



CITY OF MORRO BAY PLANNING COMMISSION AGENDA

*The City of Morro Bay is dedicated to the preservation and enhancement of the quality of life.
The City shall be committed to this purpose and will provide a level of municipal service and safety
consistent with and responsive to the needs of the public.*

**Regular Meeting - Tuesday, April 4, 2017
Veteran's Memorial Building – 6:00 P.M.
209 Surf Street, Morro Bay, CA**

Chairperson Robert Tefft

Commissioner Gerald Luhr
Commissioner Michael Lucas

Commissioner Richard Sadowski
Commissioner Joseph Ingrassia

ESTABLISH QUORUM AND CALL TO ORDER
MOMENT OF SILENCE / PLEDGE OF ALLEGIANCE
PLANNING COMMISSIONER ANNOUNCEMENTS

PUBLIC COMMENT PERIOD

Members of the audience wishing to address the Commission on matters not on the agenda may do so at this time. In a continual attempt to make the public process open to members of the public, the City also invites public comment before each agenda item. Commission hearings often involve highly emotional issues. It is important that all participants conduct themselves with courtesy, dignity and respect. All persons who wish to present comments must observe the following rules to increase the effectiveness of the Public Comment Period:

- When recognized by the Chair, please come forward to the podium and state your name and address for the record. Commission meetings are audio and video recorded and this information is voluntary and desired for the preparation of minutes.
- Comments are to be limited to three minutes so keep your comments brief and to the point.
- All remarks shall be addressed to the Commission, as a whole, and not to any individual member thereof. Conversation or debate between a speaker at the podium and a member of the audience is not permitted.
- The Commission respectfully requests that you refrain from making slanderous, profane or personal remarks against any elected official, commission and/or staff.
- Please refrain from public displays or outbursts such as unsolicited applause, comments or cheering.
- Any disruptive activities that substantially interfere with the ability of the Commission to carry out its meeting will not be permitted and offenders will be requested to leave the meeting.
- Your participation in Commission meetings is welcome and your courtesy will be appreciated.

In compliance with the Americans with Disabilities Act, if you need special assistance to participate in this meeting, please contact the Community Development at (805) 772-6264. Notification 24 hours prior to the meeting will enable the City to make reasonable arrangements to ensure accessibility to this meeting. There are devices for the hearing impaired available upon request at the staff's table.

PRESENTATIONS – David Buckingham, City Manager: City Financial Report

Informational presentations are made to the Commission by individuals, groups or organizations, which are of a civic nature and relate to public planning issues that warrant a longer time than Public Comment will provide. Based on the presentation received, any Planning Commissioner may declare the matter as a future agenda item in accordance with the General Rules and Procedures. Presentations should normally be limited to 15-20 minutes.

A. CONSENT CALENDAR

A-1 Current and Advanced Planning Processing List
Staff Recommendation: Receive and file.

A-2 Approval of minutes from the Planning Commission meeting of January 17, 2017.
Staff Recommendation: Approve minutes as submitted.

A-3 Approval of minutes from the Planning Commission meeting of February 21 2017.
Staff Recommendation: Approve minutes as submitted.

B. PUBLIC HEARINGS

Public testimony given for Public Hearing items will adhere to the rules noted above under the Public Comment Period. In addition, speak about the proposal and not about individuals, focusing testimony on the important parts of the proposal; not repeating points made by others.

B-1 Case No.: UP0-465 / AD0-110

Site Location: 484 Kings Avenue

Project Description: Conditionl Use Permit approval with a Parking Exception for the addition of 510 sq. ft. to a nonconforming single-family residence and the construction of a 301 sq. ft. single-car garage. Parking Exception is to allow for the second required space to be located within the eastern side yard. The project is located within the R-1 Residential Zoning District and outside of the Coastal Commission Appeal Jurisdiction.

CEQA Determination: Categorically Exempt Section 15303, Class 3

Staff Recommendation: Conditionally Approve

Staff Contact: Joan Gargiulo, Assistant Planner (805) 772-6270

C. NEW BUSINESS

C-1 General Plan/Local Coastal Program Update (Plan Morro Bay)

Review of Preferred Land Use Alternatives as part of the preparation of draft Land Use Element for the General Plan/LCP update process.

Recommendation: Review and provide recommendations to staff for forwarding to City Council review as a continued review from the CC/PC Joint Meeting held 3/28/17.

<http://www.morro-bay.ca.us/ArchiveCenter/ViewFile/Item/3144>

C-2 Planning Commission FY 17/18 Work Program. The Planning Commission work program Includes FY 17/18 related goals and objective as well as other items the PC may work on during the coming year.

D. UNFINISHED BUSINESS

E. PLANNING COMMISSIONER COMMENTS

F. COMMUNITY DEVELOPMENT DIRECTOR COMMENTS

G. ADJOURNMENT

Adjourn to the next regular Planning Commission meeting at the Veteran’s Memorial Building, 209 Surf Street, on April 18, 2017 at 6:00 p.m.

PLANNING COMMISSION MEETING PROCEDURES

This Agenda is subject to amendment up to 72 hours prior to the date and time set for the meeting. Please refer to the Agenda posted at the Community Development Department, 955 Shasta Avenue, for any revisions, or call the department at 772-6264 for further information.

Written testimony is encouraged so it can be distributed in the Agenda packet to the Commission. Material submitted by the public for Commission review prior to a scheduled hearing should be received by the Planning Division at the Community Development Department, 955 Shasta Avenue, no later than 5:00 P.M. the Tuesday (eight days) prior to the scheduled public hearing. Written testimony provided after the Agenda packet is published will be distributed to the Commission but there may not be enough time to fully consider the information. Mail should be directed to the Community Development Department, Planning Division.

Materials related to an item on this Agenda are available for public inspection during normal business hours in the Community Development Department, at Mill’s/ASAP, 495 Morro Bay Boulevard, or the Morro Bay Library, 695 Harbor, Morro Bay, CA 93442. Materials related to an item on this Agenda submitted to the Planning Commission after publication of the Agenda packet are available for inspection at the Community Development Department during normal business hours or at the scheduled meeting.

This Agenda may be found on the Internet at: www.morro-bay.ca.us/planningcommission or you can subscribe to Notify Me for email notification when the Agenda is posted on the City’s website. To subscribe, go to www.morro-bay.ca.us/notifyme and follow the instructions.

The Brown Act forbids the Commission from taking action or discussing any item not appearing on the agenda, including those items raised at Public Comment. In response to Public Comment, the Commission is limited to:

1. Responding to statements made or questions posed by members of the public; or
2. Requesting staff to report back on a matter at a subsequent meeting; or
3. Directing staff to place the item on a future agenda. (Government Code Section 54954.2(a))

Commission meetings are conducted under the authority of the Chair who may modify the procedures outlined below. The Chair will announce each item. Thereafter, the hearing will be conducted as follows:

1. The Planning Division staff will present the staff report and recommendation on the proposal being heard and respond to questions from Commissioners.
2. The Chair will open the public hearing by first asking the project applicant/agent to present any points necessary for the Commission, as well as the public, to fully understand the proposal.
3. The Chair will then ask other interested persons to come to the podium to present testimony either in support of or in opposition to the proposal.
4. Finally, the Chair may invite the applicant/agent back to the podium to respond to the public testimony. Thereafter, the Chair will close the public testimony portion of the hearing and limit further discussion to the Commission and staff prior to the Commission taking action on a decision.

APPEALS

If you are dissatisfied with an approval or denial of a project, you have the right to appeal this decision to the City Council up to 10 calendar days after the date of action. Pursuant to Government Code §65009, you may be limited to raising only those issues you or someone else raised at the public hearing described in this notice, or in written correspondence delivered to the Commission, at, or prior to, the public hearing. The appeal form is available at the Community Development Department and on the City’s web site. If legitimate coastal resource issues related to our Local Coastal Program are raised in the appeal, there is no fee if the subject property is located with the Coastal Appeal Area. If the property is located outside the Coastal Appeal Area, the fee is \$263 flat fee. If a fee is required, the appeal will not be considered complete if the fee is not paid. If the City decides in the appellant’s favor then the fee will be refunded.

City Council decisions may also be appealed to the California Coastal Commission pursuant to the Coastal Act Section 30603 for those projects that are in their appeals jurisdiction. Exhaustion of appeals at the City is required prior to appealing the matter to the California Coastal Commission. The appeal to the City Council must be made to the City and the appeal to the California Coastal Commission must be made directly to the California Coastal Commission Office. These regulations provide the California Coastal Commission 10 working days following the expiration of the City appeal period to appeal the decision. This means that no construction permit shall be issued until both the City and Coastal Commission appeal period have expired without an appeal being filed. The Coastal Commission’s Santa Cruz Office at (831) 427-4863 may be contacted for further information on appeal procedures.



City of Morro Bay
 Community Development Department
 Current & Advanced Project Tracking Sheet

Agenda No: A-1

Meeting Date April 4, 2017

This tracking sheet shows the status of the work being processed by the Planning & Building Divisions

New Planning items or items recently updated are highlighted in yellow.

Approved projects are deleted on next version of log.

#	Applicant/ Property Owner	Project Address	Date	Permit Numbers	Project Description/Status	Planning Comments and Notations	Building/Fire Comments and Notations	Engineering Comments and Notations	Harbor/Admin Comments and Notations	Project Planner
Hearing or Action Ready Projects:										
1	Grover	484 Kings	2/2/17	UP0-469 & ADO-110	Conditional Use Permit & Parking Exception for addition of 510 sf to nonconforming single family residence and 301sf garage and parking exception.	Under Initial Review. PW has an active claim at this parcel regarding a tree in the right of way. PC Hearing on 4/4/17				ig
2	Elliott	2654 Greenwood	12/9/16	UP0-464 and ADO-116	Conditional Use Permit & Parking Exception for 192 sq. ft. addition to a nonconforming SFR	Under Initial Review. Correction Letter sent 1/6. Minor use permit and administrative level parking exception. Noticed 3/24/17		PN- Conditionally approved per memo dated 12/22/16		ig
3	Carpenter	938 Pacific	11/3/16	CP0-519	Conversion of existitng guest house to a secondary dwelling unit	Under Initial Review. Correction Letter Sent 12/5/16. Resubmitted materials 2/10/17. Ready to notice. Noticed for admin approval 3/10/16		PN-Conditionally approved per memo dated 12/1/16		ig
4	Guesno	297 Bradley	1/17/17	CP0-528	Admin CDP to convert existing two story 4,300sf single family home to an upper level primary residence and lower level secondary dwelling unit by removing interior statrs and installing wall to separate dwellings.	Under Initial Review. Correction Letter Sent 1/26. Ready to notice.				rr

#	Applicant/ Property Owner	Project Address	Date	Permit Numbers	Project Description/Status	Planning Comments and Notations	Building/Fire Comments and Notations	Engineering Comments and Notations	Harbor/Admin Comments and Notations	Project Planner
5	Sonic	1840 Main St.	8/14/13	UP0-364 & CP0-404	Conditional Use Permit and Coastal Development Permit to develop Sonic restaurant.	Under initial review. Comment letter sent 9/10/13. CJ. . Comments from Cal Trans received 10/31 and forwarded to Applicant. Meeting to discuss traffic study requirements on 11-21-13. Resubmitted 5/27. Environmental Review in process. Correction letter based on environmental review sent 8-6-14. Resubmittal received 1-23-15 and correction sent 2-23-15. Resubmittal received 5/8/15. Stormwater Control Plan also being reviewed. Reviewing outstanding cultural resources concerns. Reviewed project with archaeologist 1-27-16. Archaeological consultation in progress. MND routed to State Clearinghouse. Comment letter received from APCD re MND. cj. Noticing error necessitates continuance from 5/3/16 to 5/17/16 PC hearing. Continued to date uncertain to allow submittal revisions. Applicant submitted preliminarily revised plans 10/2016. Emailed informal comments 10/26. Revised preliminary plans emailed 1-27-17. Staff comments emailed 2-16-17. Discussed driveway and circulation plan changes to Main Street side of property with Applicant's Engineer and Public Works Dept. Emailed resubmittal and response 1-17. Agendized for 4/18/17 PC meeting.	Bldg -- Review complete	PN- Sonic has submitted Preliminary Stormwater Requirements. RPS: Initial conditions provided by memos of 9/10/13 and 10/14. Met with Caltrans on 10/17.		
6	Borges / RPM Consulting	1998 Main Street	3/1/16	CP0-503	Coastal Dev. Permit for addition of 2nd story office/laundry room remodel to commercial building in Mobile Home Park	Waiting on full project submittal. (Applicant received HCD building permit and started construction before getting CDP). Rcv'd 3/17. Correction letter sent. Resubmittal received 6/6/16. Correction letter sent 6/27. Applicant and HCD argue that no CDP is required. Coastal Commission legal staff weighed in on 9/26/16 confirming that a CDP is required and MB has jurisdiction due to LCP. Ready for PC 4/18/17		PN- Conditionally approved per memo dated 4/18/16		cj jg
7	Eisemann	396 Hill St.	8/29/16	CP0-515 and UP0-455	CDP/CUP for new duplex. Unit A: 1745sf living, 540sf garage. Unit B: 1517sf living, 552sf garage	Under initial review. Requires preliminary title report. Correction letter sent 10/18. Resubmittal received 12/16/2016. Need PhotoSims. Rcv'd 3/14. Ready for PC 4/18/17				jg
30 -Day Review, Incomplete or Additional Submittal Review Projects:										
8	DeCock	1001 Front St.	3/7/17	UP0-471	Temp. Use Permit for Info/Ticket Booth for Virg's Sport Fishing in a 48sf tough shed kiosk booth located near 1001 Front St parking lot.	Under initial review. Corrections to signage sent via email. Applicant currently revising plans.				cj
9	Assembly of God	615 Monterey	3/6/17	CP0-534/ AD0-113	Admin CDP and Parking Exception to convert existing garage to living space (house adjacent to church), convert lower rear portion of church to new garage.	Under Initial Review				jg
10	Mazzacane	270 Kern	3/2/17	AD0-112 (CP0-495)	Setback adjustment at north property line.	Under Initial Review				jg

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11	James / Nisbet	310 Mindoro	3/2/17	CP0-533	Admin CDP for New SFR on vacant lot for 1542sf living, 462sf garage, 176sf deck.	Under Initial Review		PN- Disapproved per memo dated 3/24/17		wm
12	James/ Nisbet	300 Mindoro	3/2/17	CP0-532	Admin CDP for New SFR on vacant lot, 1433sf living, 446 sf garage, 195sf deck.	Under Initial Review		PN- Disapproved per memo dated 3/24/17		wm
13	Crowfoot	416 Napa St	3/1/17	CP0-531	Admin CDP to create secondary dwelling unit through conversion of existing downstairs square footage. Concurrently applied for building permit of same.	Under Initial Review.				rr
14	Huber	2783 Coral Ave	2/24/17	CP0-530, UP0-470, S00-127	Proposed 6 lot residential subdivision (Tentative Tract Map, CDP, and CUP application). Property located at corner of San Jacinto & Coral Ave.	Under Initial Review				wm
15	Bay Pines/Shorebreak Energy	1501 Quintana	11/29/16	UP0-463/CP0-525	Coastal development permit & Conditional Use Permit for Bay Pines Solar Project.	Under Initial Review. Bio Report and Phase 1 Arch report rcv'd. Waiting for preliminary title report. Rcv'd 3/15. Sent to PW: Under Review		PN-Approved 12/9/16		jg
16	Barker	2214 Coral Ave	11/18/16	CP0-523/UP0-462	New 1,950 sq. ft. SFR in the Cloister's Subdivision	Under Initial Review. Correction letter sent 12/14		PN-Conditionally Approved per memo dated 12/14/16		jg
17	Branch	845 Embarcadero	11/14/16	A00-045	Modification to existing CUP 30-99. Finger docks to be lengthened, seawall repair.	Under initial review. Project deemed incomplete and letter sent 12-13-16. Resubmittal received 1-27-17 and under review. Conducting environmental review.				cj
18	Najarian	321 Luzon	11/7/16	CP0-521 & UP0-473 and AD0-115	Coastal Development Permit for a new 1,694 sq. ft. SFR	Under Initial Review. Correction Letter sent 12/5. Resubmittal received 2/2/2017		PN- Disapproved per memo dated 3/24/17		jg
19	Najarian	320 Mindoro	11/7/16	CP0-520 & UP0-472 & AD0-114	Admin CDP and MUP to build a SFR in an MCR/R-4 zone on a vacant lot. Proposed 2 story, 1694sf living, 546sf garage, & 144sf deck.	Under Initial Review. Correction Letter Sent 12/5. Resubmittal received 2/2/217		PN- Disapproved per memo dated 3/24/17		jg
20	Barfield	260 Shasta	11/4/16	UP0-461	Conditional Use Permit for 498 sq. ft. addition to an existing 999 sq. ft. nonconforming SFR	Under Initial Review. Correction Letter Sent. Applicant working to redesign in order to remedy the existing nonconformity. Waiting on resubmittal		PN-Conditionally approved per memo dated 11/29/16		jg
21	Mac Millan	590 Morro Bay Blvd.	11/1/16	UP0-460/CP0-518	Change of use from retail to restaurant	Under Initial Review. Correction Letter Sent		PN-Conditionally approved per memo dated 11/29/16		jg

