **STANDARD CONDITIONS**

1. This permit is granted for the land described in the staff report dated October 21, 2014, for the project at 501 Zanzibar Street depicted on revised plans dated September 25, 2014, on file with the Public Services Department, as modified by these conditions of approval, and more specifically described as follows: Site

development, including all buildings and other features, shall be located and designed substantially as shown on plans, unless otherwise specified herein.

2. Inaugurate Within Two Years: Unless the construction is commenced not later than two (2) years after the effective date of this Resolution and is diligently pursued, thereafter, this approval will automatically become null and void; provided, however, that upon the written request of the applicant, prior to the expiration of this approval, the applicant may request up to two extensions for not more than one (1) additional year each. Any extension may be granted by the City's Public Services Director (the "Director"), upon finding the project complies with all applicable provisions of the Morro Bay Municipal Code (the "MBMC"), General Plan and certified Local Coastal Program Land Use Plan (LCP) in effect at the time of the extension request.
3. Changes: Minor changes to the project description and/or conditions of approval shall be subject to review and approval by the Public Services Director. Any changes to this approved permit determined, by the Director, not to be minor shall require the filing of an application for a permit amendment subject to Planning Commission review.
4. Compliance with the Law: (a) All requirements of any law, ordinance or regulation of the State of California, the City, and any other governmental entity shall be complied with in the exercise of this approval, (b) This project shall meet all applicable requirements under the MBMC, and shall be consistent with all programs and policies contained in the LCP and General Plan for the City.
5. Hold Harmless: The applicant, as a condition of approval, hereby agrees to defend, indemnify, and hold harmless the City, its agents, officers, and employees, from any claim, action, or proceeding against the City as a result of the action or inaction by the City, or from any claim to attack, set aside, void, or annul this approval by the City of the applicant's project; or applicants failure to comply with conditions of approval. Applicant understands and acknowledges the City is under no obligation to defend any legal actions challenging the City's actions with respect to the project. This condition and agreement shall be binding on all successors and assigns.
6. Compliance with Conditions: The applicant's establishment of the use or development of the subject property constitutes acknowledgement and acceptance of all Conditions of Approval. Compliance with and execution of all conditions listed hereon shall be required prior to obtaining final building inspection clearance. Deviation from this requirement shall be permitted only by written consent of the Director or as authorized by the Planning Commission. Failure to comply with any of these conditions shall render this entitlement, at the discretion of the Director, null and void.

7. Compliance with Morro Bay Standards: This project shall meet all applicable requirements under the MBMC, and shall be consistent with all programs and policies contained in the LCP and General Plan of the City.

## **PLANNING CONDITIONS**

1. Archaeology: In the event of the unforeseen encounter of subsurface materials suspected to be of an archaeological or paleontological nature, all grading or excavation shall immediately cease in the immediate area, and the find should be left untouched until a qualified professional archaeologist or paleontologist, whichever is appropriate, is contacted and called in to evaluate and make recommendations as to disposition, mitigation and/or salvage. The developer shall be liable for costs associated with the professional investigation.
2. Construction Hours: Pursuant to MBMC subsection 9.28.030.I, Construction or Repairing of Buildings, the erection (including excavating), demolition, alteration or repair of any building or general land grading and contour activity using equipment in such a manner as to be plainly audible at a distance of fifty feet from the building other than between the hours of seven a.m. and seven p.m. on weekdays and eight a.m. and seven p.m. on weekends except in case of urgent necessity in the interest of public health and safety, and then only with a permit from the Public Services Department, which permit may be granted for a period not to exceed three days or less while the emergency continues and which permit may be renewed for a period of three days or less while the emergency continues.
3. Dust Control: That prior to issuance of a grading permit, a method of control to prevent dust and wind blow earth problems shall be submitted for review and approval by the Building Official.
4. Conditions of Approval: Prior to the issuance of a Building Permit, the final Conditions of Approval shall be attached to the set of approved plans. The sheet containing Conditions of Approval shall be the same size as other plan sheets and shall be the last sheet in the set of Building Plans.
5. Sight Distance: Site development shall preclude any construction or landscaping that adversely impacts sight distance for vehicles backing out of the driveway or out of the second open parking space onto Zanzibar Street to the satisfaction of the City Engineer and Planning Manager.
6. Garage Door: The project shall incorporate installation of an automatic rolling type garage door consistent with MBMC subsection 17.44.020.D.3.p.i. to the satisfaction of the Planning Manager.
7. Wheel Stop: The project shall include installation of a concrete wheel stop that allows for a minimum two foot bumper overhang in the parking space accessed from Zanzibatr Street.

8. Pavers: Design and construction of the open parking spot shall utilize permeable pavers.
9. Color and Materials: The exterior building treatment shall be consistent throughout the first and second story in terms of colors, materials, windows, trim, and decking.
9. Landscape Plan: Prior to issuance of a building permit, the applicant shall submit a drought tolerant landscape plan to the satisfaction of the Planning Manager. The plan shall include specifications for soil amendment and mulching; number, size and type of plant materials; and method of maintenance.
10. Boundaries and Setbacks: The property owner is responsible for verification of lot boundaries. At the time of foundation inspection, the property owner shall verify lot boundaries and building setbacks to the satisfaction of the City Planning Manager and City Building Official.
11. Height Certification: Prior to either roof nail or framing inspection a licensed surveyor shall measure the height of the structure and submit a letter to the City Planning Manager, certifying the height of the structure is in accordance with the approved set of plans and complies with the height requirements of the Morro Bay, Municipal Code Section 17.12.310.

#### **PUBLIC WORKS CONDITIONS**

1. Conduct a video inspection of the conditions of existing sewer lateral. Submit video to City collection system personnel. Construction Plans should reflect repair or replacement as required to prohibit inflow/infiltration.
2. Repair/replace the asphalt berm and driveway approach to meet the City's standards.
3. The existing fence is constructed within the City Right of Way for Zanzibar Street and Panorama Drive. If this fence is to be replaced or left in place a Special Encroachment Permit must be obtained from the City of Morro Bay and recorded with the County of San Luis Obispo.

Add the following Notes to the Plans:

4. No work within nor any use of any public rights of way shall occur without an encroachment permit. Encroachment permits are available at the City's Public Services Office located at 955 Shasta Ave. The Encroachment permit shall be issued concurrently with the building permit.
5. Any damage to any of the City's facilities (such as curb/berm, street, sewer line, water line, or any public improvements) resulting, directly or indirectly from construction operations related to this project shall be repaired at no cost to the City.

**BUILDING CONDITIONS**

1. Building Permit: Prior to construction, the applicant shall submit a complete Building Permit Application and obtain the required Permit.
2. Eaves along the easterly property line shall not extend closer than two feet to the property line.

PASSED AND ADOPTED by the Morro Bay Planning Commission at a regular meeting thereof held on this 21st day of OCTOBER, 2014 on the following vote:

AYES:

NOES:

ABSENT:

ABSTAIN:

\_\_\_\_\_  
Chairperson Tefft

ATTEST

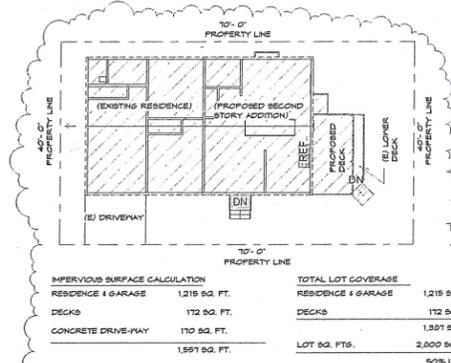
\_\_\_\_\_  
Rob Livick, Planning Secretary

The foregoing resolution was passed and adopted this 21st day of OCTOBER, 2014.