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22	Fennacy	939 Main Street	10/18/16	UP0-459	Use permit approval for change of occupancy for the creation of outdoor dining area at the Brickhouse BBQ	Project under review. Correction letter sent 11/17. Resubmittal Rcv'd 3/27		Conditionally approved per memo dated 11/9/16		rr
23	Leage	1205 Embarcadero	9/28/16	A00-044 (UP0-058)	Minor amendment to UP0-058 to relocated approved floating dock location and construct new finger sections and lease line amendment	Project under review. Correction letter sent 11-21-16. Resubmittal received 1-27-17 and under review.		PN Disapproved per memo dated 10/25/16		cj
8	Van Buerden	945 Embarcadero	5/24/16	UP0-446	Conditional Use Permit for House of JuJu restaurant remodel, and City Park improvements	Incomplete letter sent 6-23-16 to Applicant and Applicant Representative. Cj. No recent activity as of 3-1-17				cj
9	Eisemann	535 Atascadero	10/12/15	CP0-490 & S00-125	Parcel map application & CDP to split 1 R-4 zoned lot in to two lots.	Incomplete letter sent 11-5-15. Received revised plans and communicated via email to applicant regarding plan corrections. Resubmittal under review. Correction letter sent 2/18/16 with Public Works comments. Received revised info from Applicant 3-3-16. Correction sent and resubmitted 4-8-16. Met w/ Architect to discuss intent to include development of 4-plex apartments. Resubmittal rcv'd 5/10. Correction letter sent 6/14/16. Spoke with architect 8/9/2016. Resubmittal rcv'd 8/17/2016. Correction letter sent 10/13/2016		PN- Diapproved per Memo dated 6/14/16		jg
10	DeGarimore	1001 Front St.	7/14/15	A00-026 and UP0-442	Amendment to CUP to modify project description to remove proposed new awning.	Letter sent to applicant 9-9-15 regarding public access requirements. In process. Applicant wishes to include a kiosk for Virg's Landing with the awning amendment. Reviewed prelim site plan of kiosk and provided email comment corrections on 2/24/16. Met with Virg's Landing owner to discuss kiosk plan 2-29-16. TUP application submitted for kiosk proposal adjacent to parking lot on 4-19-16. Correction letter sent 5-12-16. No recent activity as of 3-1-17.				cj
11	Gambril	405 Atascadero Rd.	5/13/15	CP0-475 / UP0-417	New construction of 10,000sf commercial retail on vacant lot	WM. Under review. Will need Arch and Traffic reports. Incomplete letter sent 9/4/15.		PN-Plans Disapproved. Req. Stormwater determination form & plan update-		wm
12	Leage	833 Embarcadero	9/15/14	UP0-389	Demolish existing building. Reconstruct new 1 story 19 foot building (retail/restaurant use) & outdoor improvements	Under review. Deemed incompleated. Letter sent 10-13-14. CJ Resubmittal received 2/17/15. Incomplete letter sent . Resubmittal received. Not compliant with view corridors requirements. Resubmitta received 1-20-16. Email corrections provided to Applicant on 2/10. Reviewed revised plans received from architect via email on 3/7/16.	BC- incomplete	RPS - Disapproved for plan corrections noted in memo of 10/14/14		cj

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13	Maritime Museum Association (Larry Newland)		11/21/05	UP0-092 & CP0-139	Embarcadero-Maritime Museum (Larry Newland). Submitted 11/21/05. Resubmitted 10/5/06, tentative CC for landowner consent 1/22/07 Landowner consent granted. Resubmitted 5/25/07. Resubmitted additional material on 9/30/09. Applicant working with City Staff regarding lease for subject site. Applicants enter into agreement with City Council on project. Applicant to provide revised site plan. Staff processing a "Summary Vacation (abandonment)" for a portion of Surf Street. Staff waiting on applicant's resubmittal. Meeting held with applicant 2/23/2011. Staff met with applicant 1/27/11 and reviewed new drawings, left meeting with applicant indicating they would be resubmitting new plans based on our discussions.	KW--Incomplete 12/15/05. Incomplete 3/7/07. Incomplete Letter sent 6/27/07. Met to discuss status 10/4/07 Incomplete 2/4/08. Met with applicants on 3/3/09 regarding inc. later. Met with applicants on 2/19/2010. Environmental documents being prepared. Meeting held with city staff and applicants on 2/3/2011. Sent Intent to Deem Withdrawn letter 9-2-14. JG. Revised preliminary plans emailed to City 11-4-16 for initial comment review. Staff feedback emailed to Architect 11-15-16. Resubmitted 3-20-17. CJ	Please route project to Building upon resubmittal.	An abandonment of Front street necessary. To be scheduled for CC mtg.		
Planning Commission Continued projects:										
14	Vankrieken	462 Arbutus	12/9/16	UP0-465/ CP0-535	CDP and Conditional Use Permit for new 515 sq. ft. garage and remodel of existing nonconforming SFR	Under Initial Review. Correction Letter sent 1/6. Resubmittal received 1/20/217. Correspondence with Agent regarding residential design guidelines, waiting for updated front elevations. Noticed for PC hearing on 3/10/16. Agendized for 3/21/17. Continued to a date uncertain with direction for design changes		PN- Conditionally approved per memo dated 12/22/16		jg
15	Elster	530 Morro	4/20/16	UP0-282 & CP0-323	New 2,978 sq. ft. SFR with 1,516 sq. ft. garage, 1,191 sq. ft. of decking, and a 560 s. ft. secondary dwelling unit.	Applicant has decided against the parcel map and development of three townhomes and now proposes to build one SFR and a secondary dwelling unit. Under initial review. Waiting on PW comments. Correction letter sent 5/18/16. Spoke with Applicant 8/4/2016 - resubmittal pending. Resubmittal received. Correction Letter Sent 11/7/2016. Resubmittal received 1/17/17. PC on March 7, 2017. Continued to a date uncertain.				jg
16	Rhine LP & Morro 94, LLC	3300 Panorama	2/24/16	CP0-500 & UP0-440	Coastal Development Permit & Conditional Use Permit for Demolition of 3 existing tanks, related pumps and concrete	Under review. Correction letter sent 5-10-16. Environmental review complete and to be routed 7-28-16 for required 30 day period. PC 9/6/16 hearing. Reviewed and PC continued hearing to 10/4/16. Project continued to 12/6 PC meeting. Project reviewed at 1/3/17 PC hearing and continued to a date uncertain.		PN- Conditionally approved per memo dated 7/26/16		wm

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17	Verizon / Knight	484 Main new location, Corner of Main and Cabrillo	11/19/14	UP0-394 and CP0-512	Coastal Development Permit and Conditional Use Permit for installation of new Wireless Facility/Verizon antennas on existing pole.	Under Review. JG. Incomplete. Waiting on response from Tricia Knight. Wants to keep project open and figure out the parking situation or move location. 1/26. JG. Applicant looking to move location to pole across the street. resubmittal rcv'd 5/26. Deemed Complete, waiting for Applicant to confirm PC meeting date. PC hearing held on 9/6/16 and continued for further review to 11-1-16 PC hearing. Continuance requested. Continued to a date uncertain		PN- Conditionally approved 6/14/16		jg
18	Seashell Estates, LLC	361 Sea Shell Cove	1/26/15	CP0-459/ UP0-401	Coastal Development Permit/Conditional Use Permit for new SFR. Lot 4 of 1305 Teresa Subdivision	Reviewing CC&R Design Guidelines. Deemed complete 3-2-15. Anticipate 4/21 PC hearing. Project continued to a date uncertain. CJ.	2/23/15 FD Cond App TP	BCR has for review 2/3/15		cg
19	City of Morro Bay	End of Nutmeg	1/18/12	UP0-344	Environmental documents for Nutmeg Tanks. Permit number for tracking purposes only County issuing permit. Demo existing and replace with two larger reservoirs. City handling environmental review	KW--Environmental contracted out to SWCA estimated to be complete on 4/27/2012. SWCA submitted draft I.S. to City on May 1, 2012. MR-Reviewed MND and met with SWCA to make corrections. In contact with County Environmental Division for their review. MND received by SWCA on 10/7/12. MND out for public notice and 30 day review as of 11/19/12. 30 day review ends on 12/25/12. No comments received. Scheduled for 1/16/13 Planning Commission meeting and then to be referred back to SLO County. Planning Commission continued this item to address concerns regarding traffic generated from the removal of soil. In applicant's court, they are addressing issues brought up by neighbors during initial P.C. meeting. Project has been redesigned and will be going forward with concrete tanks. Modifications to the MND are in process. Neighborhood meeting conducted with Engineering on 9/27/2013. Revising project description and MND.	No review performed.	BCR- New design concept completed. Needs new MND for concrete tank, less truck trips. Neighborhood mtg held 9/27. Neighbors generally support new design that reduces truck trips by 80%. Concrete batch plant set up on site will further reduce impact. 5/5/14 - Cannon contract signed to finish permit phase. Construction will be delayed to FY15/16		wm
20	AT&T	590 Morro Street	4/10/15	UP0-411 & CP0-465	Conditional Use Permit & Coastal Development permit to modify 2006 Planning permit approval for unmanned cell site	WM.Was tentatively scheduled for 3-1-16 PC hearing. Awaiting additional info from applicant. Tentatively scheduled for 5-17-16 hearing. Applicant requested continuance. PC continued review with direction on June 21, 2016.				wm
Projects Appealed or Forwarded to City Council:										

#	Applicant/ Property Owner	Project Address	Date	Permit Numbers	Project Description/Status	Planning Comments and Notations	Building/Fire Comments and Notations	Engineering Comments and Notations	Harbor/Admin Comments and Notations	Project Planner
21	Pall	340 Jamaica	1/5/17	UP0-468	Conditional Use Permit for an existing auto-body shop in a residential district	Under Initial Review. Project Noticed for 2-21-17 PC meeting. To be continued to 3/7/17 hearing due to noticing error. PC approval on 3/7/17. Project Appealed to City Council	FD Conditionally Approved 1/23/17			jg
22	Redican	725 Embarcadero	9/9/16	A00-041 (UP0-359)	Major amendment to Conditional Use Permit UP0-359. Replace existing upper floor restaurant to a 9 room second floor hotel.	Project under review. Met with applicant 10/10/16 to discuss. Correction letter sent to Applicant 10/21/16. Resubmittal received 12-2-16. Response requesting plan corrections emailed 1/3/17. Project heard by PC on 3-21-17 and favorable recommendations with direction to City Council.				cj
23	Baston	561 Embarcadero	UP0-448	UP0-448	Conditional use permit for Gray's Inn access improvements and piling repair	Incomplete letter sent 8-4-16. Received resubmittal 9/16/16. Correction letter sent 10/14 and resubmittal 10/19. Met w/ Agent to review resubmittal 10/19. Project reviewed at 12/20 PC meeting and continued to 1/17 PC meeting. Project reviewed for favorable recommendation to the City Council with direction.		PN- Conditionally approved per memo dated 8/3/16		cj
24	City of Morro Bay	Citywide	6/19/13	A00-015	Sign Ordinance Update. Text Amendment Modifying Section 17.68 "Signs"	Text Amendment Modifying Section 17.68 "Signs". Planning Commission reviewed 5/17/2010. Item heard at 5/24/11 City Council Meeting. Interim Urgency Ordinance approved to allow projecting signs. PC reviewed 2/7/2011. Workshops scheduled 9/29/11 & 10/6/11 .City Council 12/13/11. Continued to 1/10/12 CC meeting. PC reviewed 5/2/2012. Update due to City Council in June 2013. Draft Sign Ordinance reviewed by PC on 6/19/13 & 7/3/13. PC has reviewed Downtown, Embarcadero, and Quintana Districts as well as the Tourist-Oriented Directional Sign Plan. 8/21/13 Final Draft of Sign Ordinance approved at 9/4/13 PC meeting with recommendation to forward to City Council. Council directed staff to do further research with local businesses. Business workshops held fall/winter 13/14. Result of sign workshops discussed at 11-3-15 PC mtg.	No review performed.	N/R		sg
Environmental Review										
25	City of Morro Bay	N/A		UP0-423	MND for Chorro Creek Stream Gauges	Applicant requesting meeting for week of 9/9/13. SWCA performing the environmental review. Received completed MND from Water Systems Consulting (WSC) on 4/1/15. Routed to State Clearinghouse for required 30 day review period. Tentative hearing 8/4/15. No recent activity.	No review performed.	MND complete. Cut permit checks to RWQCB and CDFW on 2/27/15		cj
Final Map Under Review Projects:										

#	Applicant/ Property Owner	Project Address	Date	Permit Numbers	Project Description/Status	Planning Comments and Notations	Building/Fire Comments and Notations	Engineering Comments and Notations	Harbor/Admin Comments and Notations	Project Planner
26	Tract 2739	485 S. Bay Blvd, Black Hill Villas Subdivision	1/17/17	Map	Final Map - Tract 2739 / 16 lot subdivision with dedicated lot for riparian enhancement and raptor preservation.	Final Map Application Under review. Map corrections forwarded to Engineering/Public Works Dept. on 3/13/16				cj
27	Tract 2818	2400 Main St / Morro Mist	6/13/16	Map	Final Map - Tract 2818 / 23 lot subdivision and 1 common lot	Initial submittal for final map processing received 6-13-16. Correction letter sent 7-6-16. Draft CC&Rs received. Resubmittal received 1/5/17				cj
28	Tract 2670	1899 -1911 Sunset	11/17/15	Map	Final Map. - Tract 2670 6 lot subdivision and 1 common lot	Under review. Correction letter sent on 12-17-15. Met with Applicant on 3-8-16 to review outstanding items. Received revised CC&R's 3-8-16 for review. CC&R documents reviewed and determined deficient - corrections sent 4-21-16. Met with Applicant to review final corrections 7-13-16. Revised grading/retaining wall plans to be resubmitted. Draft CC&Rs under review by City Attorney. Attorney's review forwarded to Applicant on 7/28/16. CC&Rs under review for consistency with Council conditions of approval. Waiting for revised final map, revised grading plans as of 10/27/16. Grading permit issued. Awaiting revised CC&Rs.				cj
29	Medina	3390 Main	10/7/11	Map	Final Map. Issues with ESH restoration. Applicant placed processing of final map on hold by proposing an amendment to the approved tentative map and coastal development permit. Applicant proposed administrative amendment. Elevated to PC, approved 1/4/12. Appealed, scheduled for 2/14/12 CC Meeting. Appeal upheld by City Council, and project with denied 2/14/12. map check returning for corrections on 3/9/12	SD--Meeting with applicant regarding ESH Area and Biological Study. MR- Received letters from biologist regarding revegetation on 9/2/12. Letter sent to biologist. Recent Submittal reviewed and memo sent to PW regarding deficiencies. Initial review shows resubmitted map does not meet the 50 foot ESH buffer setback requirement. Creek restoration required per Planning condition #4 prior to recordation of the final map. Unresolved Planning conditions. Sent correction letter to Engineering 4-14-16. Received request for extension of permit as allowed by code. One year extension of permits granted extending map to 7/19/2017. Received map resubmittal 11-28-16. Response letter sent 12-27-16.	No review performed.	DH - resubmitted map and Biological study on Dec 19th 2012. PW has completed their review. Received a letter from Medina's lawyer and preparing response. PW comments sent to RS to be included with his response letter. RS said to process map for CC. Letter being prepared to send to		sg/cj
Projects requiring coordination with another jurisdiction:										
30	City of Morro Bay	Outfall			Original jurisdiction CDP for the outfall and for the associated wells	Coastal staff is working with staff. Coastal letter received 4/29/2013. Discussed project with Coastal staff in meeting 11-18-14.	No review performed.	City provided response to CCC on 7/12/13. Per Qtrly Conference Call CCC will take 30days to respond		

#	Applicant/ Property Owner	Project Address	Date	Permit Numbers	Project Description/Status	Planning Comments and Notations	Building/Fire Comments and Notations	Engineering Comments and Notations	Harbor/Admin Comments and Notations	Project Planner
31	City of Morro Bay Desal Plant	170 Atascadero			Project requires a Coastal Development Permit for upgrades at the Plant. Final action taken Sent to CCC but pursuant to their request the City has rescinded the action.	Waiting for outcome from the CDP application for the outfall. Discussed project with Coastal staff in meeting 11-18-14.	No review performed.	BCR- Phase 1 Maint and Repair project is underway. Desal plant start-up scheduled for 10/15/13. Phase 1 complete and		
Projects going forward to Coastal Commission for review (Pending LCP Amendments) / State Department of Housing:										
32	City of Morro Bay	Citywide	10/16/13	A00-013. A00-029: Ordinance 601	Zoning Text Amendment - Second Unit	Secondary Unit Ordinance Amendment. Ordinance 576 passed by City Council in 2012. 6-11-13 City Council direction to staff to bring back to Planning Commission for review of ordinance. At 10-16-13 PC meeting, Commission recommended changes to maximum unit size and tandem parking design where units over 900 sf and/or tandem parking design of second unit triggers a CUP process. Council accepted PC recommendation at 2-11-14 meeting and directed staff to bring back revised ordinance for a first reading and introduction. Item continued to 4/22/14 Council meeting to allow time for Coastal staff comment regarding proposed changes. Council approved Into and First Reading on 4/22/14. Final Adoption of Ord. 585 at 5/13/14 Council meeting. Ordinance to be sent as an LCP Amendment for certification by Coastal Commission. New language for PC and Council review. Second reading going to council on April 12, 2016. PC reviewed change 5-3-16. CC second First Reading 6-28-16.. Application submitted to Coastal Commission August 2016. Coastal objected to ban on use as vacation rentals. New State legislation will force additional changes.	No review performed.			wm
33	City of Morro Bay	Citywide	2/1/13	Ordinance 556	Wireless Amendment - LCP Amendment CHAPTER 17.27 Amendment for "Antennas and Wireless Telecommunications Facilities" AND MODIFYING CHAPTER 17.12 TO INCORPORATE NEW DEFINITIONS, 17.24 to MODIFY primary district matrices to incorporate the text changes , 17.30 to eliminate section 17.30.030.F "antennas", 17.48 modify to eliminate section 17.48.340 "Satellite dish antennas".	Application for Wireless Amendment submitted to Coastal Commission 9-11-13. Received comments back from CCC 11-27-13, working on addressing issues. Amendments withdrawn from Coastal Commission as they are no longer consistent with state law. Item has been included in the FY 16/17 goals and objectives.	No review performed.	N/A		sg
Projects Continued Indefinitely, No Response to Date on Incomplete Letter or inactive:										

#	Applicant/ Property Owner	Project Address		Date	Permit Numbers	Project Description/Status	Planning Comments and Notations	Building/Fire Comments and Notations	Engineering Comments and Notations	Harbor/Admin Comments and Notations	Project Planner
34	T-Mobiile	1478 Quintana		1/30/15	UP0-403	Minor Use Permit to Modify existing wireless telecommunication site at church	JG - Under initial review. Correction letter sent 3/5/2015. JG. Partial resubmittal rcv'd via email 9/18		JW approved		ig
Grants											
35	California Coastal Commission, California Ocean Protection Council	City-wide		4/6/16		\$400,000 Grant for LCP update to address sea-level rise and climate change impacts. Round 3 Grant award of \$200,000 for Lateral Access Plan, and ESHA delineation.	Grant agreements for both the grants are in place and grant administration has been turned over to Michael Baker International, per terms of the GP/LCP update contract. Received signed grant agreement for \$200,000 LCP Planning grant by CCC for Round 3 awards 2-27-17.	No review performed.	N/A		sg
36	City of Morro Bay	City-wide				Community Development Block Grant/HOME Program - Urban County Consortium	Staff has ongoing responsibilities for contract management in coordination with County staff administration. Final 2016 funding recommendations reviewed by Council on 3-8-16.	No review performed.	N/R		cg
37	City of Morro Bay	City-wide				Climate Action Plan - Implementation	Staff has ongoing responsibilities for implementation of Climate Action Plan as adopted by City Council January 2014. Staff coordinating activities with other Cities and County of SLO via APCD.				cg
Projects in Building Plan Check:											
1	Frank	2900	Alder	4/4/16	B-30941	New Duplex	Approved by ig. 5/31/16	Approved by cdl on 6-3-16.	PN- Approved 6/27/16		
2	LaPlante	3093	Beachcomber	10/27/11	B-29586	New SFR: 3,495sf w/ 500 sf garage on vacant land. No activity on this project. Remains in plan check.	SD--Incomplete Letter 12/12/11. Phase 1 Arch Report required and Environmental Document. Incomplete letter sent 2/2012. Building Permit deemed withdrawn - Approved Planning permit substantially different than 2011 application.	BC- Application on hold during planning process	DH- Provide SW mgmt, drainage rpt, EC per memo of 1/18/12.		
3	Martinez	235	Bradley	12/1/16	B-31311	SF-Alter 274 s.f. covered deck, 10'4" X 26'6" at rear of property. Covered deck.	Approved by ig 12-05-16	Disapproved by cdl on 12/21/16.	Approved by rps on 12-01-16.		
4	Williams	297	Bradley	10/19/16	B-31236	Remove & Replace existing 2nd floor 177sf deck.		Disapproved by cdl on 1-13-17.	PN- Approved 10/24/16		
5	Curtsinger	513	Dawson	11/10/16	B-31272	Interior remodel, replace plumbing, repair and/or replace existing entry stairs and landing.		Approved by cdl on 12-22-16.	PN- Approved per memo dated 1/20/17		
6		1215	Embarcadero		B-31326	Demo existing Dockside 3 and Morro Bay Landing to replace with 2 story new structure	Disapproved with plan corrections 1-5-17. CJ.	Plans sent to Ca, Code Check 1-5-17.	PN- Disapproved per memo dated 1/18/17		

#	Applicant/ Property Owner	Project Address	Date	Permit Numbers	Project Description/Status	Planning Comments and Notations	Building/Fire Comments and Notations	Engineering Comments and Notations	Harbor/Admin Comments and Notations	Project Planner
7	Govers	404 Fairview	1/27/17	B-31379	SF Addition -convert existing 2nd story deck over garage into habital space 120sq.ft. Adding new 5' 2nd story converted deck off new additi		Disapproved by cdl on 2/8/17.	PN- Disapproved per memo dated 2/17/17		
8	Gannage	2926 Fir	3/3/17	B-31379	270 sf Addition (new bdrm #4 & new bath #4) to SFR, new 50 sf covered entry porch, new 231 sf roof deck, remodeling kitchen, master bath, and relocating and covering full bath to	PLAN- Approved by jg on 3-22-17				
8	Appleby	381 Fresno	7/31/14	B-30227	Carport& Storage Shed. Remians in plan check status.	Correction sent 8-7-14. WM. Will require a CUP prior to building. JG. Corrections sent 2/23 JG	Building approved 08-04-15 cdl	RPS - No PW comments if street access is not required for storage bldg		
9	Whitaker	1170 Front	3/10/16	B-30885	New 6 unit hotel	Needs CDP from Coastal Commission.	Denied by cdl on 6-17-16.	PN- Disapproved 6/30/16		
10	Stanley	570 Harbor	11/15/16	B-31280	New SFR on lot with existing commercial structure. SFR includes 1507sf living, 480sf garage and 194sf decking		Disapproved by cdl on 12-22-16.	PN- Disapproved per memo dated 12/8/16		
11	Page	2657 Greenwood	12/27/16	B-31045	2nd floor 1028sf addition to existing SFR with new 350sf deck & remodel of 1st floor.		Disapproved by cdl on 1-9-17.	PN- Approved 3/22/17		
12	Richardson	2790 Greenwood	3/15/17	B-31437	Remedial foundation repair, 9 push piers installed to stabilize and lift foundation to maximum practical recovery.		Approved by cdl on 3-23-17.			
13	Moffat	2950 Greenwood	1/12/17	B-31362	Install new bathroom to existing den in SFR		Disapproved by cdl on 1-19-17.	PN- Approved 1/23/17		
14	Stanley	570 Harbor St	9/12/16	CP0-517	Demo existing SFR/Chiropractic office. New construction of 2 new SFRs - 1507sf living with 480sf garage, and 891 sf living with 441	CDP approved 11-22-16. WM	Conditionally approved per memo dated 9/12/16.	PN-Conditionally approved per memo dated 11/17/16		
15	Hurlless	2265 Hemlock	5/11/15	B-30477	SFR Garage converted to 492sf apartment with new bedroom and bathroom. Remains in plan check status.	Disapproved 8-28-15. JG	Denied by cdl on 5/15/15	PN- Disapproved needs sewer lateral video-		
16		2450 Ironwood	3/6/17	B-31424	Installation of deck and stairs to front entry, approx. 200 sq. ft	Disapproved by sg	Disapproved by cdl on 3-16-17	Approved by rps on 3-6-17.		
17	Audland	2605 Ironwood	1/17/17	B-31367	SF-Alter Stabalize foundation of existing SFR, install piers utilizing standard founation brackets to prevent further	Approved by sg on 01-20-17	Approved by cdl on 01/19/17			
18	Romero	3036 Ironwood	1/25/17	B-31340	New SFR with 2,484sf living, 559sf garage, 100sf deck & 71sf porch	Disapproved 2-24-17. JG	Disapproved by cdl on 1/31/17. Comments mailed on 2/28/17	PN- Diapproved per Memo dated 2/17/17		
19	Gonzalez	481 Java	10/10/13	B-30029	SFR Addition/ Remodel: add 578 sf living and 112 sf decking. Remains in plan check Status.	WM. Expecting Admin Use Permit application for minor revision to approved design.	Plans approved 9-18-15 cdl	PN-Disapproved, needs swr video & plan corrections. 9/24/15		
20	Rochenbach	2670 Juniper	3/9/17	B-31428	Install residential interior elevator (3 floors) resulting in roof extension, add new roof tiles, add new windows, doors, reconfigure front concrete stairs to entry, revise existing guardrail	Disapproved by sg on 3-17-17.				
21	Channing	471 LaJolla	10/11/16	B-31221	Construct 20' x 11' exterior deck	Disapproved 10-20-16. JG	Disapproved by cdl on 10-18-16.			

#	Applicant/ Property Owner	Project Address	Date	Permit Numbers	Project Description/Status	Planning Comments and Notations	Building/Fire Comments and Notations	Engineering Comments and Notations	Harbor/Admin Comments and Notations	Project Planner
22	Wright	520 LaJolla	7/25/16	B-31114	Convert walk-in closet to bathroom, add shower, two windows, convert windows to french doors.	Correction memo sent 10/20/16. jg.	Approved by cdl on 12-19-16.	PN- Disapproved per memo dated 12/21/16		
23	Douglas	2587 Laurel	1/8/15	B-30352	Addendum to B-30074. Add 24 sq. ft., converting 1,020 sq. ft. to habitable space, add 120 sq. ft. porch. and 191 sq.ft. deck. Remains	Under Review. JG. Denial	Plans Denied 10/16/15 cdl	PN 9/30/15 Approved as submitted. No		
24	PG&E	1245 Little Morro Creek	3/25/16	B-30925	Add 25K Generator to cell site/tower to satisfy Planning Commission conditions.	Approved. CJ. 4-5-16. Complies w/ PC approval.	Approved by cdl 3/30/16	PN- Approved 5/17/16		
25	Dyson	117 Main	8/15/14	B-30248	Covered Patio Remains in plan check Status.	Corrections. 9-5-14. WM.	BC-Returned for corrections 9/8/14.	NRR		
26	Burgstrom	372 Main	12/14/16	B-31350	SF-Alt -Rebuild existing 235 sf deck and stairs, add approx 69 sf to enlarge existing deck.		Disapproved by cdl on 12-30-16			
27	Morro Mist LLC	2402-2446 Main	7/5/16	B-31067 through B-31089	Building permit applications for 23 new townhomes in 6 detached building clusters to include 15 one-bedroom units and 8 three-bedroom units. 23 separate permit applications	Disapproved. Corrections sent 8-3-16. cj.	Disapproved by cdl on 1-23-17.			
28	Streeter	1128 Market	10/26/16	B-31247	New SFR with 1345sf Living, 434sf garage & 80sf Deck		Disapproved by cdl on 11-21-16.	PN- Disapproved 11/17/16		
29	Streeter	1138 Market	10/26/16	B-31252	New SFR with 1345sf Living, 437sf garage & 131sf Deck		Disapproved by cdl on 12-6-16.	PN- Disapproved 11/17/16		
30	Castro	190 Mindoro	12/29/16	B-31351	New SFR with 888sf Living & 234sf garage	Disapproved 1-5-17. JG	Approved by cdl on 12-13-16.	PN- Disapproved per memo dated 1/24/17		
31	Assembly of God	615 Monterey	10/14/16	B-31226	Interior remodel (to rear house) - Demo interior, replace sub floor, drywall, electrical & plumbing,	Disapproved 11-10-16. JG	Disapproved by cdl on 11-17-16.	PN- Disapproved 11/16/16		
32	Meisterlin	315 Morro Bay Blvd.	9/12/14	B30275	Commercial Alteration-Handicap restroom. Remains in plan check Status.	Approved 9/25/14. CJ.	Plansw approved 9-30-2014 bc	RPS returned for corrections per		
33	Crowfoot	416 Napa	3/1/17	B-31417	Convert downstairs closet into kitchen to create secondary dwelling unit (CP0-531)		Approved by cdl on 3-23-17			
34	Rushaupt	2301 Nutmeg	3/22/17	B-31451	Increase size of existing first floor bathroom.	Approved by wm on 3-23-17.				
33	Robson	110 Orcas	12/9/16	B-31350	2098 s.f. living, 939 s.f. subterranean garage, and 376 s.f. decking	Corrections sent 3-24-17 to Bldg. CJ.	Disapproved by cdl on 01-12-17			
35	Moloney	840 Pacific	9/22/16	B31194	350sf addition to existing SFR	Disapproved 10-5-16. JG	Disapproved by cdl on 9-29-16.	RB-Disapproved per memo dated 10/19/16		
36	Lewis	290 Piney Lane	12/19/16	B-31325	New two story SFR - 2735 sf living, 581 sf garage, 376 sf deck	Conditional Approval by jg on 01-04-17 (need to add Cond of App to plans sets	Approved by cdl on 12-30-16	PN- Disapproved per memo dated 2/16/17		
37	Volk	800 Quintana	4/25/16	B-30811	Unmanned cell site including locating an antenna on and radios on roof, equipment at	Disapproved. CJ. 5-16-16. Does not meet conditions of approval. Requested resubmittal.	Approved by cdl on 5/11/16	PN- Approved 5/13/16		
38	Frye	244 Shasta	5/2/13	B-29910	Garage to Second Unit conversion. Remains in plan check Status.	KM - Needs to comply with or amend existing CDP. 2006 Planning permit modified to allow non-conforming structure. No activity since 2014 on this building permit.	BC- on hold pending planning process.	BCR-approved 5/13/13		
39	Scoto	330 Sicily	10/18/16	B-31232	New SFR w/1743sf living area, 457sf garage & 150sf deck.	Approved 5-16. JG	Disapproved by cdl on 12-5-16.	PN- Approved 12/8/16		

#	Applicant/ Property Owner	Project Address	Date	Permit Numbers	Project Description/Status	Planning Comments and Notations	Building/Fire Comments and Notations	Engineering Comments and Notations	Harbor/Admin Comments and Notations	Project Planner
40	Dolezal	1885 to 1905 Sunset	3/17/17	B31378	Addendum to Grading permit #G00-045 issued 12/7/16. Changes to approved Grading to on-site improvements					
41	Dolezal	1885 Sunset	11/30/15	B-30758	Lot 6: New SFR with 1140sf and 480 garage. Remains in plan check Status.	Disapproved 7-6-16. Plans not consistent with pending final map. Corrections needed. CJ.	Approved by cdl on 5/6/16	PN- Approved 7/14/16		
42	Dolezal	1889 Sunset	11/30/15	B-30757	Lot 5: New SFR with 1140sf with 480 garage. Remains in plan check Status.	Disapproved 7-6-16. Plans not consistent with pending final map. Corrections needed. CJ.	Approved by cdl on 5/6/16	PN- Approved 7/14/16		
43	Dolezal	1893 Sunset	11/30/15	B-30756	Lot 4: New SFR with 1140sf living and 480sf garage. Remains in plan check Status.	Disapproved 7-6-16. Plans not consistent with pending final map. Corrections needed. CJ.	Approved by cdl on 5/6/16	PN- Approved 7/14/16		
44	Dolezal	1897 Sunset	11/30/15	B-30753	Lot 1: New SFR with 1140sf living and 480sf garage. Remains in plan check Status.	Disapproved 7-6-16. Plans not consistent with pending final map. Corrections needed. CJ.	Approved by cdl on 5/6/16	PN- Approved 7/14/16		
45	Dolezal	1901 Sunset	11/30/15	B-30754	Lot 2: New SFR with 1541sf living and 483sf garage. Remains in plan check Status.	Disapproved 7-6-16. Plans not consistent with pending final map. Corrections needed. CJ.	Approved by cdl on 5/6/16	PN- Approved 7/14/16		
46	Dolezal	1905 Sunset	11/30/15	B-30755	Lot 3: New SFR with 1457sf living and 480sf garage. Remains in plan check Status.	Disapproved 7-6-16. Plans not consistent with pending final map. Corrections needed. CJ.	Approved by cdl on 5/6/16	PN- Approved 7/14/16		
47	Hartsock	242 Surf	1/27/17	B-31380	Addition to a non-conforming SFR w/ detached garage. Also ref: CP0-509, AD0-106					
48	Jordan	340 Tulare		B-31046	2nd floor 650sf Addition & 75sf garage addition	Approved 5-17. JG	Disapproved by cdl on 1-13-16.	PN- Approved 2/2/17		
Planning Projects & Permits with Final Action:										
1	Moloney	840 Pacific	12/29/16	CP0-526	Coastal Development permit, as-built for existing secondary dwelling unit and an addition of habitable square footage	Project Review Complete. Correction Letters sent 1/19 and 2/9. Noticed for admin approved 3/21. Action date 3/7.		PN- Conditionally approved per memo dated 1/23/17		rr
2	Streeter	1128 & 1138 Market	8/24/16	CP0-513 / UP0-452	Two new SFRs. Front SFR includes 1,345 sq. ft. of living area, a 434 sq. ft. garage, and 80 sq. ft. of decking. Rear SFR includes 1,373 sq. ft. of living area, a 473 sq. ft. garage, and 131 sq. ft. of decking.	Under Initial Review. Correction letter sent 9/22/16. Additional staff comments regarding City design guidelines emailed to applicant on 11/8/16 PC hearing 3-7-17		PN- Conditionally Approved per memo dated 9/15/16		wm

AGENDA ITEM: A-2

DATE: APRIL 4, 2017

ACTION: DRAFT

ACTION MINUTES – MORRO BAY PLANNING COMMISSION
REGULAR MEETING – JANUARY 17, 2017
VETERANS MEMORIAL BUILDING – 6:00 PM

PRESENT: Robert Tefft Chairperson
Richard Sadowski Commissioner
Joe Ingraffia Commissioner
Michael Lucas Commissioner
Gerald Luhr Vice-Chairperson

STAFF: Scot Graham Community Development Director
Cindy Jacinth Associate Planner
Joan Gargiulo Assistant Planner

ESTABLISH QUORUM AND CALL TO ORDER
MOMENT OF SILENCE / PLEDGE OF ALLEGIANCE
PLANNING COMMISSIONER ANNOUNCEMENTS

<https://youtu.be/5xtswrokjvE?t=5m6s>

Commissioner Sadowski announced on January 24th, the Board of Supervisors will be meeting with the Chumash Heritage National Marine Sanctuary. Sadowski would like for people to attend or watch it on TV.