# EXHIBIT B

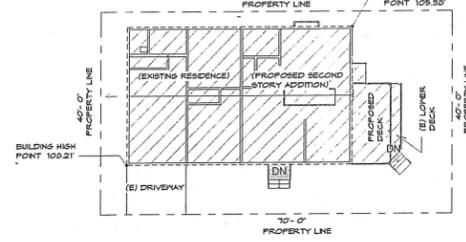


## HAEUSER SECOND STORY ADDITION



IMPERVIOUS SURFACE CALCULATION		TOTAL LOT COVERAGE	
RESIDENCE & GARAGE	1,215 SQ. FT.	RESIDENCE & GARAGE	1,215 SQ. FT.
DECKS	172 SQ. FT.	DECKS	172 SQ. FT.
CONCRETE DRIVEWAY	170 SQ. FT.	LOT SQ. FTS.	1,897 SQ. FT.
	1,557 SQ. FT.	LOT SQ. FTS.	2,800 SQ. FT.
			50% LOT COVERAGE

### LOT COVERAGE CALCULATION



AVERAGE NATURAL GRADE	
HIGHEST POINT BUILDING ELEVATION	109.21
LOWEST POINT BUILDING ELEVATION	105.88
AVERAGE NATURAL GRADE	106.07

### AVERAGE NATURAL GRADE

### BUILDING HEIGHT CALCULATIONS

HIGHEST POINT LOT ELEVATION	104.18
LOWEST POINT LOT ELEVATION	104.11
	106.71
MAXIMUM ALLOWABLE HEIGHT	25'-0"
ACTUAL BUILDING HEIGHT	24'-6"

OWNER  
KARLA HAUSER  
501 ZANZIBAR  
MORRO BAY, CA  
PH. (408) 815-1692

DRAFTING  
AVILA DRAFTING & DESIGN  
RICHARD AVILA  
304 MANZANITA DRIVE  
LOS OSOS, CA 95402  
PH. (805) 528-8784

ENGINEERING  
ERIC SILVA  
P.O. BOX 6856  
LOS OSOS, CA 95412  
PH. (805) 459-4905

TITLE 24 ENERGY CALCS.  
CARSTAIRS ENERGY CALCULATIONS  
TIM CARSTAIRS, CEA, CEPE  
PH. (805) 924-9049

NO WORK SHALL OCCUR WITHIN (OR USE OF) THE CITY'S RIGHT OF WAY WITHOUT AN ENCROACHMENT PERMIT. ENCROACHMENT PERMITS ARE AVAILABLE AT THE CITY OF MORRO BAY PUBLIC SERVICES OFFICE LOCATED AT 555 SHASTA AVE. THE ENCROACHMENT PERMIT SHALL BE ISSUED CONCURRENTLY WITH THE BUILDING PERMIT.

ANY DAMAGE AS A RESULT OF CONSTRUCTION OPERATIONS FOR THIS PROJECT, TO CITY FACILITIES, I.E. CURB/BERM, STREET, SEWER LINE, WATER LINE, OR ANY PUBLIC IMPROVEMENTS SHALL BE REPAIRED AT NO COST TO THE CITY OF MORRO BAY.

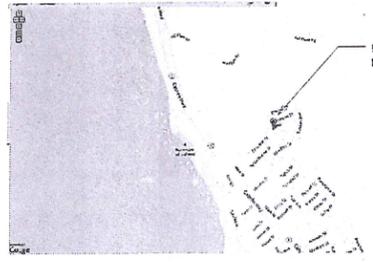
### BUILDING CODE DATA:

OCCUPANCY GROUP:	R1-S1
DESCRIPTION OF USE:	SINGLE FAMILY RESIDENCE
MAX HEIGHT	25'-0"

### S.1 SPECIAL TREATMENT OVERLAY ZONE

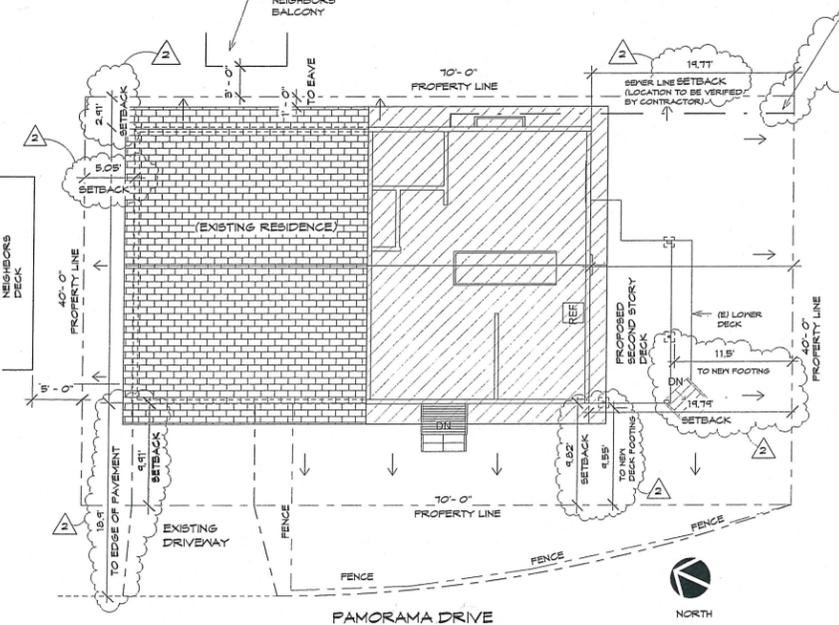
MINIMUM LOT WIDTH	MINIMUM FRONT YARD SETBACK	MINIMUM INTERIOR SIDE YARD SETBACK	MINIMUM EXTERIOR SIDE YARD SETBACK	MINIMUM REAR YARD SETBACK	MINIMUM OFF-STREET PARKING	MAXIMUM LOT COVERAGE
40'-0"	10'-0" (INCLUDING GARAGE)	5'-0"	6'-0" (10'-0" SETBACK FOR GARAGE SETBACK)	5'-0"	ONE CAR GARAGE/ CARPORT FOR RESIDENCES UNDER 1,000 SQ. FT.	50% FOR LOTS 4,000 SQ. FT. OR LESS

GENERAL NOTE  
FINISH GRADE SHALL SLOPE AWAY FROM STRUCTURE AT 5% MIN. SLOPE FOR 5'-0" OR TO A 2% DRAINAGE SWALE



APN 065-035-026  
VICINITY MAP

NOTE- T-SHEETS & S-SHEETS NOT INCLUDED IN THIS SET OF PLANS. THIS SET IS INTENDED FOR PLANNING PURPOSES ONLY



SITE PLAN  
SCALE: 1/8" = 1'-0"

### SHEET INDEX

SHEET	SHEET NAME
A1	SITE PLAN & NOTES
T1	TOPOGRAPHIC MAP W/ SETBACKS
P1	PARKING PLAN
A2	FLOOR PLANS
A3	EXTERIOR ELEVATIONS
A4	ROOF PLAN & SECTIONS
A5	ELECTRICAL PLAN
T-24.1	TITLE-24 ENERGY CALCULATIONS
T-24.2	TITLE-24 ENERGY CALCULATIONS
S1	GENERAL STRUCTURAL NOTES
S2	FOUNDATION PLAN
S3	FRAMING PLAN
S4	STRUCTURAL DETAILS
S5	STRUCTURAL DETAILS

RECEIVED

SEP 29 2014

### SITE PLAN & NOTES

Project number 1316  
Date 9/14/14  
Drawn by RA  
Checked by -

A1

Scale As Indicated

Revisions		
No.	Description	Date
1	M.B. E.D.S. COMMENTS	7/20/14
2	M.B. PLANNING REV.	9/19/14

AVILA DRAFTING & DESIGN  
Richard Avila  
304 Manzanita Drive  
Los Osos, CA 95402  
Phone / Fax (805) 528-8784  
ravila@aviladrafting.com

THESE DRAWINGS AND SPECIFICATIONS ARE INSTRUMENTS OF SERVICE AND ARE THE PROPERTY OF RICHARD AVILA. ALL DIMENSIONS AND OTHER INFORMATION ON THESE DRAWINGS ARE FOR USE ON THE SPECIFIED PROJECT AND SHALL NOT BE USED WITHOUT THE EXPRESS WRITTEN CONSENT OF RICHARD AVILA.

CONTRACTOR SHALL VERIFY ALL DIMENSIONS AND CONDITIONS AT THE SITE BEFORE PROCEEDING WITH WORK AND REPORT ANY DISCREPANCIES OR CHANGES TO RICHARD AVILA PRIOR TO CONSTRUCTION OF AFFECTED AREAS OF THIS PROJECT.

HAEUSER ADDITION  
501 ZANZIBAR  
MORRO BAY, CA

**SYMBOL LEGEND:**

x	FENCE LINE	RETAINING WALL
SS	SEWER MAIN	PG&E BOX
W	WATER MAIN	GAS METER
G	GAS MAIN	TELEPHONE BOX
ETC	ELEC/TELEPHONE/CABLE	TELEPHONE BOX
OHE	OVERHEAD ELECTRIC	SIGNAL BOX
DI	DROP INLET AT CURB	CABLE T.V. BOX
DI	DROP INLET	ELECTRIC BOX
SDM	STORM DRAIN MANHOLE	TELEPHONE MANHOLE
FH	FIRE HYDRANT	STREET LIGHT
WV	WATER WELL	JOINT POLE
WV	WATER VALVE	POWER POLE
WM	WATER METER	GUY WIRE
SM	SEWER MANHOLE	
SC	SEWER CLEANOUT	

**ABBREVIATIONS**

AC	ASPHALT CONCRETE	IP	IRON PIPE
AP	ANGLE POINT	GB	GRADE BREAK
BM	BENCH MARK	GM	GAS METER
BLDG	BUILDING	HP	HIGH POINT
BOW	BACK OF WALK	LT	LIGHT
CB	CATCH BASIN	MH	MANHOLE
CF	CURB FACE	PP	POWER POLE
CO	CLEAN OUT	PVC	POLYVINYL PIPE
COL	COLUMN	RB	REBAR
COR	CORNER	RCP	REINFORCED CONCRETE PIPE
CONC	CONCRETE	R10	CANOPY RADIUS
CMP	CORRUGATED METAL PIPE	SD	STORM DRAIN
CMU	CONCRETE MASONRY UNITS	SL	POINT ON SLOPE
CRN	CROWN OF STREET	SS	SEWER
DI	DROP INLET	SIP	STEP
EG	EXISTING GRADE	STR	STAIRS
EP	EDGE OF PAVEMENT	TOP	TOP OF SLOPE
FD	FOUND	TOE	TOE OF SLOPE
FL	FLOW LINE	TW	TOP OF WALL
FF	FINISH FLOOR	W	WATER
FW	FACE OF WALL	WL	WELL
HSE	HOUSE COR	WM	WATER METER
GR	GRASS	WV	WATER VALVE
GM	GAS METER		
IP	IRON PIPE		

DI-1.5L TOP OF GRATE -1.5' FLOW LINE

**SURVEYOR'S STATEMENT:**  
 THIS MAP REPRESENTS A FIELD SURVEY OF SURFACE FEATURES AND ELEVATIONS PERFORMED ON 9-5-2013.