Chairperson Tefft announced the Open Air Alliance will be holding a meeting on January 26th at the Community Center, Multipurpose room, 6:30 pm -8 pm, to discuss open space around Morro Bay and the Chevron property.

PUBLIC COMMENT PERIOD

<https://youtu.be/5xtswrokjvE?t=6m20s>

Rigmore, Morro Bay resident, appreciated the Commissioners inputs and comments at the Joint Meeting on Wednesday. Rigmore found the meeting to be very interesting and would like to see more meetings like that in the future. Rigmore spoke about parking issues in Morro Bay when big events are held. Rigmore gave an example of how a small Norwegian fishing village handles their parking when they held big events in the town.

Chairperson Tefft commented there will be a meeting for the Master Plan on February 2nd. Tefft would like to see people come out and participate.

Chairperson Tefft closed the Public Comment period.

<https://youtu.be/5xtswrokjvE?t=10m41s>

PRESENTATIONS – NONE

A. CONSENT CALENDAR

<https://youtu.be/5xtswrokjvE?t=10m41s>

A-1 Current and Advanced Planning Processing List

Staff Recommendation: Receive and file.

MOTION: Commissioner Sadowski motioned to move to approve. Commissioner Ingrassia seconded and the motion passed unanimously (5-0).

B. PUBLIC HEARINGS

Public testimony given for Public Hearing items will adhere to the rules noted above under the Public Comment Period. In addition, speak about the proposal and not about individuals, focusing testimony on the important parts of the proposal; not repeating points made by others.

B-1 (continued from the December 20, 2016 Planning Commission meeting)

Case No.: UP0-448

Site Location: Gray's Inn, 561 Embarcadero, Morro Bay, CA

Project Description: Request for Conditional Use Permit for both land and waterside improvements including installation of new 10 foot harborwalk to match existing elevation, installation of 1 new pile, sleeving of 4 existing piles, provide 4 foot wide vertical access on south side of building to allow public access to harborwalk, along with building façade improvements, sidewalk improvements, repair of existing decking,

CEQA Determination: Categorically exempt Section 15303, Class 3c.

Staff Recommendation: Forward a favorable recommendation to the City Council.

Staff Contact: Cindy Jacinth, Associate Planner, (805) 772-6577

<https://youtu.be/5xtswrokjvE?t=11m36s>

COMMISSIONERS DISCLOSURE OF EX PARTE COMMUNICATIONS –

Commissioner Sadowski had a conversation with Denise Krueger at Kayak Horizons.

Jacinth presented staff report.

Commissioners presented their questions to staff.

Chairperson Tefft opened the Public Comment period.

<https://youtu.be/5xtswrokjvE?t=28m4s>

Cathy Novak, representative for the applicant, thanked the Commissioners letting her acquire the additional material the Commission requested and time to prepare alternatives to help answer questions and concerns. Novak noted the modification to the vertical access way's concrete design, using a wood grain design that could be used for other projects to create continuity on future designs. Novak discussed the view corridor and components. Novak also spoke of the modification to condition 15 to include utilities as well as fencing not to exceed 30 inches in requirement. The parking marks would show parking spaces and noted the trip hazard if the walkway was raised above the parking lot.

Gene Doughty, architect, explained the reason for the application and stated he informed the new owners if they wanted to renew the lease, they would have to invest money into the lease site, which includes the sidewalk and vertical access. Doughty feels the applicant shouldn't be penalized or restricted because they are providing a public benefit.

Chairperson Tefft closed the Public Comment period.
<https://youtu.be/5xtswrokjvE?t=39m39s>

Chairperson Tefft opened the Public Comment period.
<https://youtu.be/5xtswrokjvE?t=39m55s>

Discussion between Commissioners and staff.

Novak addressed the eel grass issue and policy. Novak noted if a pre-construction survey is conducted and eel grass is discovered, they would run into some trouble. Novak stated the eel grass study is a snap shot in time now, but won't be guaranteed to hold for the future.

Discussion between Commissioners and staff.

Chairperson Tefft closed the Public Comment period.
<https://youtu.be/5xtswrokjvE?t=57m53s>

Discussion between Commissioners and staff

Chairperson Tefft opened the Public Comment period.
<https://youtu.be/5xtswrokjvE?t=1h34m49s>

Novak stated the applicants would like to keep the sign. Novak noted if the sign was moved to the side of the building, it would not be visible to people coming from the north going south. Novak stated the project was approved in 1993 along with the sign and now asking for a minor exception for one parking space. Novak emphasized the project does have total public benefit and the applicants have already given up a lot and would like to keep the sign as part of the project.

Chairperson Tefft closed the Public Comment period.

MOTION: Commissioner Lucas moved to provide City Council a favorable recommendation for conditional use permit UP0-448, including amendments as noted, and adopt PC resolution 02-17. Commissioner Ingraffia seconded with Vice-Chairperson Luhr dissenting. The motion passed (4-1).
<https://youtu.be/5xtswrokjvE?t=1h54m1s>

Modified condition 15 as indicated in bold italics:

15. Applicant shall maintain the view corridor on the south side of the Grays Inn building with no view corridor obstructions other than the fencing ***and existing utilities*** per approved plans for #UP0-448.

Conditions added by the Planning Commission on January 17, 2017

16. ***An interpretive sign with content relating to the historical nature of Morro Bay shall be submitted for review and approval by the Community Development Director and shall be installed along the Harborwalk lateral access prior to final occupancy of the building permit.***
17. ***No change shall be made to the sign copy of design of the existing Gray's Inn pole sign which was previously permitted through conditional use permit #07-92.***
18. ***The vertical access path, in the area adjacent to the parking spaces shall be delineated by a bollard or other suitable feature in order to prevent parked vehicles from encroaching on the vertical access pathway. The type, location, and method of delineations shall be submitted to the Community Development Department for review and approval.***
19. ***The three existing parking spaces shall be maintained with the parking space widths evenly divided (approx. 8 feet 7 inches).***

B-2 Case No.: UP0-466

Site Location: 545 Shasta Avenue, Morro Bay, CA

Project Description: The Applicant proposes to co-locate a live theater playhouse at the existing St. Peter's Episcopal Church. Specifically, the Applicant proposes to use the existing Social Hall Building located at the northwest corner of the parcel to host a maximum of 99 customers. The stage area will include removable 4ft. x 8 ft. x 8 in. high wooden platforms. The platforms, sets, props, lighting, and other equipment will be removed from the hall and stored in an existing storage structure on site when not utilized for playhouse purposes. The project site is located within the R-2 Residential Zoning District and outside of the Coastal Commission Appeal Jurisdiction.

CEQA Determination: Categorically Exempt, Section 15301, Class 1

Staff Recommendation: Conditionally Approve

Staff Contact: Joan Gargiulo, Assistant Planner (805) 772-6270

<https://youtu.be/5xtswrokjvE?t=2h49s>

Commissioner Lucas recused himself due to extensive relationship with St. Peter's Episcopal Church.

COMMISSIONERS DISCLOSURE OF EX PARTE COMMUNICATIONS –
Commissioner Sadowski spoke to a few neighbors.

Gargiulo presented staff report.

Chairperson Tefft opened the Public Comment period.

<https://youtu.be/5xtswrokjvE?t=2h6m48s>

Lynn Enns, Senior Warden at St. Peter's Episcopal Church, stated one of the missions at the church is to be relevant and active in the community and believe that providing an opportunity to bring live theater to the arts community in Morro Bay. Enns noted St. Peter's will comply with all regulations and what other regulations the City requires.

Janice Peters, Morro Bay resident and secretary, gave a history of why the theater group was looking for venue. Peters is hoping the new zoning would reflect the need for live theater possibilities. Peters noted they looked at other locations, but due to the zoning they didn't work out.

Sandy Tandler, Morro Bay resident, asked the Commission to approve the special use permit so St. Peter's could bring live theater to Morro Bay. Peters wanted to clarify to the Commission they do not have intentions to use the kitchen for a dinner theater.

Commissioner Sadowski read a public comment for Ann Travers.

Travers asked what activities are appropriate for or allowed in residential neighborhoods. Travers lives next door to the church and would like to know why this would be allowed in a residential neighborhood. Travers stated a theater group is different, it's not a support group or a bridge club. Travers is concerned with the activities that go along with a theater group i.e. rehearsals, extra lighting in the parking lot, set ups and take downs of sets etc. Travers stated they City Coastal Plan and General Plan don't provide guidelines for what is allowed in residential areas. Travers asked if there was another venue in a commercial zone that would be appropriate for the theater group.

Chairperson Tefft closed the Public Comment period.

<https://youtu.be/5xtswrokjvE?t=2h22m3s>

Chairperson Tefft opened the Public Comment period.

The Commissioners presented their questions and concerns to the applicant.

Anita Schwaber, President and Board of Directors, spoke of the times for intermission which usually last about ten minutes and would be held either in the hall or patio. Schwaber stated is the show starts at 7 pm, the cut off time should be around 9:00 pm or 9:15 pm.

Chairperson Tefft closed the Public Comment period.

<https://youtu.be/5xtswrokjvE?t=2h31m34s>

Discussion between Commissioners and staff.

MOTION: Commissioner Ingraffia motioned to move to adopt PC 03-17 with amendment. Commissioner Sadowski seconded and the motion passed (4-0), Commissioner Lucas abstained.

NOTE: Conditions listed below in bold and italics have been added by the Planning Commission:

1. Alcohol consumption and/or sales are prohibited unless and until the Applicant furnishes proof of a valid license from the Department of Alcoholic Beverage Control to the Community Development Director. ***Any future sales of alcohol shall be prohibited after 9:30p.m.***
2. ***The Applicant shall ensure that the parking lot is vacated by audience patrons by 10:00 p.m.***
3. ***The project shall be reevaluated by the Planning Commission within 12 months of project approval.***
4. ***Prior to the start of each performance, an announcement shall be made reminding audience members of the sensitive residential nature of the surrounding neighborhood.***

C. NEW BUSINESS - NONE

D. UNFINISHED BUSINESS - NONE

E. PLANNING COMMISSIONER COMMENTS
<https://youtu.be/5xtswrokjvE?t=2h46m16s>

Commissioner Ingraffia commented he came across a magazine which published the benefits of Morro Bay and listed the elected officials and various department heads along with opportunities and activities in Morro Bay. Ingraffia noted he didn't know who published it but thought they did an excellent job.

Chairperson Tefft suggested the Commission to appoint a liaison for the Harbor Advisory meeting. Tefft feels since the Planning Commission is involved with projects on the Embarcadero, it would be a good idea to be involved in that meeting.

Graham responded he will agendize Chairperson Tefft's request to appoint a liaison for the Harbor Advisory meeting

Commissioner Sadowski announced on January 26th & 27th he will be attending the Climate Change symposium in Sacramento.

F. COMMUNITY DEVELOPMENT DIRECTOR COMMENTS
<https://youtu.be/5xtswrokjvE?t=2h46m57s>

Graham announced there will be a General Plan/LCP update workshop on February 2nd, at the Community Center, from 5:30 pm – 8:00 pm.

G. ADJOURNMENT

The meeting adjourned at 8:55 p.m. to the regular Planning Commission meeting at the Veteran’s Memorial Building, 209 Surf Street, on February 7, 2017, at 6:00 p.m.

Robert Tefft, Chairperson

ATTEST:

Scot Graham, Secretary

B. PUBLIC HEARINGS

Public testimony given for Public Hearing items will adhere to the rules noted above under the Public Comment Period. In addition, speak about the proposal and not about individuals, focusing testimony on the important parts of the proposal; not repeating points made by others.

B-1 Case No.: UP0-468

Site Location: 340 Jamaica Street, Auto Body Builders

Project Description: Conditional Use Permit approval for the continued operation of an existing auto-body repair and paint shop located within the R-1/S.1 residential zoning district since 1981. The project site is located outside of the Coastal Commission Appeal Jurisdiction.

CEQA Determination: Categorically exempt Section 15301, Class 1

Staff Recommendation: Continue to the March 7, 2017 PC meeting

Staff Contact: Joan Gargiulo, Assistant Planner (805) 772-6270

<https://youtu.be/gGHUSCCmmZw?t=4m45s>

Chairperson Tefft opened the Public Comment period.

<https://youtu.be/gGHUSCCmmZw?t=5m18s>

Daryl Dobson, Island Street, stated he contacted the Air Pollution Control District and noted the body shop has changed from a part-time business to a full-time business. Dobson complained about the fumes and noise he experienced coming from the business. Dobson stated he has been in contact with Code Enforcement Officer David Crockett. Crockett has been out to the site and has smelled them fumes. Crockett told Dobson to document everything.

Dan Knight, representative for the property owner of Island Street, stated the business was invasive for a R-1 zone, and noted the noise level for this area was inappropriate. Mr. Knight stated the property owner feels the business is bringing his property value down, and if he decides to sell, he would have to disclose there is a business near the property.

Evans Cowen, Island Street, stated he's in opposition to the body shop. Cowen wanted to be sure the Commissioners could read his letter. Cowen stated he could smell the fumes and hear the noise from the shop. Cowen hopes the Commissioners would correct what the former Planning Commission and City Council had failed to take care of in 1981.

Chairperson Tefft closed the Public Comment period.

<https://youtu.be/gGHUSCCmmZw?t=16m8s>

The Commissioners presented their questions to staff.

MOTION: Vice-Chairperson Luhr motioned to move continue item to the March 7, 2017 Planning Commission meeting. Commissioner Sadowski seconded and the motion passed (5-0).

<https://youtu.be/gGHUSCCmmZw?t=19m29s>

B-2 Case No.: UP0-467

Site Location: 2926 Fir Avenue

Project Description: Conditional Use Permit approval for a 270 sq. ft. addition to an existing nonconforming SFR located within the R-1/S.2 Single-Family Zoning District. Specifically the Applicant proposes to add a bedroom, bathroom, and new entry porch. The project site is located outside of the Coastal Commission Appeal Jurisdiction.

CEQA Determination: Categorically exempt Section 15301, Class 1

Staff Recommendation: Conditionally Approve

Staff Contact: Joan Gargiulo, Assistant Planner (805) 772-6270

<https://youtu.be/gGHUSCCmmZw?t=20m12s>

COMMISSIONERS DISCLOSURE OF EX PARTE COMMUNICATIONS –
NONE

Gargiulo presented staff report.

The Commissioners presented their questions to staff.

Chairperson Tefft opened the Public Comment period.

<https://youtu.be/gGHUSCCmmZw?t=29m44s>

Aaron Gannage, representative and designer for applicant, stated the garage probably met the requirements back then, but will not meet the 20 x 20 interior requirements. Gannage stated he would be available to answer any questions.

Chairperson Tefft closed the Public Comment period.

<https://youtu.be/gGHUSCCmmZw?t=30m57s>

Discussion between Commissioners and staff.

MOTION: Commissioner Sadowski motioned to move to adopt conditional use permit UP0-467 with parking exception AD0-111 as presented by staff.

Commissioner Lucas seconded and the motion passed (5-0).

C. NEW BUSINESS - NONE

D. UNFINISHED BUSINESS - NONE

E. PLANNING COMMISSIONER COMMENTS

<https://youtu.be/gGHUSCCmmZw?t=44m27s>

Commissioner Sadowski stated he was given a scholarship for the 2017 California Climate Change symposium. Sadowski would like to present a couple of points to the Commission which he feels are important.

ACTION MINUTES – MORRO BAY PLANNING COMMISSION
REGULAR MEETING – FEBRUARY 21, 2017

Graham stated he could place the item on the next agenda as presentation.

Vice-Chairperson Luhr asked staff for status of the Haul out facility.

Graham stated Council had directed the Harbor Director to release a Request for Qualification (RFQ) for a design build of the haul out facility. Graham noted if no RFQ is received, there would be a feasibility study to see if it would be financially viable.

F. COMMUNITY DEVELOPMENT DIRECTOR COMMENTS – NONE

G. ADJOURNMENT

The meeting adjourned at 6:50 p.m. to the regular Planning Commission meeting at the Veteran's Memorial Building, 209 Surf Street, on March 7, 2017, at 6:00 p.m.

Robert Tefft, Chairperson

ATTEST:

Scot Graham, Secretary



AGENDA NO: B-1

MEETING DATE: April 4, 2017

Staff Report

TO: Planning Commissioners

DATE: March 28, 2017

FROM: Joan Gargiulo, Assistant Planner

SUBJECT: **Conditional Use Permit (#UP0-469) and Parking Exception (#AD0-110)**
Request to allow an addition of 510 sq. ft. to an existing nonconforming single-family residence and the construction of 301 sq. ft. single-car garage in the R-1 Residential Zoning District and outside of the Coastal Commission Appeal Jurisdiction.

RECOMMENDATION:

CONDITIONALLY APPROVE THE PROJECT by approving Planning Commission **Resolution 12-17** which includes the Findings and Conditions of Approval for the project depicted on site development plans dated February 2, 2017.

APPLICANTS:

Jeff and Leticia Grover

ARCHITECT:

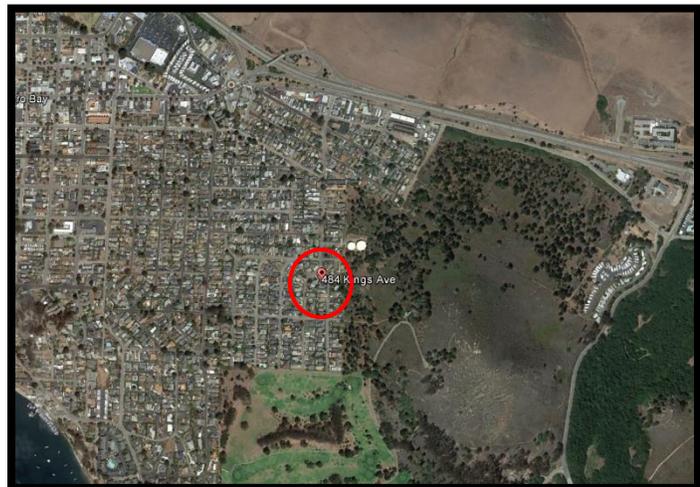
Mary White

LEGAL DESCRIPTION/APN:

066-205-009

PROJECT DESCRIPTION:

The Applicant is requesting Conditional Use Permit and Parking Exception approval for the addition of 510 sq. ft. to an existing 750 sq. ft. nonconforming single-family residence and the construction of a 301 sq. ft. single-car garage in the R-1 Residential Zoning District. The Parking Exception request is to allow for the second required parking space to be located within the eastern side yard.



Vicinity Map

Prepared By: JG

Department Review: _____

PROJECT SETTING:

The project is in the Central Morro Bay Neighborhood in the City of Morro Bay, designated as Planning Area 7 in the Local Coastal Plan. The parcel at 484 Kings Avenue is located north of Ridgeway Street, west of the State Park and east of Kern Avenue in the R-1 Residential Zoning District and outside of the Coastal Commission Appeal Jurisdiction.

Adjacent Zoning/Land Use			
North:	R-1 Single-Family Residential	South:	R-1 Single-Family Residential
East:	R-1 Single-Family Residential	West:	R-1 Single-Family Residential

Site Characteristics	
Site Area	4,662 sq. ft.
Existing Use	Single-Family Residential
Terrain	Steeply sloping up to the east and Developed
Vegetation/Wildlife	Ornamental Landscaping
Archaeological Resources	N/A
Access	Kings Avenue

General Plan, Zoning Ordinance, & Local Coastal Plan Designations	
General Plan/Coastal Plan Land Use Designation	Low-Medium Density Residential
Base Zone District	R-1
Zoning Overlay District	n/a
Special Treatment Area	n/a
Combining District	n/a
Specific Plan Area	n/a
Coastal Zone	Located Outside of the Coastal Appeal Jurisdiction



Existing Site

Zoning Ordinance Standards			
	Standards	Existing	Proposed
Front Setback	20 feet	24'9"	20 feet
Interior Side Setback	5 feet	5'5"	5'5"
Exterior Side Setback	10 feet	11'1"	11'1"
Rear Setback	7'5"	16 feet	10 feet
Height	25 feet	12 feet	12 feet
Lot Coverage	Max. 45%	20.4%	35.2%
Parking	2 Car Garage	Zero (0)	1 Car Garage + 1

PROJECT ANALYSIS:

Background

County Assessor records indicate the existing single-family residence was originally built in 1954 and is located in a neighborhood consisting of one and two-story single-family residential development with a variety of architectural styles and sizes. The residential use is consistent with the General Plan designation of Low-Medium Density Residential and with the Single-Family Residential (R-1) Zoning District.

Assessor records indicate that there was a 200 square foot addition to the structure sometime before 1983. The applicant believes the addition was possibly the result of enclosure of a carport. City records on the property are minimal and do not reflect existence of a carport or the addition of 200 square feet.

Parking

Current requirements of the City of Morro Bay Zoning Ordinance (the “Zoning Ordinance”) pertaining to parking render the existing structure nonconforming. However, additions to nonconforming structures may be permitted with the approval of a Conditional Use Permit, subject to certain findings (Morro Bay Municipal Code Section (MBMC) 17.56.160). As per Section 17.44.020 of the Zoning Ordinance, single-family residential development requires a total of two covered and enclosed parking spaces. The existing residence provides none. The Applicant is proposing to construct a one-car garage and is applying for a parking exception to locate the second required space within the eastern exterior side-yard setback (MBMC section 17.44.050). Exceptions to the parking standards require the following findings to be made:

1. The exception will not constitute a grant of special privilege inconsistent with the driveway or parking limitations upon other properties in the vicinity and the reduced parking or alternative to the parking design standards of this chapter will be adequate to accommodate on the site all parking needs generated by the use.

Single-Family Residences are required to provide two parking spaces. If the parking exception is approved, then the project would meet that requirement. The parking space in the side-yard setback is adequate in size to accommodate a parked vehicle. Many dwellings in the City have nonconforming parking situations.

2. The exception will not adversely affect the health, safety, or general welfare of persons working or residing in the vicinity and that no traffic safety problems will result from the proposed modification of the parking standard.

Unenclosed parking will not result in traffic safety problems at this location because the parking area will be outside of the Public Right-of-Way; sight distance is adequate for vehicles maneuvering into and out of the driveway.

3. The exception is reasonably necessary for the applicant’s full enjoyment of uses similar to those upon the adjoining real property.

The Applicant’s parking proposal is reasonable given similar parking arrangements in the project vicinity and given the footprint and construction of the existing buildings on site.

PUBLIC NOTICE:

Notice of this item was published in the San Luis Obispo Tribune newspaper on Saturday, March 25, 2017, and all property owners and occupants of record within 500 feet of the subject site were notified of this evening's public hearing and invited to voice any concerns on this application.

ENVIRONMENTAL DETERMINATION:

Environmental review was performed for this project and staff determined it meets the requirements for a Categorical Exemption under CEQA Guidelines Section 15303 Class 3. The exemption applies to construction of a limited number of single-family residences located in a residential zone and the project will have no potentially significant environmental impacts. Additionally, none of the Categorical Exemption exceptions, noted under Section 15300.2, apply to the project.

CONCLUSION:

The project is consistent with the General Plan and Local Coastal Plan which establish five residential land use categories to provide for a wide range of densities and to ensure residential land is developed to a density suitable to its location and physical characteristics. The project is consistent with the Zoning Ordinance because housing is a principally allowed use in the Moderate Density land use designation and because the Zoning Ordinance allows exceptions to the parking standards (MBMC Section 17.44.050) and additions to nonconforming structures upon approval of a conditional use permit (MBMC section 17.56.160).

RECOMMENDATION:

Staff recommends the Planning Commission approve the requested Conditional Use Permit #UPO-469 and Parking Exception #AD0-110 for the proposed addition to a nonconforming structure for the project at 484 Kings Avenue, as shown on plans date Stamped Received February 2, 2017, by adopting Planning Commission **Resolution 12-17** which includes the Findings and Conditions of Approval for the project.

EXHIBITS:

- Exhibit A – Planning Commission Resolution 12-17
- Exhibit B – Plan Reductions
- Exhibit C - Photosimulations
- Exhibit D – Color and Materials

RESOLUTION NO. PC 12-17

A RESOLUTION OF THE MORRO BAY PLANNING COMMISSION APPROVING CONDITIONAL USE PERMIT (UP0-469) TO ALLOW AN ADDITION EXCEEDING 25% OF THE EXISTING FLOOR AREA TO A NONCONFORMING RESIDENTIAL STRUCTURE AND APPROVING A PARKING EXCEPTION (ADO-110) TO ALLOW A PARKING SPACE IN THE EASTERN SIDE-YARD TO PROVIDE THE SECOND REQUIRED PARKING SPACE AT 484 KINGS AVENUE

WHEREAS, the Planning Commission of the City of Morro Bay (the “City”) conducted a public hearing at the Morro Bay Veteran’s Hall, 209 Surf Street, Morro Bay, California, on April 4, 2017, for the purpose of considering Conditional Use Permit UPO-469 and Parking Exception ADO-110 for a proposed addition to a nonconforming single-family residence at 484 Kings Avenue; and

WHEREAS, notice of the public hearing was provided at the time and in the manner required by law; and

WHEREAS, the Planning Commission has duly considered all evidence, including the testimony of the applicant, interested parties, and the evaluation and recommendations by staff, presented at said hearing.

NOW, THEREFORE, BE IT RESOLVED by the Planning Commission of the City of Morro Bay as follows:

Section 1: Findings. Based upon all the evidence, the Commission makes the following findings:

California Environmental Quality Act (CEQA) Finding

1. Pursuant to the California Environmental Quality Act, the project is categorically exempt under Section 15303, Class 3 for the construction of a limited number of new structures and will have no potentially significant environmental impacts. Additionally, none of the Categorical Exemption exceptions, noted under Section 15300.2, apply to the project

Conditional Use Permit Findings

1. The project is consistent with the General Plan and Local Coastal Plan which establish five residential land use categories to provide for a wide range of densities and to ensure that residential land is developed to a density suitable to its location and physical characteristics.
2. The proposed additions are in conformance with all applicable provisions of the Morro Bay City Zoning Ordinance (the “Zoning Ordinance”), including building height, setbacks, and lot coverage.
3. The project meets applicable Title 14 (Building and Construction Code) requirements for a conforming use since the applicant is required to submit a

- complete building permit application and obtain the required building permit prior to construction.
4. The project is suitable for conforming uses and will not impair the character of the zone in which it exists because it proposes additions to a single-family dwelling, which is an allowed use in the R-1 zone and the surrounding neighborhood is developed with one- and two-story residential development.
 5. It is not feasible to make the structure conforming without major reconstruction of the existing structure. Major reconstruction would be necessary to meet required parking to accommodate a two-car garage.

Parking Exception Findings

1. The exceptions will not constitute a grant of special privilege inconsistent with the driveway or parking limitations upon other properties in the vicinity and the reduced parking or alternative design to the parking design standards of this chapter will be adequate to accommodate on the site all parking needs generated by the use. With approval of the exception, two required parking places will be provided on site consistent with the Zoning Ordinance requirements.
2. The exception to allow parking in the eastern side-yard will not adversely affect the health, safety or general welfare of persons working or residing in the vicinity and no traffic safety problems will result from the proposed modification of the parking standard because the parking area will not conflict with existing traffic patterns in the right-of-way and driveway construction will be subject to Building Code requirements and the City's Engineering standards.
3. The exception is reasonably necessary for the applicant's full enjoyment of uses similar to those upon the adjoining real property, given the footprint and construction of the existing building on site.

Section 2. Action. The Planning Commission does hereby approve Conditional Use Permit UPO-465 and Parking Exception ADO-110 for property located at 484 Kings Avenue subject to the following conditions:

STANDARD CONDITIONS

1. This permit is granted for the land described in the staff report dated April 4, 2017 for the project at 484 Kings Ave. depicted on plans date stamped February 2, 2017 on file with the Community Development Department, as modified by these conditions of approval, and more specifically described as follows: Site development, including all buildings and other features, shall be located and designed substantially as shown on plans, unless otherwise specified herein.
2. Inaugurate Within Two Years: Unless the construction or operation of the structure, facility, or use is commenced not later than two (2) years after the

effective date of this Resolution and is diligently pursued, thereafter, this approval will automatically become null and void; provided, however, that upon the written request of the applicant, prior to the expiration of this approval, the applicant may request up to two extensions for not more than one (1) additional year each. Any extension may be granted by the City's Community Development Manager (the "Director"), upon finding the project complies with all applicable provisions of the Morro Bay Municipal Code (the "MBMC"), General Plan and certified Local Coastal Program Land Use Plan (LCP) in effect at the time of the extension request.

3. Changes: Minor changes to the project description and/or conditions of approval shall be subject to review and approval by the Community Development Director. Any changes to this approved permit determined, by the Director, not to be minor shall require the filing of an application for a permit amendment subject to Planning Commission review.
4. Compliance with the Law: (a) All requirements of any law, ordinance or regulation of the State of California, the City, and any other governmental entity shall be complied with in the exercise of this approval, (b) This project shall meet all applicable requirements under the MBMC, and shall be consistent with all programs and policies contained in the LCP and General Plan for the City.
5. Hold Harmless: The applicant, as a condition of approval, hereby agrees to defend, indemnify, and hold harmless the City, its agents, officers, and employees, from any claim, action, or proceeding against the City as a result of the action or inaction by the City, or from any claim to attack, set aside, void, or annul this approval by the City of the applicant's project; or applicants failure to comply with conditions of approval. Applicant understands and acknowledges the City is under no obligation to defend any legal actions challenging the City's actions with respect to the project. This condition and agreement shall be binding on all successors and assigns.
6. Compliance with Conditions: The applicant's establishment of the use or development of the subject property constitutes acknowledgement and acceptance of all Conditions of Approval. Compliance with and execution of all conditions listed hereon shall be required prior to obtaining final building inspection clearance. Deviation from this requirement shall be permitted only by written consent of the Director or as authorized by the Planning Commission. Failure to comply with any of these conditions shall render this entitlement, at the discretion of the Director, null and void. Continuation of the use without a valid entitlement will constitute a violation of the MBMC and is a misdemeanor.
7. Compliance with Morro Bay Standards: This project shall meet all applicable requirements under the MBMC, and shall be consistent with all programs and policies contained in the LCP and General Plan of the City.

PLANNING CONDITIONS

1. Archaeology: In the event of the unforeseen encounter of subsurface materials suspected to be of an archaeological or paleontological nature, all grading or excavation shall immediately cease in the immediate area, and the find should be left untouched until a qualified professional archaeologist or paleontologist, whichever is appropriate, is contacted and called in to evaluate and make recommendations as to disposition, mitigation and/or salvage. The developer shall be liable for costs associated with the professional investigation.
2. Construction Hours: Pursuant to MBMC subsection 9.28.030.I, Construction or Repairing of Buildings, the erection (including excavating), demolition, alteration or repair of any building or general land grading and contour activity using equipment in such a manner as to be plainly audible at a distance of fifty feet from the building other than between the hours of seven a.m. and seven p.m. on weekdays and eight a.m. and seven p.m. on weekends except in case of urgent necessity in the interest of public health and safety, and then only with a permit from the Public Services Department, which permit may be granted for a period not to exceed three days or less while the emergency continues and which permit may be renewed for a period of three days or less while the emergency continues.
3. Dust Control: That prior to issuance of a grading permit, a method of control to prevent dust and wind blow earth problems shall be submitted for review and approval by the Building Official.
4. Conditions of Approval: Prior to the issuance of a Building Permit, the final Conditions of Approval shall be attached to the set of approved plans. The sheet containing Conditions of Approval shall be the same size as other plan sheets and shall be the last sheet in the set of Building Plans.
5. A licensed surveyor shall verify setback compliance along both the east and south property lines for all new construction. Setbacks to be verified prior to foundation inspection.

BUILDING CONDITIONS

1. Building Permit: Prior to construction, the applicant shall submit a complete Building Permit Application and obtain the required Permit.
2. Building Code: Upon Building Permit application submittal, plans shall be submitted in accordance with the requirements set forth in the 2016 California Building Code.

FIRE CONDITIONS

1. Automatic fire sprinklers. An automatic fire sprinkler system, in accordance with NFPA 13-D, California Fire Code (Section 903), California Residential Code (Section R313), and Morro Bay Municipal Code (Section 14.08.090(L)(4)(a)) is required.

Applicant shall submit plans for an automatic fire sprinkler system, in accordance with NFPA 13-D, to Morro Bay Community Development Department for review.

2. Carbon monoxide alarms in new dwellings and sleeping units. An approved carbon monoxide alarm shall be installed in dwellings having a fossil fuel-burning heater or appliance, fireplace or an attached garage. Carbon monoxide alarms shall be listed as complying with UL 2034 and be installed and maintained in accordance with NFPA 720 and the manufacturer's instructions. (CRC R315.2)

Applicant shall provide Carbon Monoxide detection in accordance with CRC R315.2.

3. Fire Safety During Construction and Demolition shall be in accordance with 2016 California Fire Code, Chapter 33. This chapter prescribes minimum safeguards for construction, alteration and demolition operations to provide reasonable safety to life and property from fire during such operations

Applicant shall include above language on Building Plan submittal.

4. Please revise General Notes to 2016 California Code Sets, was effective 1/1/17.

PUBLIC WORKS CONDITIONS

1. Stormwater Management: The City has adopted Low Impact Development (LID) and Post Construction requirements to protect water quality and control runoff flow from new and redevelopment projects. The requirements can be found in the Stormwater management guidance manual on the City's website www.morro-bay.ca.us/EZmanual. Projects with more than 2,500sf of new or redeveloped impervious area are subject to these requirements. Complete and submit the "SFR Performance Requirement Determination Form".
2. Frontage Improvements: King Street is major collector street. The installation of frontage improvements is required. Show the installation of a City standard driveway approach B-6, sidewalk, curb and street tree. If permeable pavers are to be used, a modified driveway approach with a 12" wide PCC grade beam should be constructed to stabilize the front edge of the pavers. An encroachment permit is required for any work within the Right of Way.
3. Sewer Lateral: If an existing lateral is used, perform a video inspection of the lateral and submit to Public Works via flash drive or DVD, prior to building plan approval and building permit issuance. Lateral shall be repaired as necessary and all repairs shall be noted on approved set of plans. Add location of sewer lateral on site plan.

4. Sewer Backwater Valve: A sewer backwater valve shall be installed on site to prevent a blockage or maintenance of the municipal sewer main from causing damage to the proposed project (MBMC 14.24.070). Indicate and label on plan.
5. Erosion and Sediment Control Plan: For small projects less than one acre and less than 15% slope, provide a standard erosion and sediment control plan. The Plan shall show control measures to provide protection against erosion of adjacent property and prevent sediment or debris from entering the City right of way, adjacent properties, any harbor, waterway, or ecologically sensitive area.
6. Encroachment Permits: A standard encroachment permit shall be required for any work within the City right-of-way. The driveway shall comply with B-9 (Driveway Ramps: Size & Location). A sewer encroachment permit shall be required for any repairs or installation of a sewer lateral. When utility connections require pavement cuts a traffic control plan indicating appropriate signing, marking, barricades and flaggers must be submitted with the Encroachment Permit application.