MICHAEL B. STANTON, PLS 5702    DATE \_\_\_\_\_

**LICENSED LAND SURVEYOR**  
 MICHAEL B. STANTON  
 LIC. NO. 5702  
 Exp. 9/13  
 STATE OF CALIFORNIA

**SURVEYOR'S NOTES:**

- NO TITLE SEARCH (TITLE REPORT) WAS PROVIDED TO THE SURVEYOR. EASEMENTS WHICH MAY AFFECT THE SUBJECT PROPERTY HAVE NOT BEEN PLOTTED.
- ONLY THE SURFACE EVIDENCE OF UNDERGROUND UTILITIES HAVE BEEN MEASURED IN THE FIELD ON THIS SURVEY. IF APPROXIMATE UNDERGROUND ALIGNMENTS ARE SHOWN, I MAKE NO WARRANTY AS TO THE ACTUAL LOCATION, TYPE OR DEPTH OF THOSE UNDERGROUND UTILITIES. CALL UNDERGROUND SERVICE ALERT (USA) AT 1-800-642-2444 TO VERIFY THE ACTUAL LOCATION OF UTILITIES PRIOR TO ANY EXCAVATION. THE SURVEYOR ALSO HAS MADE NO INVESTIGATION AS TO SUBSURFACE ENVIRONMENTAL CONDITIONS THAT WOULD AFFECT THE USE OR DEVELOPMENT OF THIS PROPERTY.
- IT WILL BE THE ARCHITECT'S RESPONSIBILITY TO VERIFY SETBACK AND HEIGHT RESTRICTIONS WITH THE LOCAL GOVERNING AGENCY.
- THE SIGNED AND SEALED ORIGINAL DRAWING OF THIS MAP CONSTITUTES THE FINAL WORK PRODUCT. MISS LAND SURVEYS WILL NOT BE LIABLE FOR ELECTRONIC VERSIONS OF THIS MAP PROVIDED TO OTHER PARTIES.
- THE PROPERTY LINES SHOWN HEREON REPRESENT THE ACTUAL BOUNDARY LINES BASED ON A BOUNDARY SURVEY WHICH IS CURRENTLY IN PROGRESS. PERMANENT MONUMENTS WILL BE SET AT ALL PROPERTY CORNERS AND A CORNER RECORD MAP OR RECORD OF SURVEY MAP WILL BE SUBMITTED TO THE COUNTY OF SAN LUIS OBISPO AS REQUIRED BY STATE LAW.

**BENCH MARK:**  
 THE BENCH MARK FOR THIS PROJECT IS A 1" IRON PIPE MONUMENT ON HWY 1 JUST SOUTH OF THE YERBA BUENA INTERSECTION AT POST MILE 31.94 ELEVATION 48.75 (NAV088).

**BASIS OF BEARINGS**  
 THE BASIS OF BEARINGS FOR THIS PROJECT IS BASED ON FOUND MONUMENTS ALONG PANORAMA DRIVE BEARING S 21° 45' 00" E PER 2 MAPS 15.

**SITE DATA:**  
 ADDRESS: 501 ZANZIBAR AVE, MORRO BAY CA  
 ASSESSOR'S PARCEL NO.    APN 065-035-026

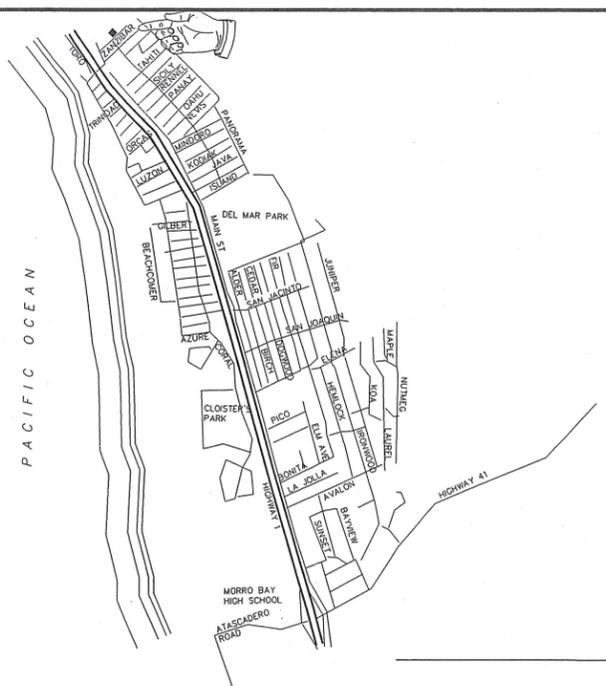
**TOPOGRAPHIC MAP**

LOT 28 OF BLOCK 1B OF ATASCADERO BEACH TRACT AS SHOWN ON MAP FILED IN BOOK 2 OF MAPS AT PAGE 15, IN THE CITY OF MORRO BAY, COUNTY OF SAN LUIS OBISPO, CALIFORNIA

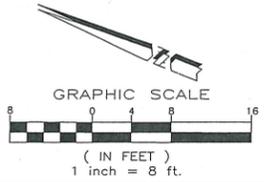
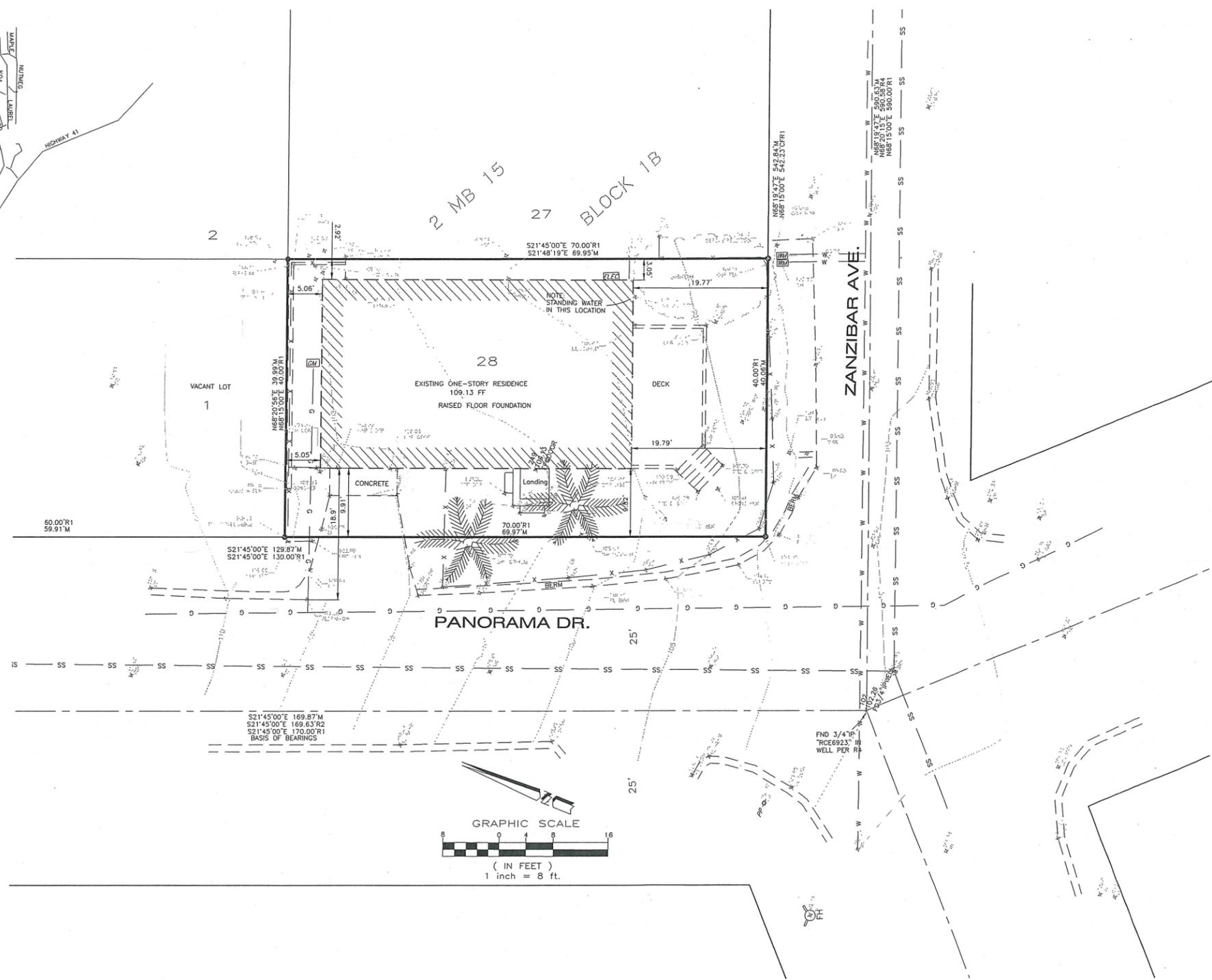
AT THE REQUEST OF KARLA HAEUSER