Add the following Notes to the Plans:

1. Any damage, as a result of construction operations for this project, to City facilities, i.e. curb/berm, street, sewer line, water line, or any public improvements shall be repaired at no cost to the City of Morro Bay.
2. No work shall occur within (or use of) the City's Right of Way without an encroachment permit. Encroachment permits are available at the City of Morro Bay Public Works Office located at 955 Shasta Ave. The Encroachment permit shall be issued concurrently with the building permit.

PASSED AND ADOPTED by the Morro Bay Planning Commission at a regular meeting thereof held on this 4th day of April, 2017 on the following vote:

AYES:

NOES:

ABSENT:

ABSTAIN:

EXHIBIT A

Planning Commission Resolution #12-17

UP0-469 and AD0-110

484 Kings Ave.

Page 7

Robert Tefft, Chairperson

ATTEST

Scot Graham, Planning Secretary

The foregoing resolution was passed and adopted this 4th day of April, 2017.

Grover Residential Addition & Remodel 484 Kings Avenue Morro Bay, CA 93442-2617

RECEIVED

FEB 02 2017

City of Morro Bay
Community Development Dept.

PROJECT STATISTICS

ADDRESS: Jeff & Leticia Griver
484 Kings Avenue
Morro Bay, CA 93442

APN: 066-205-009

LEGAL DESCRIPT: Lot 10 p1 Block 4 of Morro Bay Vista Tract No. 3 as shown on Map filed in Book 3 at Page 58, in the City of Morro Bay, County of San Luis Obispo, State of California

BUILT: 1954

ZONING DISTRICT: R-1, Single Family Residential

ZONING OVERLAY: NONE

CONSTR. TYPE: Type V

SITE AREA: 4662 Square Feet

LOT COVERAGE: 45% x 4662 = 2097.9 sqft allowed

ACTL COVERAGE: 1622.50 / 4662 = 35.2% proposed

(E) FLOOR AREA: (E) Residence: 750.00 sqft
(E) Converted Carport: 200.00 sqft
Total (E) Footprint: 950.00 sqft

DEMOLISHED: (E) Converted Carport: -200.00 sqft

PROPOSED: (E) Residence: 750.00 sqft
Footprint Addition: 510.61 sqft
Footprint Garage: 301.48 sqft
Footprint Deck: 80.45 sqft
Total (N) Footprint: 1642.54 sqft

AREA SUMMARY: (E) Residence: 750.00 sqft
Total New Constr.: 892.54 sqft
Total (N) Footprint: 1642.54 sqft

PARKING: Existing Provided: 2 on site/driveway
Future addition: 1 car garage
Total Proposed: 3 on site parking

IMPERMEABLE & PERMEABLE SURFACES: Requirements are EXEMPT

MAX. BLDG HT: 13'-10.42" Above average natural grade



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Grover Residential
Addition & Remodel
484 Kings Street
Morro Bay, CA 93442-2617

Existing & Proposed
Exterior Elevations

Prepared: 01/23/17 By: MW
Print Date: 01/23/17
Revisions:



T-1

GENERAL NOTES

- All work performed shall comply with all state & local codes & ordinances that apply. Plans & construction shall be in accordance with the following:
 - 2013 California Building Code (based on the 2012 IBC)
 - 2013 California Residential Code (based on the 2012 IRC)
 - 2013 California Mechanical Code (based on the 2012 UMC)
 - 2013 California Electrical Code (based on the 2011 NEC)
 - 2013 California Plumbing Code (based on the 2012 UPC)
 - 2013 California Energy Code
 - 2013 California Fire Code (based on the 2012 IFC)
 - 2013 California Green Building Standards Code
- The general contractor and his subcontractors shall verify all conditions, dimensions, etc. at the site & shall report any discrepancies to the architect in writing prior to construction. Commencement of work implies the acceptance of all conditions. Contractor shall also coordinate the work with the work of all other trades.
- The general contractor shall provide all protective measures for the safety of the public & workers during the course of the work.
- The general contractor shall assume all responsibility for the execution of his work & for any changes &/or deviations from the drawings & specifications made without prior written approval from the owner. The cost of corrections resulting from changes &/or deviations shall be borne by the general contractor.
- Design alterations made without the architect's knowledge during the course of construction are done at the owner's &/or contractor's risk. The architect shall not be held responsible for the consequences of such changes.
- A complete set of contract documents must be kept at the job site at all times & any changes must be noted thereon & initialed.
- Patch, repair, or replace all work damaged by new construction. The general contractor shall do all wall & floor patching to conform to material, texture & surface alignment with the adjoining surface.
- Provide protection around areas where new work &/or demolition is to be performed in order to prevent dust & dirt from entering active portions of the building.
- Do not scale drawings for any reason. Report any dimensional discrepancies to the architect before continuing work.
- Contractor is required to use the listed product distributors shown in any schedule, unless otherwise noted.
- General contractor shall be responsible for all demolition as required for completion of the project. Remove all demolished material not designated for reuse from the premises.
- Replace, or relocate all existing piping, conduit, wiring, etc. required for the completion of the new work.

GENERAL NOTES continued

- The architect has no knowledge of hazardous materials on this project. The architect cannot be held liable for any such material asbestos, lead paint or other similar product that may be uncovered on this project. If such material is encountered or suspected the owner shall be responsible for making arrangements for the safe & legal removal of such material as required.
- The architect has no control or responsibility for the means, techniques, sequence, or procedures of construction or safety programs for this project. Such programs & compliance with all laws, rules, regulations, codes or ordinances shall be the responsibility of others.
- The sub-contractors shall apply for and pay for all permits required for this project.
- The general contractor shall apply for and pay for all permits required for this project.

PROJECT DIRECTORY

Owner: Jeff & Leticia Grover
484 Kings Street Morro Bay, CA 93442
Ph: (805) 471-9435 - Jeff
Ph: (805) 547-1740 - Leticia

Architect: one/ARCH, Mary White
PO Box 14233, San Luis Obispo, CA 93406
Ph: (805) 762-4688

Surveyor: MBS Land Surveys, Michael B. Staton, PLS
3563 Sueldo St. Unit Q, San Luis Obispo, CA 93401
Ph: (805) 594-1960

Structural: Shawn Pierce Engineering, Shawn Pierce
P.O. Box 398, Arroyo Grande, CA 93421
Ph: (805) 801-9385

Energy: In Balance Green Consulting, Andy Pease & Jennifer Rennick
1015 Nipomo Street, Suite 200, San Luis Obispo, CA 93401
Ph: (805) 235-6355 - Grant Murphy

SYMBOLS LEGEND

- 1 reference note
- ⊕ Duplex convenience outlet @ 12" aff, unless Otherwise noted
- ⊕ 42" Duplex convenience outlet @ indicated ht, aff
- ⊕ GFI Ground fault interrupter duplex convenience outlet
- ⊕ WP Weatherproof duplex convenience outlet
- ⊕ 1/2 Duplex convenience outlet 1/2 switched
- ~ Wall electrical switch
- ~ 3-way wall switch
- ⊙ Ceiling hung light fixture
- ⊙ Wall mounted light fixture

PROJECT SCOPE OF WORK

- PHASE 1
- Demolish/deconstruct existing converted Carport (current M Bdrm Closet & Leti's Office).*
 - Add one car Garage in new location.**
 - Add Master Bedroom, Master Bath & Closet at rear of house.**
 - Add room (Jeff's office) at west side of house.**
 - Convert (E) room (Jeff's current office) into a Hall & Laundry Closet.**
 - Remove (E) Laundry Closet.*
 - Remove (E) doors & windows per Demolition Floor Plan Sht A-1.
 - Add (N) doors & windows in (E) residence per Proposed Floor Plan Sht A-2.
 - Remove (E) hardscape per Demolition Site Plan see Sht C-2.
 - Add (N) Deck.***
- PHASE 2
- Renovate existing Bathroom w/(N) bathroom fixtures.
 - Renovate existing Kitchen w/(N) cabinets, counters & fixtures.
- *See Demolition Floor Plan Sht A-1.
**See Proposed Floor Plan Sht A-2.
***See Proposed Site Plan Sht C-3.

ABBREVIATION LEGEND

- aff Above finish floor
- conc Concrete
- DN Down
- (E) Existing
- FF Finish Floor
- FG Finsh Grade
- ht Height
- MEP Mechanical, Electrical & Plumbing
- min Minimum
- NG Natural Grade
- (N) New
- TC Top of Curb
- TP Top Plate
- TS Top of Slab

SHEET INDEX

- T-1 TITLE SHEET
- C-1 SITE PLAN - EXISTING
- C-2 SITE PLAN - DEMOLITION
- C-3 SITE PLAN - PROPOSED
- A-1 EXISTING & DEMOLITION FLOOR PLAN
- A-2 PROPOSED ADDITION & RENOVATION FLOOR PLAN
- A-3 EXISTING EXTERIOR ELEVATIONS
- A-4 PROPOSED EXTERIOR ELEVATIONS
- L-1 EXISTING LANDSCAPE PLAN
- L-2 CONCEPTUAL LANDSCAPE PLAN

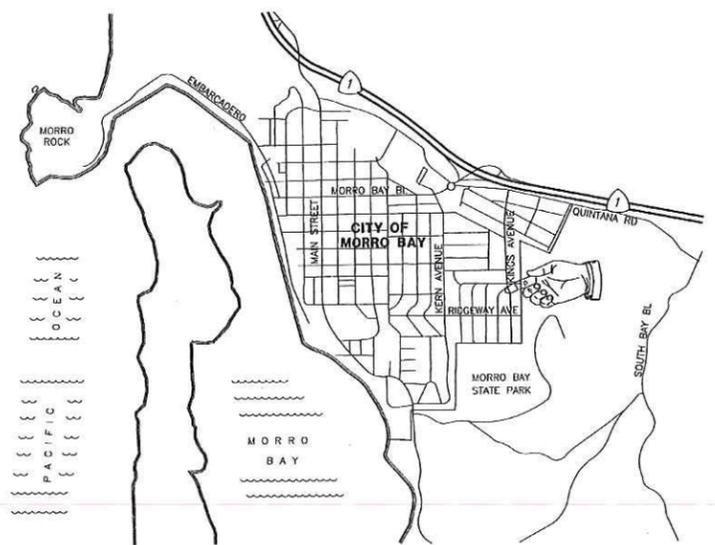
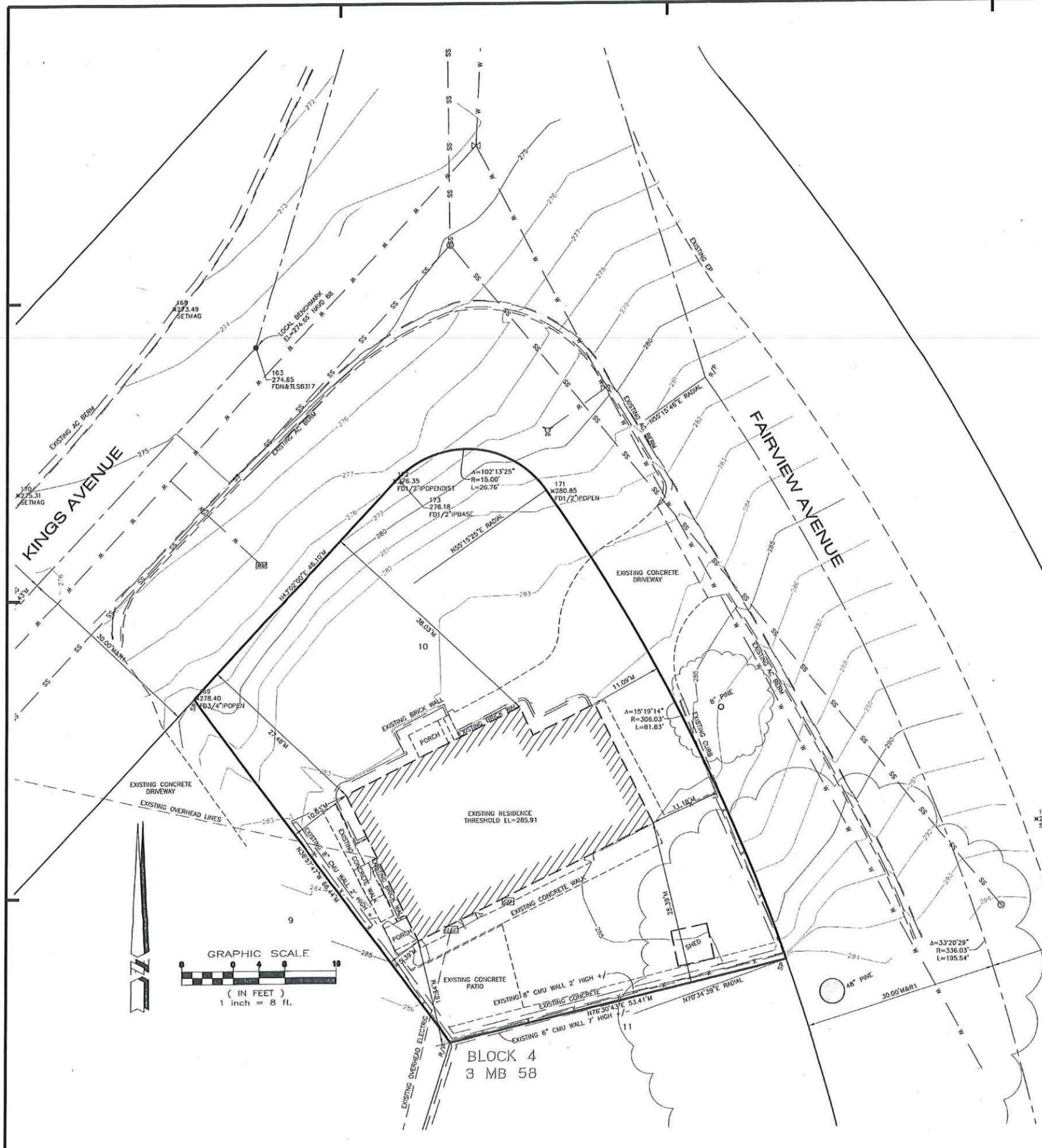


VICINITY MAP - NTS

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VICINITY MAP
NOT TO SCALE

ABBREVIATIONS table listing symbols for various construction and utility elements such as AC (Asphalt Concrete), BM (Bench Mark), BLDG (Building), etc.

SURVEYOR'S STATEMENT:

THIS MAP REPRESENTS A FIELD SURVEY OF SURFACE FEATURES AND ELEVATIONS PERFORMED ON JANUARY 15, 2014.

Signature and date: MICHAEL B. STANTON, PLS 5702 DATE 1-16-2014



SURVEYOR'S NOTES:

- 1. NO TITLE SEARCH (TITLE REPORT) WAS PROVIDED TO THE SURVEYOR. EASEMENTS WHICH MAY AFFECT THE SUBJECT PROPERTY HAVE NOT BEEN PLOTTED.
2. ONLY THE SURFACE EVIDENCE OF UNDERGROUND UTILITIES HAS BEEN MEASURED IN THE FIELD ON THIS SURVEY...
3. IT WILL BE THE ARCHITECT'S RESPONSIBILITY TO VERIFY SETBACK AND HEIGHT RESTRICTIONS WITH THE LOCAL GOVERNING AGENCY.
4. THE SIGNED AND SEALED ORIGINAL DRAWING OF THIS MAP CONSTITUTES THE FINAL WORK PRODUCT...
5. THE BOUNDARY LINES SHOWN HEREON WERE COMPILED FROM RECORD INFORMATION (I.E. RECORDED MAPS OR DEEDS) AND ARE NOT INTENDED TO REPRESENT THE TRUE OR ACTUAL BOUNDARY LINES...

SYMBOL LEGEND: Table mapping symbols to features like retaining walls, fences, sewer mains, gas mains, etc.

BENCHMARK: THE BENCHMARK FOR THIS PROJECT IS A FOUND NGS BENCH MARK FV1099, BEING A STANDARD BRASS DISK STAMPED '83 1314 1977' SET IN TOP AND 5 FOOT EAST OF THE WEST END OF THE NORTHERLY CONCRETE CURB FOR THE MORRO BAY BOULEVARD OVERPASS OVER STATE HIGHWAY 1, 23 FEET NORTH OF THE CENTERLINE OF BOULEVARD. ELEVATION=145.26' NAVD 88

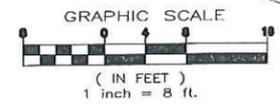
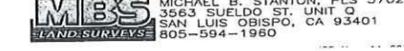
BASIS OF BEARINGS: THE BASIS OF BEARINGS FOR THIS PROJECT IS BASED ON FOUND MONUMENTS ALONG THE CENTERLINE OF KINGS AVENUE BEARING N 43° 02' 00" E.

SITE DATA: ADDRESS: 484 KINGS AVENUE, MORRO BAY. ASSASSOR'S PARCEL NO. APN 066-205-009

TOPOGRAPHIC MAP

LOT 10 OF BLOCK 4 OF MORRO BAY VISTA TRACT NO. 3 AS SHOWN ON MAP FILED IN BOOK 3 AT PAGE 58, IN THE CITY OF MORRO BAY, COUNTY OF SAN LUIS OBISPO, CALIFORNIA

AT THE REQUEST OF JEFF GROVER JANUARY 2014 SCALE: 1"=8'



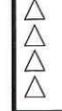
SITE PLAN - EXISTING

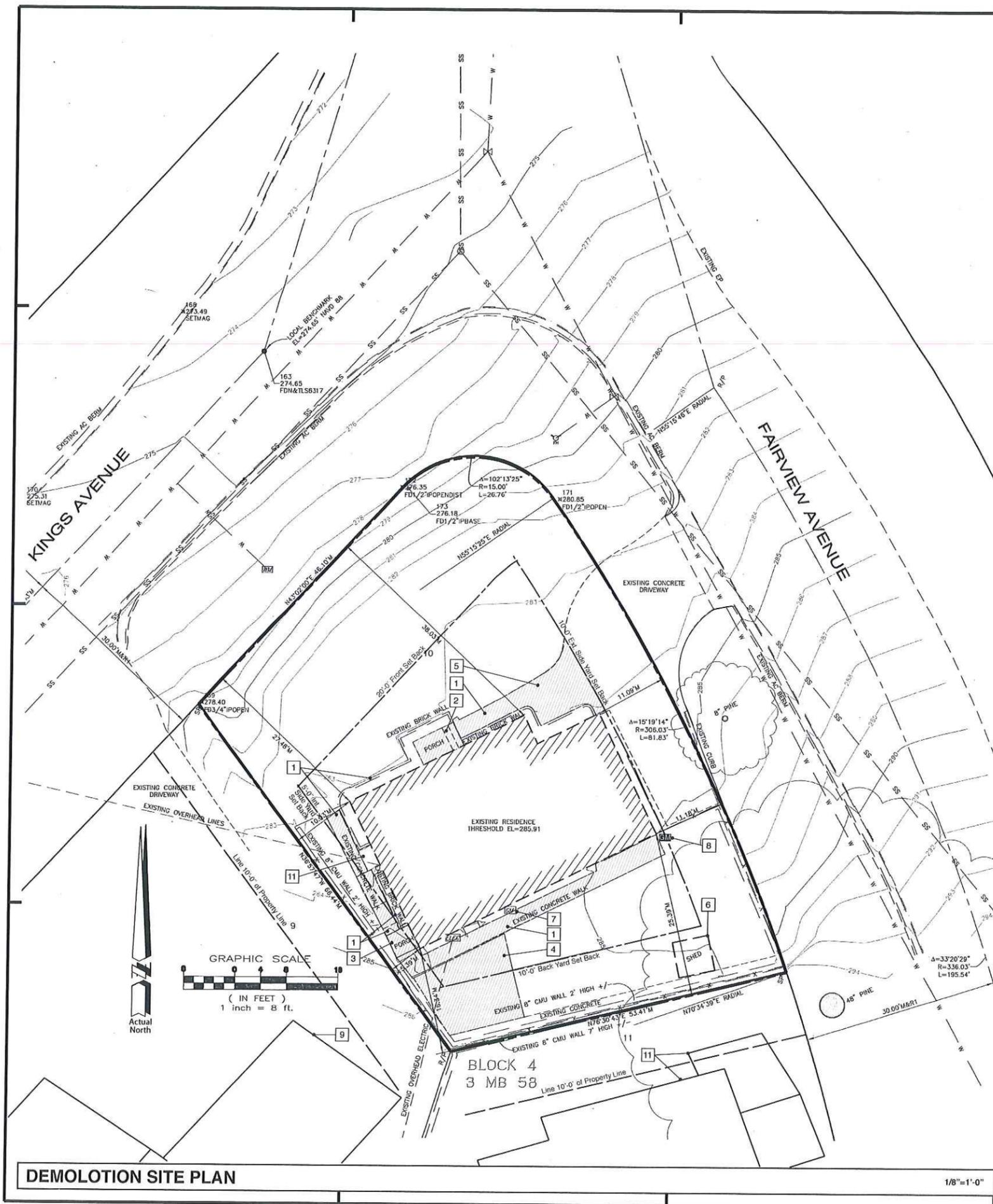
SCALE: SEE ABOVE

Grover Residential Addition & Remodel 484 Kings Street Morro Bay, CA 93442-2617

Site Plan - Existing

Prepared 01/23/17 By MW Print Date 01/23/17





REFERENCE NOTES 1

1. Remove (E) concrete walkway & brick planter
2. Remove (E) concrete entry steps & stoop
3. Remove (E) concrete stoop
4. Remove (E) concrete patio slab
5. Remove (E) portion of driveway paving per demolition site plan see Sht C-2.
6. Remove (E) storage unit
7. Remove & relocate (E) Gas Meter
8. (N) Location for (E) relocated Gas Meter
9. (E) Roof of carport
10. (E) Roof overhang
11. (E) Underfloor access to remain

IMPERMEABLE SURFACE STATUS

Total site area:
 Total building footprint:
 (E) Impermeable parking paving:
 (E) Impermeable walkway:
 Total (E) Impermeable surfaces:
 (E) Permeable surfaces:

LEGEND

(E) SITE FEATURES TO BE REMOVED



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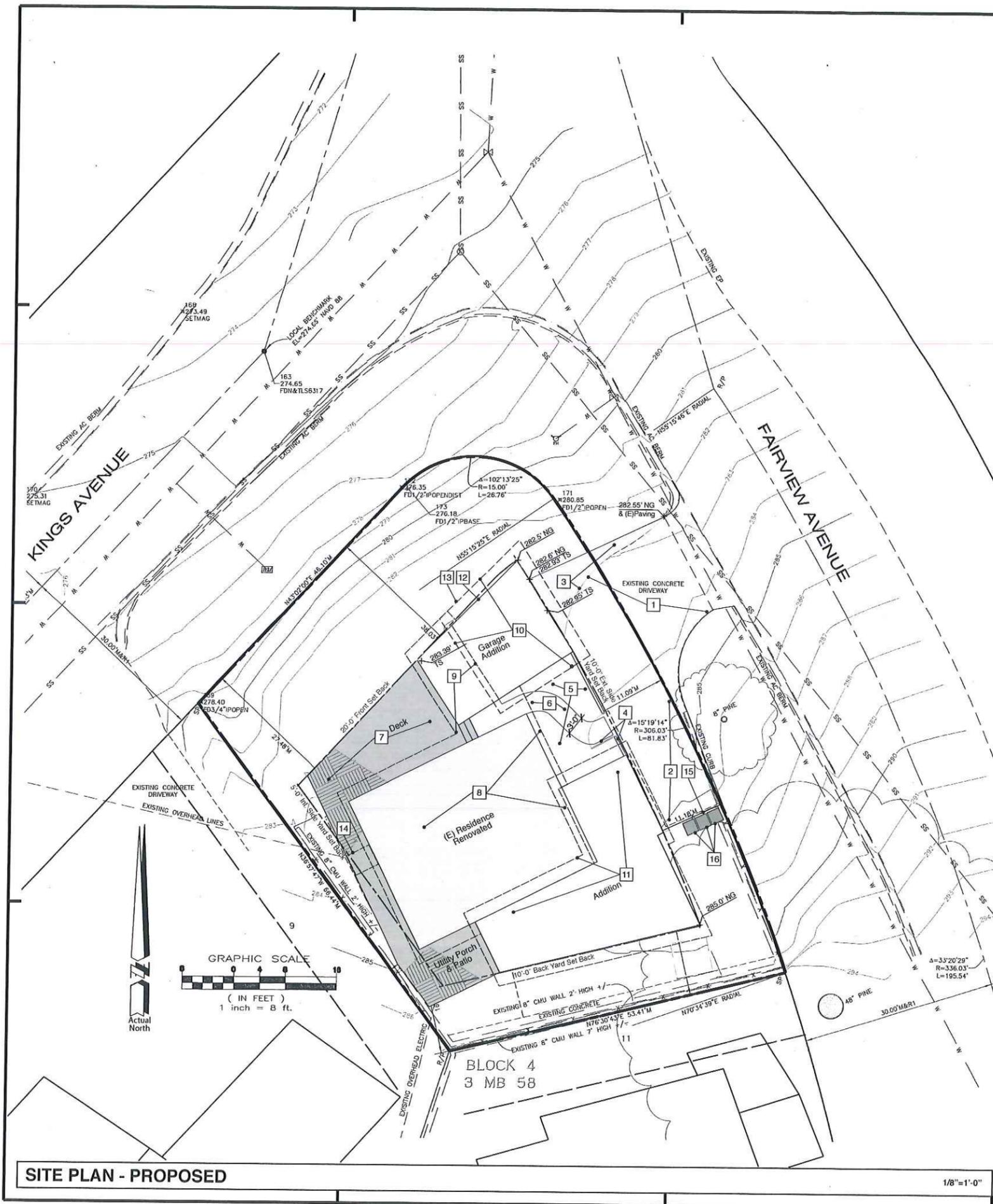
Grover Residential
 Addition & Remodel
 484 Kings Street
 Morro Bay, CA 93442-2617

Demolition Site Plan

Prepared 01/23/17 By: MW
 Print Date 01/23/17
 Revisions:

- ▲
- ▲
- ▲
- ▲

C-2



REFERENCE NOTES 1

1. (E) Conc. paving to remain
2. (E) Conc. paved off street parking space to remain
3. (N) Conc. driveway paving to be flush with (E)
4. (N) Garden wall & gate, see Ext. Elev. Sht. A-4
5. (N) Garden area, see Proposed Landscape Plan Sht L-2
6. (N) Permeable paving, material to be selected by owner
7. (N) Deck wood or composite material, layout to be selected by owner
8. (E) Roof
9. (N) Roof integral with (E) roof
10. (N) Roof of Garage addition
11. (N) Roof of Addition
12. Line of wall below, typical
13. Line of roof edge, typical
14. Removeable deck panel to access (E) under floor access
15. (E) Fence & (E) gate to remain
16. Location of (E) trash, recycle & green waste cans to remain behind (E) fence & gate to backyard

GENERAL NOTES

1. Project average natural grade is 284.0'
2. (E) & (N) concrete driveway & (E) concrete parking space to be resurfaced by owner

AVERAGE GRADE CALCULATIONS

Project site grade upper slope:	285.0'
Project site grade lower slope:	+282.5'
	567.5'
	/2
Project average site grade:	283.75'



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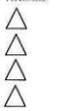
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Grover Residential
Addition & Remodel
484 Kings Street
Morro Bay, CA 93442-2617

Site Plan - Proposed

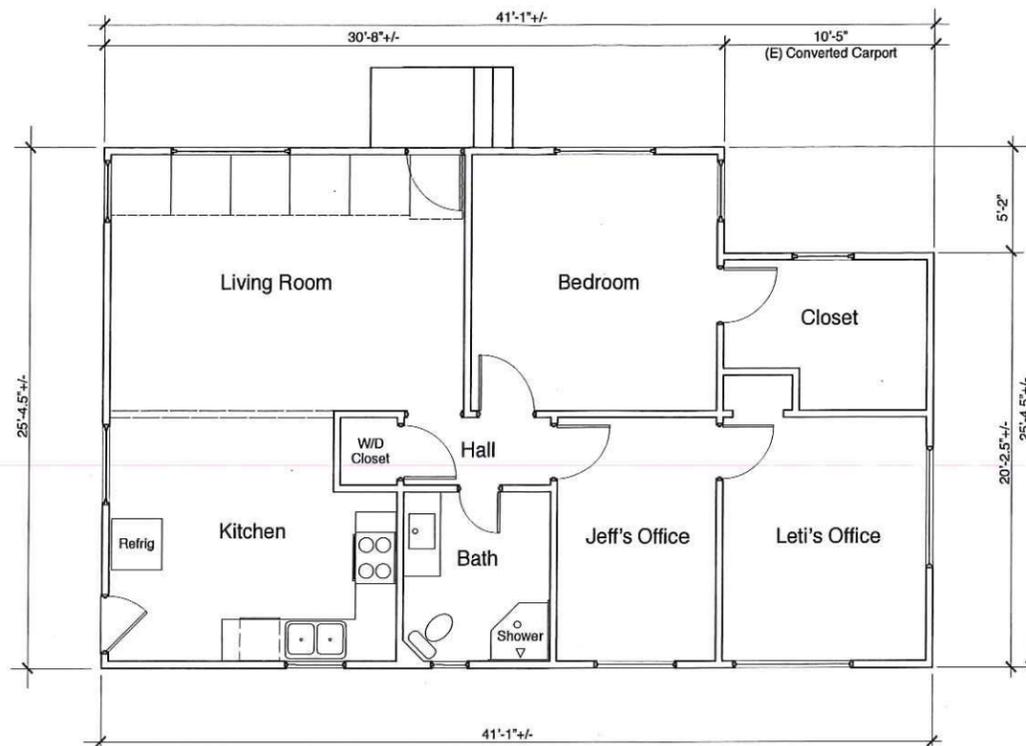
Prepared: 01/23/17 By: MW
Print Date: 01/23/17
Revises:



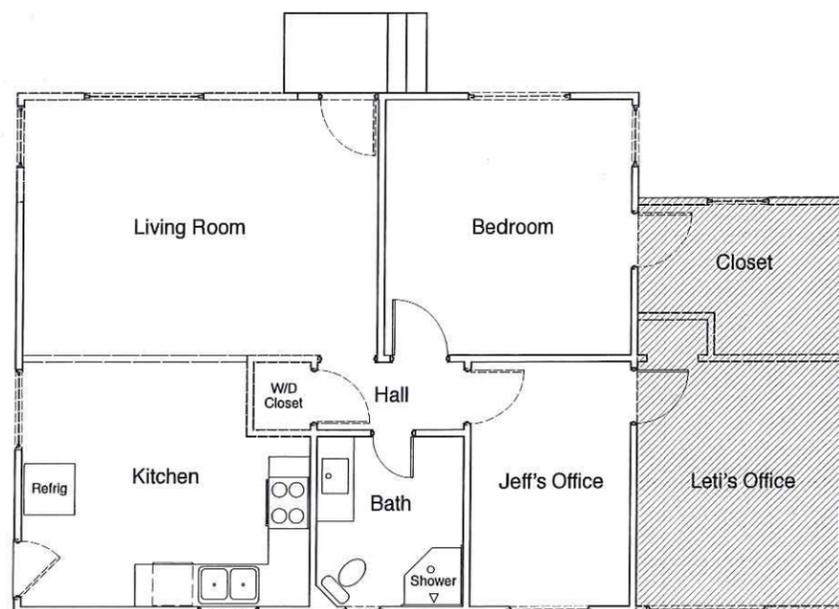
C-3

SITE PLAN - PROPOSED

1/8"=1'-0"



PROJECT NORTH
EXISTING FLOOR PLAN 1/4" = 1'-0"



PROJECT NORTH
DEMOLITION FLOOR PLAN 1/4" = 1'-0"

LEGEND

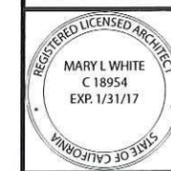
	(E) 2x STUD WALL TO REMAIN
	(E) 2x STUD WALL TO BE REMOVED
	(E) WINDOW (OR DOOR) TO REMAIN
	(E) WINDOW (OR DOOR) TO BE REMOVED
	(E) BEAM ABOVE
	(E) RESIDENCE / AREA TO BE REMOVED

MW/ARCH

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Grover Residential Addition & Remodel
 484 Kings Street
 Morro Bay, CA 93442-2617

Existing & Demolition Floor Plan

Prepared: 01/23/17 By: MW
 Pld Date: 01/23/17
 Revisions:

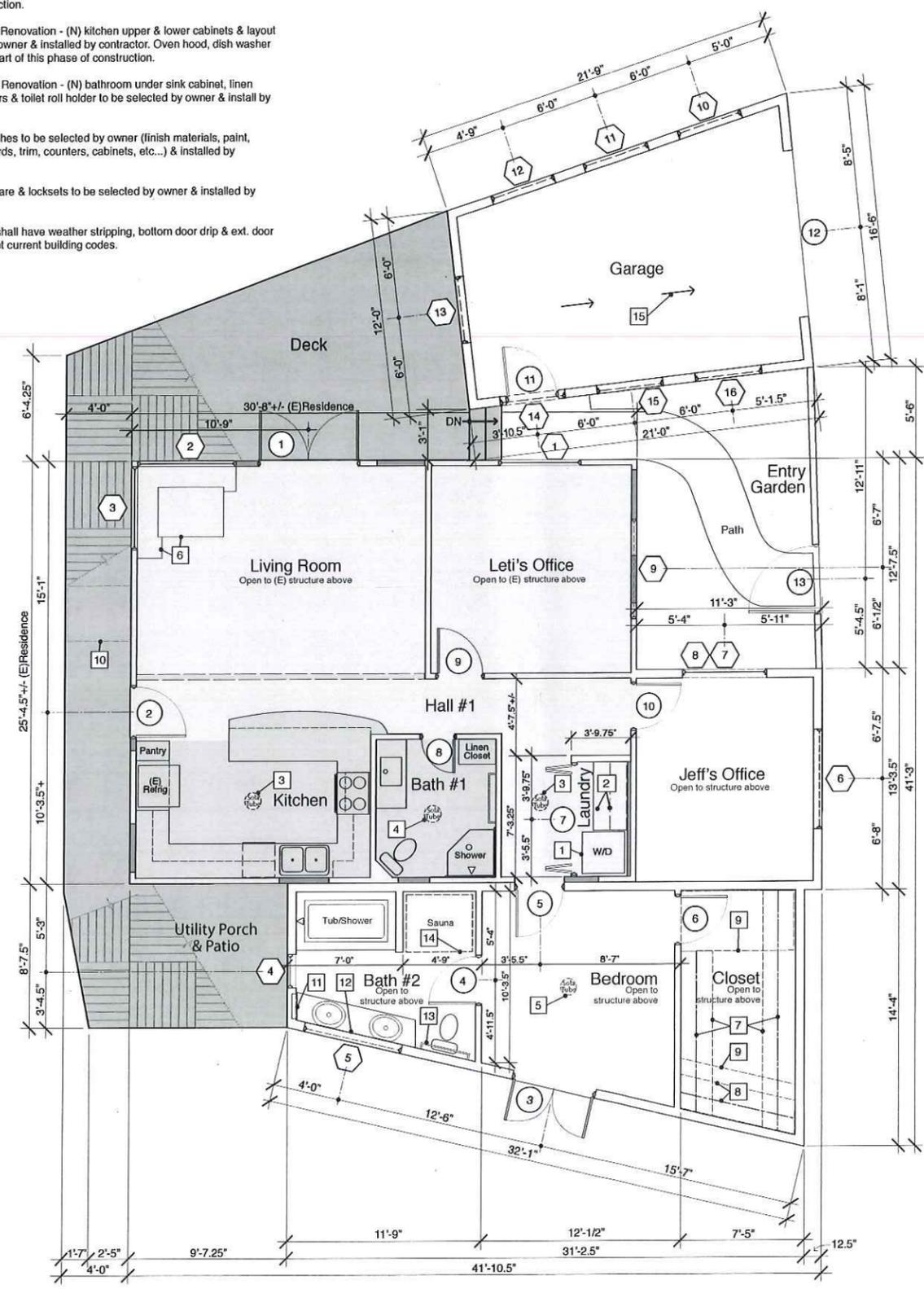
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REFERENCE NOTES 1