SEPTEMBER, 2013    SCALE: 1"=8'

MICHAEL B. STANTON, PLS 5702  
 3563 SUELDO ST. UNIT G  
 SAN LUIS OBISPO, CA 93401  
 805-594-1960



VICINITY MAP



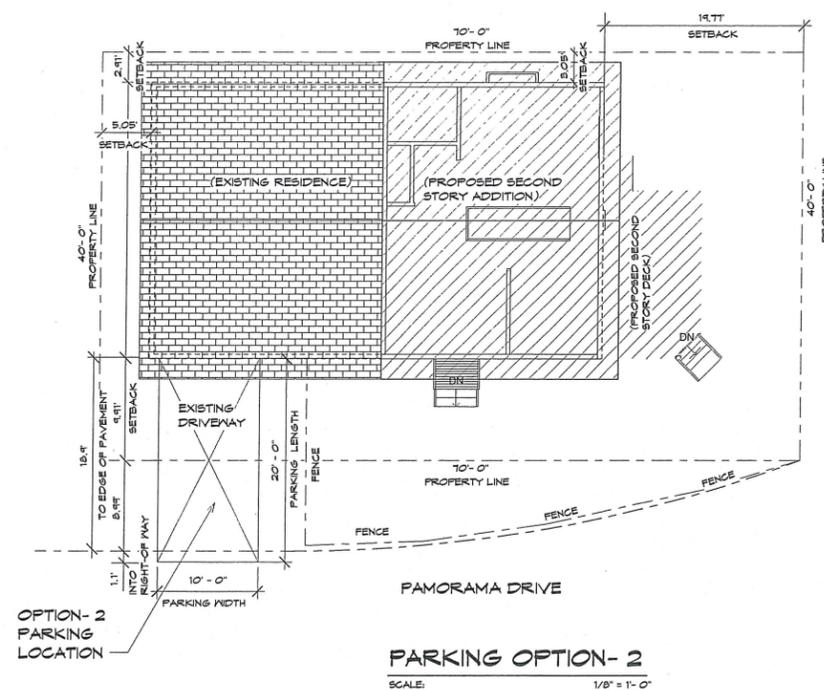
N:\2013\13-126\_501\_Zanzibar - Morro Bay\352013\501\_Zanzibar - Topo Map.dwg, 2/13/2014 3:07pm, Kluenth

T-1

THESE DRAWINGS AND SPECIFICATIONS ARE INSTRUMENTS OF SERVICE AND ARE THE PROPERTY OF RICHARD AVILA. ALL LOGOS AND OTHER INFORMATION ON THESE DRAWINGS ARE FOR USE ON THE SPECIFIED PROJECT AND SHALL NOT BE USED WITHOUT THE EXPRESSED WRITTEN CONSENT OF RICHARD AVILA.

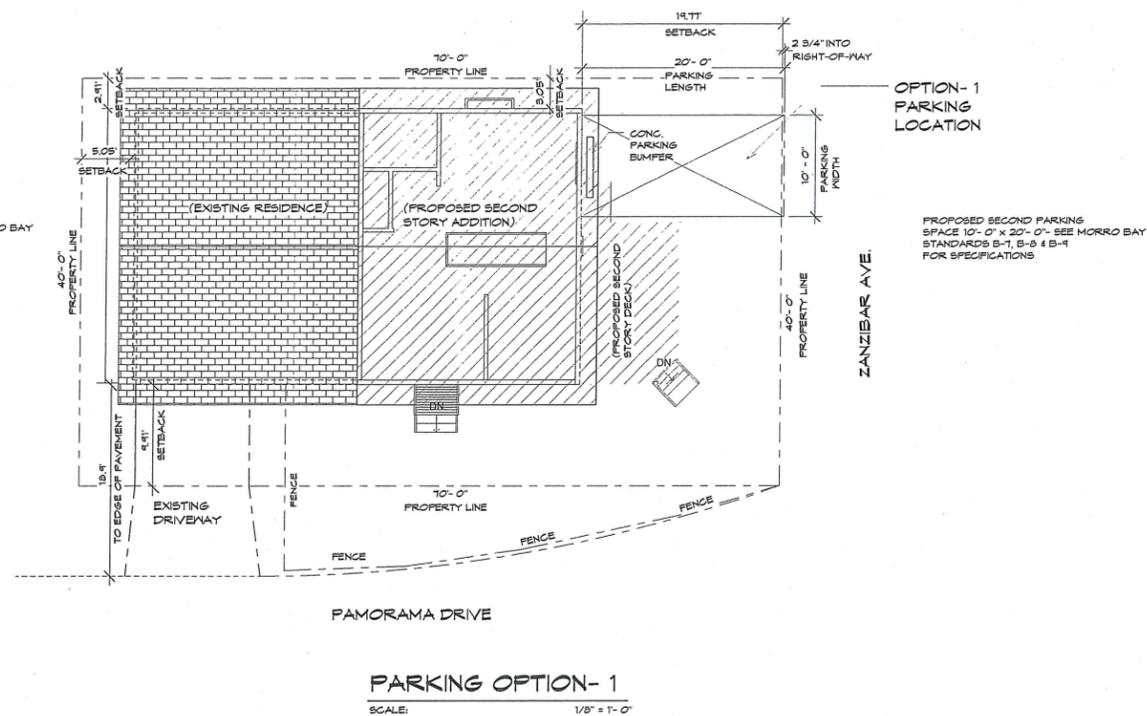
CONTRACTOR SHALL VERIFY ALL DIMENSIONS AND CONDITIONS AT THE JOB SITE BEFORE PROCEEDING WITH WORK AND REPORT ANY DISCREPANCIES OR CHANGES TO RICHARD AVILA PRIOR TO CONSTRUCTION OF AFFECTED ASPECTS OF THIS PROJECT.

**HAEUSER ADDITION  
501 ZANZIBAR  
MORRO BAY, CA**



**PARKING OPTION- 2**  
SCALE: 1/8" = 1'-0"

PROPOSED SECOND PARKING SPACE 10'-0" x 20'-0" - SEE MORRO BAY STANDARDS B-7, B-8 & B-4 FOR SPECIFICATIONS



**PARKING OPTION- 1**  
SCALE: 1/8" = 1'-0"

OPTION- 1  
PARKING  
LOCATION

PROPOSED SECOND PARKING SPACE 10'-0" x 20'-0" - SEE MORRO BAY STANDARDS B-7, B-8 & B-4 FOR SPECIFICATIONS

Revisions		
No.	Description	Date

**PARKING PLAN**

Project number	1916
Date	5/14/14
Drawn by	RA
Checked by	-
SHEET	01
Scale	1/8" = 1'-0"

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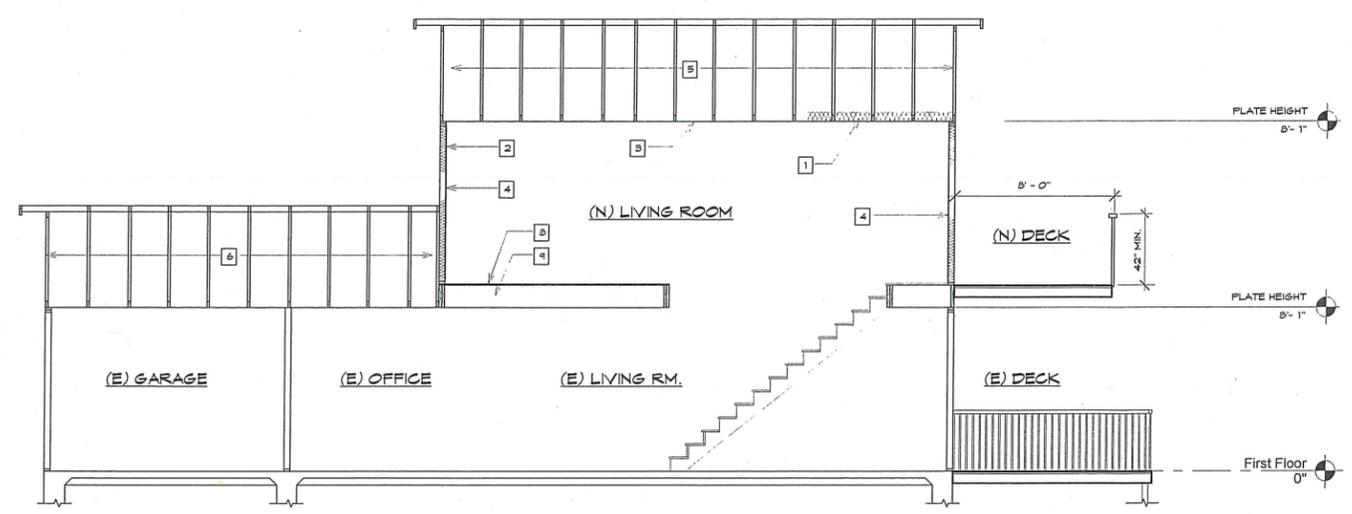




THESE DRAWINGS AND SPECIFICATIONS ARE INSTRUMENTS OF SERVICE AND ARE THE PROPERTY OF RICHARD AVILA. ALL DESIGN AND OTHER INFORMATION ON THESE DRAWINGS ARE FOR USE ON THE SPECIFIED PROJECT AND SHALL NOT BE USED WITHOUT THE EXPRESSED WRITTEN CONSENT OF RICHARD AVILA.

CONTRACTOR SHALL VERIFY ALL DIMENSIONS AND CONDITIONS AT THE SITE BEFORE PROCEEDING WITH WORK AND REPORT ANY DISCREPANCIES OR CHANGES TO RICHARD AVILA PRIOR TO CONSTRUCTION OF AFFECTED ASPECTS OF THIS PROJECT.

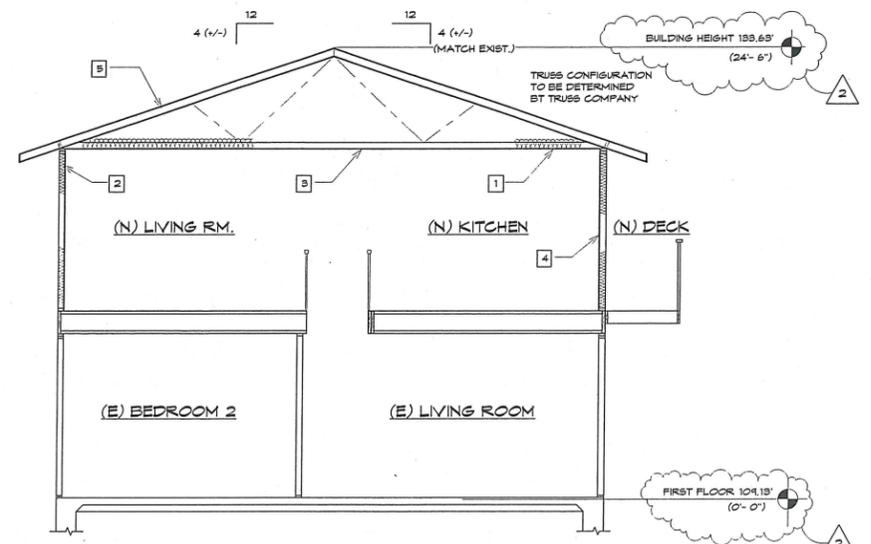
**HAEUSER ADDITION  
501 ZANZIBAR  
MORRO BAY, CA**



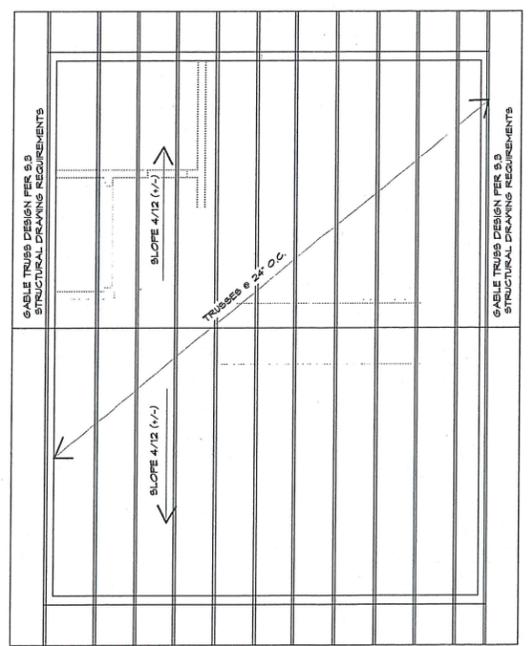
**1 SECTION**  
A4

**REFERENCE NOTES**

- 1 R-50 ATTIC INSULATION
- 2 R-15 WALL INSULATION
- 3 1/2" DRYWALL (MIN.) ON ALL WALL AND CEILINGS.
- 4 2X4 STUDS @ 16" O.C.
- 5 (NEW) 2X ROOF TRUSSES @ 24" O.C.
- 6 (EXISTING) ROOF FRAMING
- 7 5/8" ROOF SHEATHING
- 8 3/4" T&G
- 9 11-1/8 TJI



**2 SECTION**  
A4



**ROOF PLAN**

<b>ATTIC VENTILATION:</b>	
SQ. FT.	609 SQ. FT.
REQ. VENTILATION (SQ. FT. X 144/300)	331 SQ. IN.
UPPER VENTILATION (min. 1/2 of req. ventilation) MIN.	166 SQ. IN.
LOCATED IN UPPER 1/3 OF ROOF	
(2) 12"x18" GABLE END VENT (48 sq. in.)	166 SQ. IN.
<b>PROVIDED VENTILATION</b>	166 SQ. IN.
<b>LOWER VENTILATION (min. 1/2 of req. ventilation) MIN.</b>	166 SQ. IN.
LOCATED IN LOWER 1/3 OF ROOF	
(12) DRILLED BLOCK EAVE VENTS (15 sq. in.)	180 SQ. IN.
<b>PROVIDED VENTILATION</b>	180 SQ. IN.
<b>TOTAL VENTILATION</b>	366 SQ. IN.

Revisions		
No.	Description	Date
A	M.B. PLANNING REV.	8/19/14

**ROOF PLAN & SECTIONS**

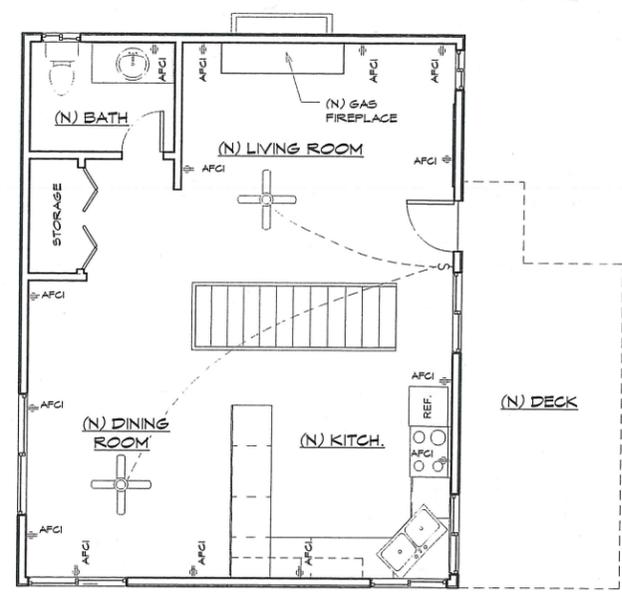
Project number 1316  
Date 8/14/14  
Drawn by RA  
Checked by -

SHEET  
**A4**

Scale As Indicated

9/25/2014 5:04:41 PM

**HAEUSER ADDITION  
501 ZANZIBAR  
MORRO BAY, CA**



**SECOND FLOOR  
ELECTRICAL**

- CEILING FAN W/ LIGHT- PROVIDE APPROVED BOX FOR FAN SUPPORT. FANS WEIGHING OVER 55 LBS. CANNOT BE SUPPORTED BY AN ELECTRICAL BOX. THEY MUST BE SUPPORTED AS REQUIRED BY SEC 370-23 & 422-10'
- EXHAUST FAN W/ DUCT TO OUTSIDE
- EXHAUST FAN W/ LIGHT
- CEILING MOUNTED LIGHT FIXTURE
- WALL MOUNTED LIGHT FIXTURE
- IC RATED RECESSED LIGHT FIXTURE
- FLUORESCENT TUBE FIXTURE TYPE T8 BULBS
- STANDARD 110 VOLT DUPLEX RECEPTACLE
- GROUND-FAULT CIRCUIT INTERRUPT PROTECTED OUTLET
- ARC-FAULT CIRCUIT INTERRUPT PROTECTED OUTLET
- SWITCHED RECEPTACLE
- SWITCH
- 3- WAY SWITCH
- 4- WAY SWITCH
- SWITCH W/ DIMMER
- PHONE OUTLET
- COAX TV OUTLET
- SMOKE DETECTOR
- MAIN ELECTRICAL PANEL
- GAS STUB
- WATER FAUCET

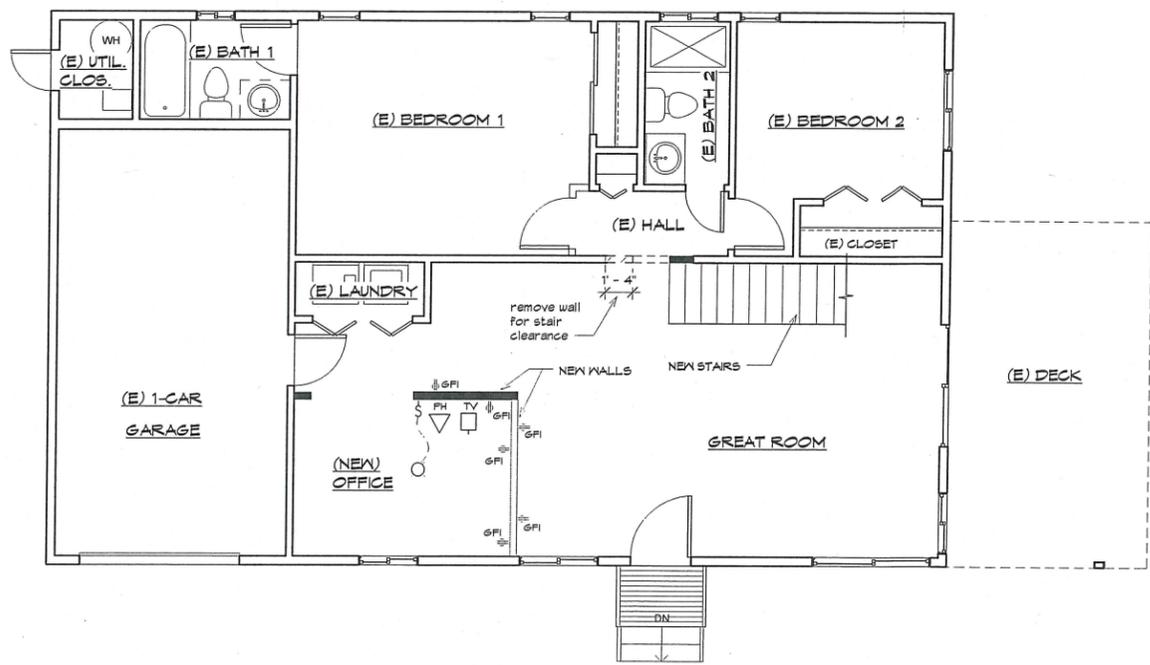
- LIGHTING**
- LIGHTING IN KITCHEN AND BATHROOMS SHALL BE SEPARATELY SWITCHED TO APPROVED FIXTURES WITH A MINIMUM EFFICIENCY OF AT LEAST 40 LUMENS PER WATT (FLUORESCENT FIXTURES).
  - ALL RECESSED LIGHT FIXTURES INSTALLED IN AREAS TO RECEIVE INSULATION SHALL BE IC RATED UNITS (INSULATED ZERO CLEARANCE TYPE) AND NO PENETRATION OR REMOVAL OF INSULATION SHALL BE ALLOWED.
  - BATHROOM LIGHTING SHALL BE HIGH-EFFICIENCY OR SHALL BE CONTROLLED BY AN MANUAL - ON/ AUTO-OFF OCCUPANCY SENSOR.

- EXHAUST FANS**
- BATHROOM, WATER CLOSET COMPARTMENTS, AND SIMILAR ROOMS SHALL BE PROVIDED WITH GLASSING NOT LESS THAN 3 SQUARE FEET, ONE-HALF OF WHICH IS OPENABLE.
  - BATHROOMS WITHOUT AN OPENABLE WINDOW SHALL BE PROVIDED WITH AN EXHAUST FAN WITH A MINIMUM CAPACITY OF 50 CFM INTERMITTENT OR 25 CFM CONTINUOUS THAT IS EXHAUSTED DIRECTLY TO THE OUTSIDE.

- ELECTRICAL**
- ALL ELECTRICAL WIRING AND INSTALLATIONS SHALL BE AS REQUIRED BY STATE AND LOCAL ELECTRICAL CODES.
  - PROVIDE A PERMANENT ELECTRICAL OUTLET AND LIGHTING FIXTURE AT OR NEAR THE FURNACE OR WATER HEATER, CONTROLLED BY A SWITCH LOCATED AT THE REQUIRED ACCESS OPENING.
  - ALL BATHROOM AND KITCHEN RECEPTACLES SHALL BE G.F.C.I. PROTECTED.
  - IN THE DINING AREA, A RECEPTACLE OUTLET SHALL BE INSTALLED AT EACH COUNTER SPACE WIDER THAN 12" NEC 210-52(b).
  - ELECTRICAL OUTLETS SHALL BE INSTALLED SO THAT AT NO POINT AROUND THE PERIMETER WALL OF ANY HABITABLE ROOM IS THERE MORE THAN 6'-0" MEASURED HORIZONTALLY FROM SUCH AN OUTLET, INCLUDING ANY WALL 2" OR WIDER (BATHROOM AND UTILITY ROOMS EXCEPTED). NEC 210-52(a)
  - AT LEAST ONE (1) WALL SWITCH CONTROLLED LIGHTING OUTLET SHALL BE INSTALLED IN EVERY HABITABLE ROOM, IN HALLWAYS, BATHROOMS, STAIRWAYS, ATTACHED GARAGES AND AT OUTDOOR ENTRANCES. AT LEAST ONE (1) LIGHTING OUTLET SHALL BE INSTALLED IN AN ATTIC, UNDER FLOOR SPACE, UTILITY ROOM NEC 210-10.
  - CEILING MOUNTED LIGHT FIXTURES IN CLOTHES CLOSETS SHALL BE A MINIMUM 18" FROM EDGE OF SHELVES MEASURED HORIZONTALLY; RECESSED AND FLUORESCENT FIXTURES IN CLOTHES CLOSETS SHALL BE MINIMUM 6". PENDANT LIGHTS ARE NOT PERMITTED. NEC 410-7.
  - 200 AMP ELECTRICAL METER W/ #4 UNDER GROUND TO FOUNDATION STEEL FOR EACH BUILDING.
  - ALL ABOVE COUNTER OUTLETS IN KITCHEN SHALL BE G.F.C.I. PROTECTED. NO POINT ALONG THE COUNTER AREA SHALL BE LOCATED FARTHER THAN 24" AWAY FROM AN OUTLET FOR ALL COUNTERS WIDER THAN 12".
  - ALL ABOVE COUNTER OUTLETS IN BATHROOMS MOUNTED AT 42" ABOVE FINISH FLOOR (TYP) TO BE G.F.C.I. PROTECTED. BATHROOM CIRCUITS MUST BE 20 AMPS AND NOT CONNECTED TO OUTLETS IN OTHER ROOMS.
  - ALL GARAGE OUTLETS TO BE G.F.C.I. PROTECTED AND MOUNTED AT 144" ABOVE FINISH FLOOR U.N.O. (TYP).
  - PROVIDE 110V CEILING OUTLET FOR GARAGE DOOR OPENER @ EACH DOOR.
  - PROVIDE WATERPROOF G.F.C.I. OUTLETS AT 18" ABOVE FINISH GRADE IN FRONT AT REAR OF BUILDING.
  - G.F.C.I. OUTLETS AT 144" ABOVE FINISH FLOOR IN LAUNDRY ROOM AT COUNTER.
  - PROVIDE GAS, 220V. OUTLET AND 110V OUTLET AT STOVE, COOK TOP AND/OR OVENS (TYP). ALSO PROVIDE ELECTRICAL FOR EXHAUST HOOD OVER-COUNTERTOP.
  - ALL OUTLETS LOCATED INSIDE BEDROOMS TO BE ARC-FAULT CIRCUIT INTERRUPT PROTECTED.

- HEATING AND AIR CONDITIONING**
- HEATING TYPE AND FUEL, AS SELECTED BY OWNER, BUILDER TO MAKE NECESSARY CHANGES IN PLANS TO ACCOMMODATE CHIMNEYS, VENTS, ETC. TO BE LOCATED AND INSTALLED AS REQUIRED.
  - ALL DUCTS TO BE INSTALLED WITHOUT IMPINGEMENT OF BUILDING SURFACES.
  - PROVIDE FURNACE ACCESS AND CLEARANCE AS REQUIRED.
  - BUILDER TO PROVIDE ORIGINAL OCCUPANT WITH A LIST OF HEATING, COOLING, AND WATER HEATING DEVICES.
  - HEATING SYSTEM TO BE ADEQUATE TO PROVIDE TO DEG. F @ 3'-0" ABOVE FLOOR IN EACH HABITABLE ROOM. UEG 510.11
  - WARM AIR FURNACES ARE NOT PERMITTED IN A BEDROOM, BATHROOM OR CLOSET.
  - THERMOSTATICALLY CONTROLLED HEATING AND COOLING SYSTEM (EXCEPT HEAT PUMPS) SHALL HAVE AN AUTOMATIC THERMOSTAT WITH A CLOCK MECHANISM IN WHICH THE OCCUPANT CAN MANUALLY PROGRAM TO AUTOMATICALLY SET BACK THE THERMOSTATS SET POINTS FOR AT LEAST 2 PERIODS WITHIN 24- HOURS.
  - IN ALL BATH AND UTILITY AREAS NOT HAVING OPENABLE WINDOWS; INSTALL EXHAUST FANS CAPABLE OF PROVIDING AT LEAST 5- AIR CHANGES PER HOUR PER ROOM.

- PLUMBING**
- ALL HOSE BIBS SHALL BE FITTED WITH AN APPROVED, NON-REMOVABLE BACKFLOW PREVENTION DEVICE.
  - WATER HEATER TO BE ON AN 18" HIGH PLATFORM AND HAVE APPROVED SEISMIC ANCHORS IN THE LOWER AND UPPER THIRD.
  - WATER HEATER MUST HAVE A PRESSURE AND TEMPERATURE VALVE WITH A DRAIN LINE THAT TERMINATES OUTSIDE THE BUILDING.



**FIRST FLOOR  
(N) ELECTRICAL**

Revisions		
No.	Description	Date

**ELECTRICAL PLAN**

Project number	1916-
Date	5/14/14
Drawn by	RA
Checked by	-

SHEET  
**A5**

Scale As indicated

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ACCENT

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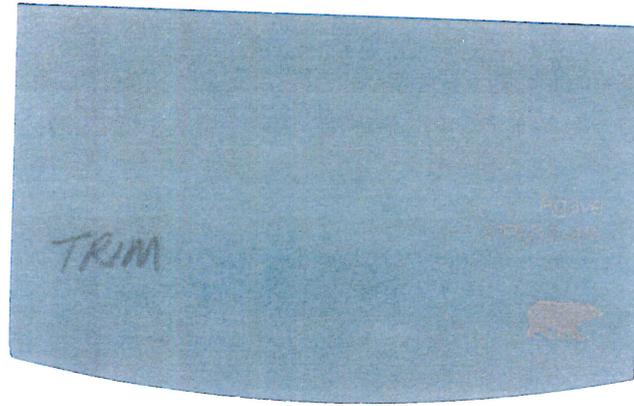


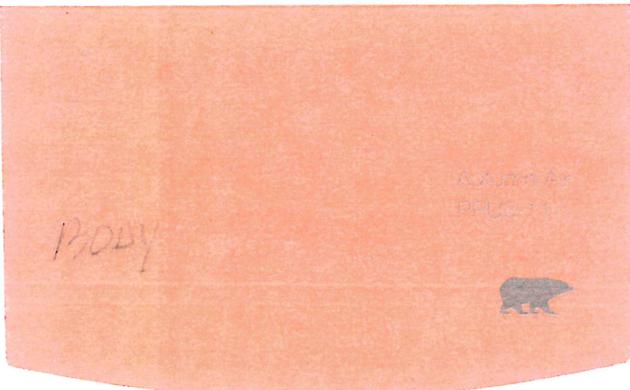
EXHIBIT C

ROOFING; COMPOSITION ROOFING  
COLOR- RUSTIC REDWOOD

BUILDING SIDING; MEDITERRANEAN  
TERRA COTTA COLORED STUCCO

TRIM; COLOR- **AGAVE**

DECKING; BROWN COMPOSITION





AGENDA NO: B-2

MEETING DATE: October 21, 2014

# Staff Report

**TO: Planning Commissioners**

**DATE: October 21, 2014**

**FROM: Scot Graham, Planning Manager**

**SUBJECT: A00-018; Review of amendments to the General Plan and Local Coastal Plan necessary to implement state-mandated density bonuses in residential land use districts.**

**RECOMMENDATION:**

Adopt Planning Commission Resolution 25-14 (Exhibit A) recommending the City Council adopt the proposed amendments to the General Plan Land Use, Open Space and Conservation Element (Exhibit B) and Coastal Land Use Plan Land Use Designations (Exhibit C).

**PROJECT DESCRIPTION:**

The City's 2009 adopted Housing Element establishes a precise and detailed plan for the use of land in the City, based on the General Plan and Coastal Land Use Plan. Amendments to the General Plan Land Use, Open Space and Conservation Element and Coastal Land Use Plan Land Use Designations are necessary to implement portions of that plan, and remain in compliance with State and Federal Housing law.

**LEGAL DESCRIPTION**

APN(S) Citywide

ZONING RA (Suburban Residential), R-1 (Single-family residential), R-2 (Duplex residential), R-3 (Multiple-family residential), R-4 (Multifamily residential-hotel-professional), and CRR (Coastal resource residential)

GENERAL PLAN Limited, Low, Low-Medium, Medium and High Density Residential

**APPLICANT:** City of Morro Bay,  
955 Shasta Avenue  
Morro Bay, CA 93442

Prepared By: \_\_\_\_\_

Department Review: \_\_\_\_\_

**BACKGROUND:**

The State of California requires each municipality to review and update their General Plan Housing Element on a five (5) year cycle to ensure that the needs of all California residents can be met. The City’s previously adopted and certified Housing Element (November 2009) included programs intended to comply with California Department of Housing and Community Development (hereafter, HCD) statutory requirements and State law. On March 11, 2014, the City Council adopted Ordinance 584, integrating these programs into Title 17 (henceforth, Zoning Regulations) of the Municipal Code. This included the replacement of Section 17.50, Affordable Housing, Density Bonuses and Incentives to comply with the Housing Element and changes to both the Government and Civil Codes. Subsequent to Council action, the Coastal Commission determined that the Coastal Land Use Plan must explicitly allow for these state-mandated density bonuses in residential districts. In order to maintain consistency, the parallel General Plan policies must also be amended.<sup>1</sup>

**ENVIRONMENTAL DETERMINATION:**

The proposed amendments to the text of the General Plan and Coastal Land Use Plan are exempt from environmental review pursuant to Section 15061(b) (3) of the California Environmental Quality Act (CEQA) Guidelines under the general rule that CEQA only applies to projects which have the potential for causing a significant effect on the environment, and Section 15265(c) which exempts approval of Coastal Land Use Plans pursuant to the California Coastal Act.

**ANALYSIS:**

The proposed amendments to the text of the General Plan and Coastal Land Use Plan are intended to allow implementation of an affordable housing program consistent with State Law and the adopted 2009-2013 Housing Element of the Morro Bay General Plan, and the implementation program recently adopted by the City Council. The following discussion identifies the targeted General Plan and Coastal Land Use policies and associated amendments that are necessary for implementation.

Part of the Local Coastal Program amendment adopted by City Council included replacement of Municipal Code Section 17.50 – Affordable Housing, Density Bonuses and Incentives, to provide new language consistent with current state housing law. Although the Coastal Commission had previously certified the now-antiquated density bonus standards in the Zoning Code, at this time Coastal Commission determined that because of the inflexible language in the Coastal Land Use Plan (which also appears in the General Plan), the proposed density bonuses would be inconsistent and could not be implemented in residential districts. Specifically, these documents identify allowed density ranges for residential land use districts, without flexibility to allow state-required density bonuses. No amendment to other land use designations is required, as only the residential land use classifications specify numerical limits for density. In order to increase density within these residential districts, Coastal Land Use and General Plan amendments are required along with the previously-adopted Zoning Code amendment. The

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<sup>1</sup> Because the Implementation Program was adopted by the City Council prior to approval and certification of the 2014-2019 Housing Element, the more recent Housing Element assumes these programs, including updates to the City’s Affordable Housing, Density Bonus, and Incentives Program, are in place.

following language was developed with the assistance of Coastal Commission staff, by tailoring their standard language for density bonuses to the particular needs of the City of Morro Bay.<sup>2</sup>

1. General Plan Amendment

II. General Plan Land Use, Open Space and Conservation Element

C. Land Use Classifications and Land Use Plan Maps

2. Land Use Classifications

a. Residential Land Uses: Five residential land use categories are established to provide for a wide range of densities. The purpose is to ensure that residential land is developed to a density suitable to its location and physical characteristics. (LCP 22)

Density ranges area as follows:

Limited Density	-	up to 2 dwelling units per acre
Low Density	-	up to 4 dwelling units per acre
Low-Medium Density	-	4 – 7 dwelling units per acre
Medium Density	-	7-15 dwelling units per acre
High Density	-	15-27 dwelling units per acre

Consistent with Government Code Section 65915, density bonuses for affordable housing shall be granted to the extent that they have access to adequate water and sewer services and do not lead to adverse impacts, and that notwithstanding the density bonus, the resultant development is consistent with all other provisions of the General Plan and City ordinances.

2. Coastal Land Use Plan Amendment

II. Land Use Plan Map and General Land Use Policies

C. Land Use Designations

1. Residential Land Uses

Five residential land use categories are established to provide for a wide range of densities. The purpose is to ensure that residential land is developed to a density suitable to its location and physical characteristics.

One type of residential development that the City would encourage is cluster development. Some of the advantages include increased open space, better visual qualities, additional preservation of sensitive sites, decreased cost of municipal services and an opportunity to provide more affordable housing.

Density ranges area as follows:

Limited Density	-	up to 2 dwelling units per acre
Low Density	-	up to 4 dwelling units per acre
Low-Medium Density	-	4 – 7 dwelling units per acre

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<sup>2</sup> Proposed new language is shown as underlined.

- Medium Density - 7-15 dwelling units per acre
- High Density - 15-27 dwelling units per acre

Consistent with Government Code Section 65915 and Coastal Act Section 30604(f), density bonuses for affordable housing shall be granted in the Coastal Zone to the extent that they have access to adequate water and sewer services and do not lead to adverse coastal resource impacts, and that notwithstanding the density bonus, the resultant development is consistent with all other provisions of the LCP.

**PUBLIC NOTICE:**

Notice of this item was published in the San Luis Obispo Telegram-Tribune newspaper on October 10, 2014, and interested parties were invited to voice any concerns regarding these text amendments.

**CONCLUSION:**

Staff recommends the Planning Commission adopt Resolution 25-14 (Exhibit A), and recommendation that the City Council adopt the proposed amendments to the General Plan and Coastal Land Use Plan, as contained in Exhibit B and C.

Report prepared by: Jaime B. Hill, Contract Planner

Attachments:

1. Exhibit A - Resolution 25-14
2. Exhibit B - General Plan Amendment
3. Exhibit C - Coastal Land Use Plan Amendment

EXHIBIT A

RESOLUTION NO. PC 25-14

A RESOLUTION OF THE MORRO BAY PLANNING COMMISSION RECOMMENDING  
THE CITY COUNCIL APPROVE TEXT AMENDMENTS TO THE MORRO BAY  
GENERAL PLAN AND COASTAL LAND USE PLAN NECESSARY TO IMPLEMENT  
STATE MANDATED DENSITY BONUSES IN RESIDENTIAL LAND USE DISTRICTS

**WHEREAS**, the Planning Commission of the City of Morro Bay conducted a public hearing at the Morro Bay Veteran's Hall, 209 Surf Street, Morro Bay, California, on October 21, 2014, for the purpose of considering Text Amendments to the General Plan and Coastal Land Use Plan, to allow for density bonuses in residential land use districts;

**WHEREAS**, notices of said public hearing were made at the time and in the manner required by law;

**WHEREAS**, it is the purpose of the Morro Bay General Plan and Coastal Land Use Plan is to establish the kinds, location, and intensity of land uses, and the applicable resource protection and development policies for the use of land in the City of Morro Bay; and

**WHEREAS**, it is important to have clear, consistent, and easy to interpret policies within the General Plan and Coastal land Use Plan; and

**WHEREAS**, Government Code Section 65915 requirements for the adoption of a density bonus program to facilitate and encourage the maximum build out of available sites has been modified in 2005 (SB 1818); and

**WHEREAS**, amendment of the General Plan and Coastal Land Use Plan are necessary prior to or concurrent with Coastal Commission Certification of amendments to the Zoning Ordinance to codify provision of density bonuses in residential land use districts, which that will bring the Zoning Ordinance into compliance with the above cited Government Code sections; and

**WHEREAS**, the proposed amendments to the General Plan and Coastal Land Use Plan are exempt from further environmental review pursuant to Section 15061(b) (3) of the California Environmental Quality Act (CEQA) Guidelines under the general rule that CEQA only applies to projects which have the potential for causing a significant effect on the environment, and Section 15265(c) which exempts approval of Coastal Land Use Plans pursuant to the California Coastal Act;

**WHEREAS**, allowing for density bonuses in residentially designated areas has no potential for causing a significant effect on the environment, as any development would be subject to the provisions of the Local Coastal Program and all City development standards;

**WHEREAS**, the Planning Commission has duly considered all evidence, including the testimony of all interested parties, both written and oral, and the evaluation and recommendations by staff, presented at said hearing;

**WHEREAS**, the amendments as presented are consistent with the intent of the City of Morro Bay's General Plan and Coastal Land Use Plan, and are necessary to implement the adopted 2009 Housing Element and remain in compliance with the State of California Housing Law.

**NOW, THEREFORE, BE IT RESOLVED** by the Planning Commission of the City of Morro Bay as follows:

**SECTION 1:** The Planning Commission forwards a favorable recommendation to the City Council to approve amendment of the General Plan Land Use, Open Space and Conservation Element Section 13.C2a as contained in Exhibit "B", attached hereto and made a part of this Resolution.

**SECTION 2:** The Planning Commission forwards a favorable recommendation to the City Council to approve amendment of the Coastal Land Use Plan Section II.C1 as contained in Exhibit "C", attached hereto and made a part of this Resolution.

**SECTION 3:** To implement the amendments adopted herein, the Planning Commission of the City of Morro Bay, California hereby finds as follows:

1. That the above recitations are true and correct and constitute the findings of the Planning Commission in this matter.
2. That the proposed amendments to the General Plan and Coastal Land Use Plan will not be injurious or detrimental to the health, safety, comfort, general welfare or well-being of the persons residing or working in the community.
3. That the proposed amendments are in general conformance with the intent of the City General Plan and Coastal Land Use Plan; and
4. That proposed amendments to the General Plan and Coastal Land Use Plan are in compliance with the intent, objectives, and all applicable policies and provisions of the California Coastal Act.

**SECTION 4:** If any section, subsection, clause or phrase or portion of this resolution is for any reason held to be invalid or unconstitutional by the decision of any court of competent jurisdiction, such decision shall not affect the validity of all other provisions of this ordinance.

The Planning Commission hereby declares that it would have recommended approval of the amendments codified as Exhibit B and Exhibit C, and each chapter, section, subsection, sentence, clause and phrase or portion thereof, irrespective of the fact that any one or more of the

sections, subsections, sentences, clauses, or phrases or portions thereof be declared invalid or unconstitutional.

PASSED AND ADOPTED by the Morro Bay Planning Commission at a regular meeting thereof held on this 21<sup>st</sup> day of October 2014 on the following vote:

AYES:

NOES:

ABSENT:

ABSTAIN:

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Robert Tefft, Chairperson

ATTEST

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Rob Livick, Planning Secretary

The foregoing resolution was passed and adopted this 21<sup>st</sup> day of October 2014.

EXHIBIT "B"

Amendment of General Plan Land Use, Open Space and Conservation Element Section 13.C2a

Whereas underlined text is new language.

II. General Plan Land Use, Open Space and Conservation Element

C. Land Use Classifications and Land Use Plan Maps

2. Land Use Classifications

a. Residential Land Uses: Five residential land use categories are established to provide for a wide range of densities. The purpose is to ensure that residential land is developed to a density suitable to its location and physical characteristics. (LCP 22)

Density ranges area as follows:

Limited Density	-	up to 2 dwelling units per acre
Low Density	-	up to 4 dwelling units per acre
Low-Medium Density	-	4 – 7 dwelling units per acre
Medium Density	-	7-15 dwelling units per acre
High Density	-	15-27 dwelling units per acre

Consistent with Government Code Section 65915, density bonuses for affordable housing shall be granted to the extent that they have access to adequate water and sewer services and do not lead to adverse impacts, and that notwithstanding the density bonus, the resultant development is consistent with all other provisions of the General Plan and City ordinances.

EXHIBIT "C"

Amendment of Coastal Land Use Plan Section II.C1

Whereas underlined text is new language.

II. Land Use Plan Map and General Land Use Policies

C. Land Use Designations

1. Residential Land Uses

Five residential land use categories are established to provide for a wide range of densities. The purpose is to ensure that residential land is developed to a density suitable to its location and physical characteristics.

One type of residential development that the City would encourage is cluster development. Some of the advantages include increased open space, better visual qualities, additional preservation of sensitive sites, decreased cost of municipal services and an opportunity to provide more affordable housing.

Density ranges area as follows:

- Limited Density - up to 2 dwelling units per acre
- Low Density - up to 4 dwelling units per acre
- Low-Medium Density - 4 – 7 dwelling units per acre
- Medium Density - 7-15 dwelling units per acre
- High Density - 15-27 dwelling units per acre

Consistent with Government Code Section 65915 and Coastal Act Section 30604(f), density bonuses for affordable housing shall be granted in the Coastal Zone to the extent that they have access to adequate water and sewer services and do not lead to adverse coastal resource impacts, and that notwithstanding the density bonus, the resultant development is consistent with all other provisions of the LCP.