- Relocated (E) stackable washer/dryer
- (N) Lower & upper cabinets manufactured, model & finish to be selected by owner
- (N) Sola-tube
- (N) Sola-tube with ventilation add on
- (N) Sola-tube with daylight dimmer add on
- (N) Custom designed corner table and bench, to be selected by owner
- (N) Double decker poles at 4'-0" & 7'-0" w/ 2' deep shelf above, unless otherwise directed by owner
- (N) Single pole at 5'-0" w/ 2' shelf above, unless otherwise directed by owner
- (N) Long term storage platform at 8'-0", unless otherwise directed by owner
- (N) Underfloor deck hatch access, see Proposed Site Plan Sht C-3
- (N) Recessed mirrored medicine cabinet
- (N) Wall mounted mirror full length of lav. counter
- (N) Towel bar
- (N) Custom sauna, to be selected by owner & install by contractor
- 1/4" per foot concrete slab slope toward Garage door, typical

GENERAL NOTES

- All (N) plumbing fixtures manufacturer & model to be selected by owner, to meet current water efficiency standards & installed by contractor for all phases of construction.
- PHASE 2 Kitchen Renovation - (N) kitchen upper & lower cabinets & layout to be selected by owner & installed by contractor. Oven hood, dish washer & refrigerator not part of this phase of construction.
- PHASE 2 Bath #1 Renovation - (N) bathroom under sink cabinet, linen cabinets, towel bars & toilet roll holder to be selected by owner & install by contractor.
- All (N) interior finishes to be selected by owner (finish materials, paint, flooring, base boards, trim, counters, cabinets, etc...) & installed by contractor.
- All (N) door hardware & locksets to be selected by owner & installed by contractor.
- All exterior doors shall have weather stripping, bottom door drip & ext. door threshold that meet current building codes.



PROPOSED FLOOR PLAN

1/4" = 1'-0"

DOOR SCHEDULE

DOOR NO.	SIZE	TYPE	FRAME MATERIAL	FRAME FINISH	REMARKS
1	3'-0"x6'-8"	Pair French	Wood*	*	Single lite dual glazed - Exterior
2	3'-0"x6'-8"	French	Wood*	*	Single lite dual glazed, textured or patterned glass - Exterior
3	2'-6"x6'-8"	Pair French	Wood*	*	Single lite dual glazed, textured or patterned glass - Exterior
4	2'-10"x6'-8"	French	Wood*	*	Single lite dual glazed, textured or patterned glass
5	2'-10"x6'-8"	French	Wood*	*	Single lite dual glazed, textured or patterned glass
6	2'-10"x6'-8"	French	Wood*	*	Single lite dual glazed, textured or patterned glass
7	3'-3"x6'-8"	Pair Bi-fold	Wood*	*	Louvered doors
8	(E) 2'-8"x6'-8"	(E) Flush	Wood*	*	
9	(E) 2'-8"x6'-8"	(E) Flush	Wood*	*	
10	(E) 2'-8"x6'-8"	(E) Flush	Wood*	*	
11	3'-0"x6'-8"	French	Wood*	*	Single lite dual glazed, textured or patterned glass - Exterior
12	10'-0"x10'-0"	Garage	Wood*	*	Multi lite dual glazed - obscure glass
13	4'-0"x6'-0"	Custom Gate	Metal	*	Garden gate

* To be selected by owner

DOOR TYPES



WINDOW SCHEDULE

WDW NO.	SIZE	TYPE	FRAME MATERIAL	FRAME FINISH	REMARKS
1	5'-0"x4'-0"	Sliding	Wood*	*	Dual thermal glazed wdw
2	6'-0"x4'-6"	Fixed	Wood*	*	Dual thermal glazed wdw
3	5'-0"x4'-0"	Sliding	Wood*	*	Dual thermal glazed wdw
4	2'-0"x5'-0"	Fixed	Wood*	*	Dual thermal glazed, textured or patterned glass
4a	2'-0"x1'-6"	Awning	Wood*	*	Dual thermal glazed, textured or patterned glass
5	6'-0"x1'-6"	Fixed	Wood*	*	Dual thermal glazed, textured or patterned glass
6	6'-0"x2'-0"	Sliding	Wood*	*	Dual thermal glazed wdw
7	5'-0"x4'-0"	Sliding	Wood*	*	Dual thermal glazed wdw
8	5'-0"x2'-0"	Fixed	Wood*	*	Dual thermal glazed wdw
9	6'-0"x2'-0"	Sliding	Wood*	*	Dual thermal glazed wdw
10	4'-0"x1'-6"	Fixed	Wood*	*	Dual thermal glazed wdw
11	4'-0"x1'-6"	Awning	Wood*	*	Dual thermal glazed wdw
12	4'-0"x1'-6"	Fixed	Wood*	*	Dual thermal glazed wdw
13	4'-0"x1'-6"	Awning	Wood*	*	Dual thermal glazed wdw
14	4'-0"x1'-6"	Fixed	Wood*	*	Dual thermal glazed wdw
15	4'-0"x1'-6"	Awning	Wood*	*	Dual thermal glazed wdw
16	4'-0"x1'-6"	Fixed	Wood*	*	Dual thermal glazed wdw

* To be selected by owner

WINDOW TYPES



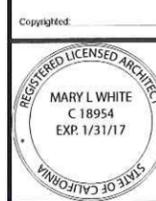
LEGEND

- AREA OF NEW CONSTRUCTION
- (E) RESIDENCE & AREA OF RENOVATION PHASE 1
- (E) RESIDENCE & AREA OF RENOVATION PHASE 2
- (N) DECK AREA
- (N) 2x STUD WALL @ 16" OC
- (N) 2x STUD INFILL WALL IN (E) WALL
- (E) 2x STUD WALL REMOVED
- (E) 2x STUD WALL TO REMAIN
- (E) 4X BEAM TO REMAIN



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Grover Residential Addition & Remodel
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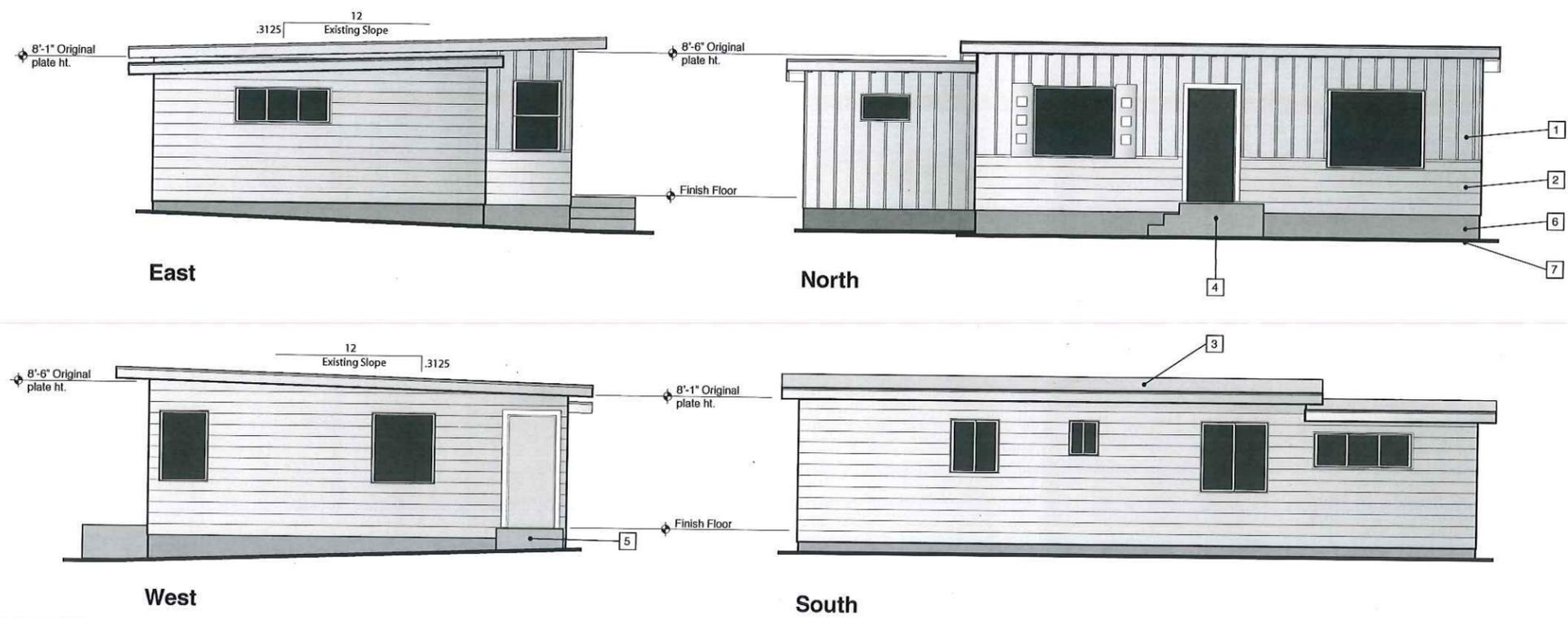
Proposed Floor Plan

Prepared: 01/23/17 By: MW
Print Date: 01/23/17
Revisions:



REFERENCE NOTES 1

1. (E) Batt & board siding, typical
2. (E) Horizontal metal siding, typical
3. (E) Built-up roofing, typical
4. (E) Concrete steps
5. (E) Concrete stoop
6. (E) Concrete foundation, typical
7. (E) Finish grade, typical



EXISTING EXTERIOR ELEVATIONS

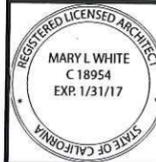
1/4" = 1'-0"



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Grover Residential
Addition & Remodel
484 Kings Street
Morro Bay, CA 93442-2617

Existing Ext. Elevations

Prepared: 01/23/17 By: MW
Print Date: 01/23/17
Revisions:

- △
- △
- △
- △

ONE/ARCH

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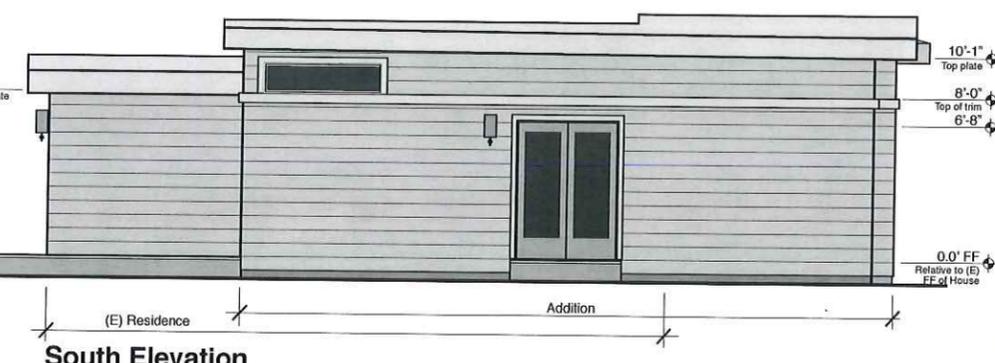
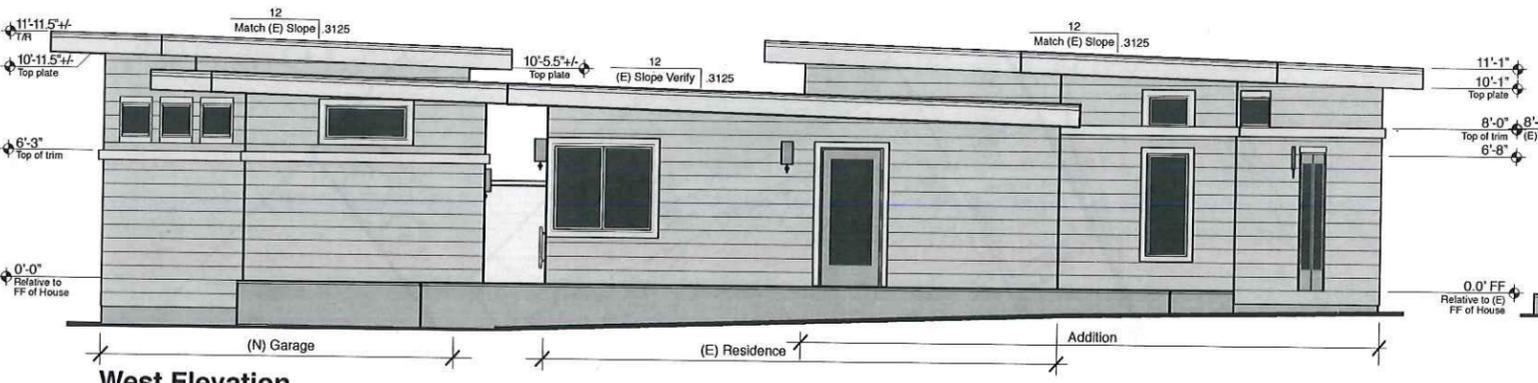
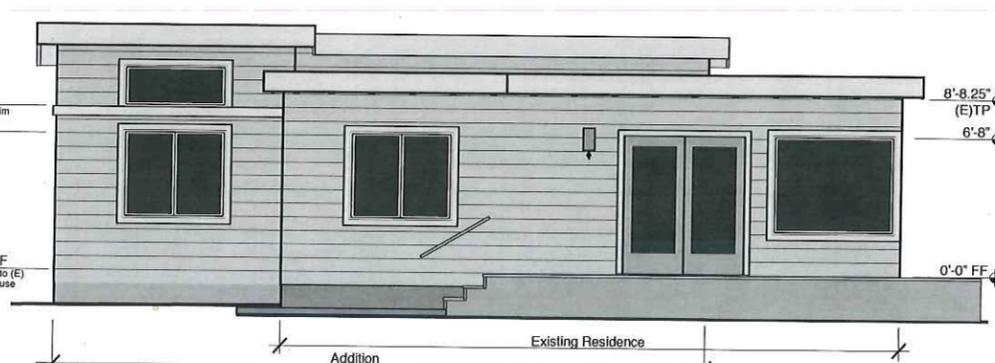
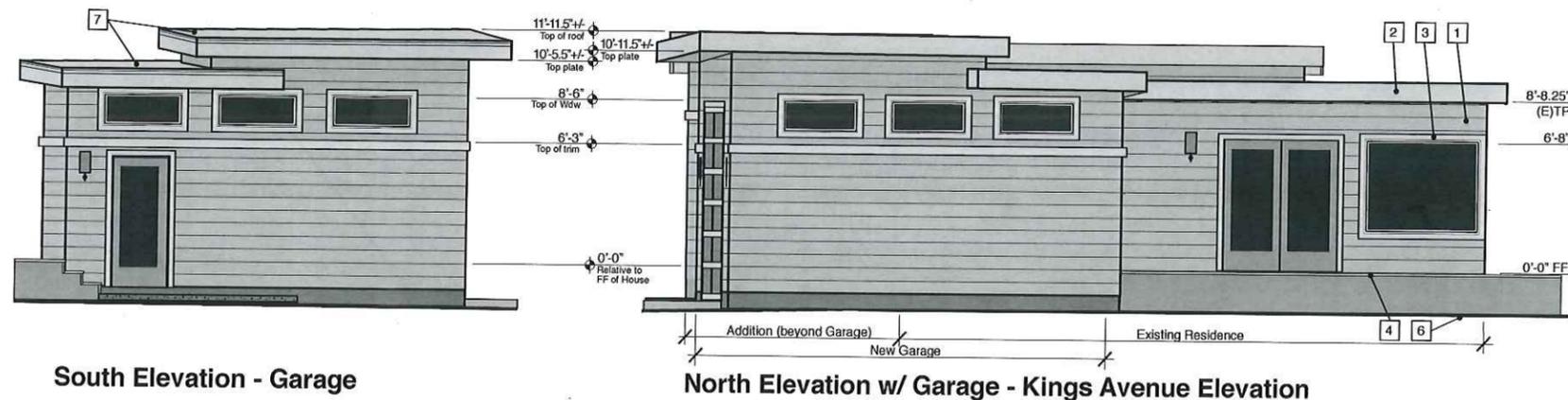
Grover Residential
Addition & Remodel
484 Kings Street
Morro Bay, CA 93442-2617

Proposed Ext. Elevations

Prepared: 01/23/17 By: MW
Print Date: 01/23/17
Revisions:



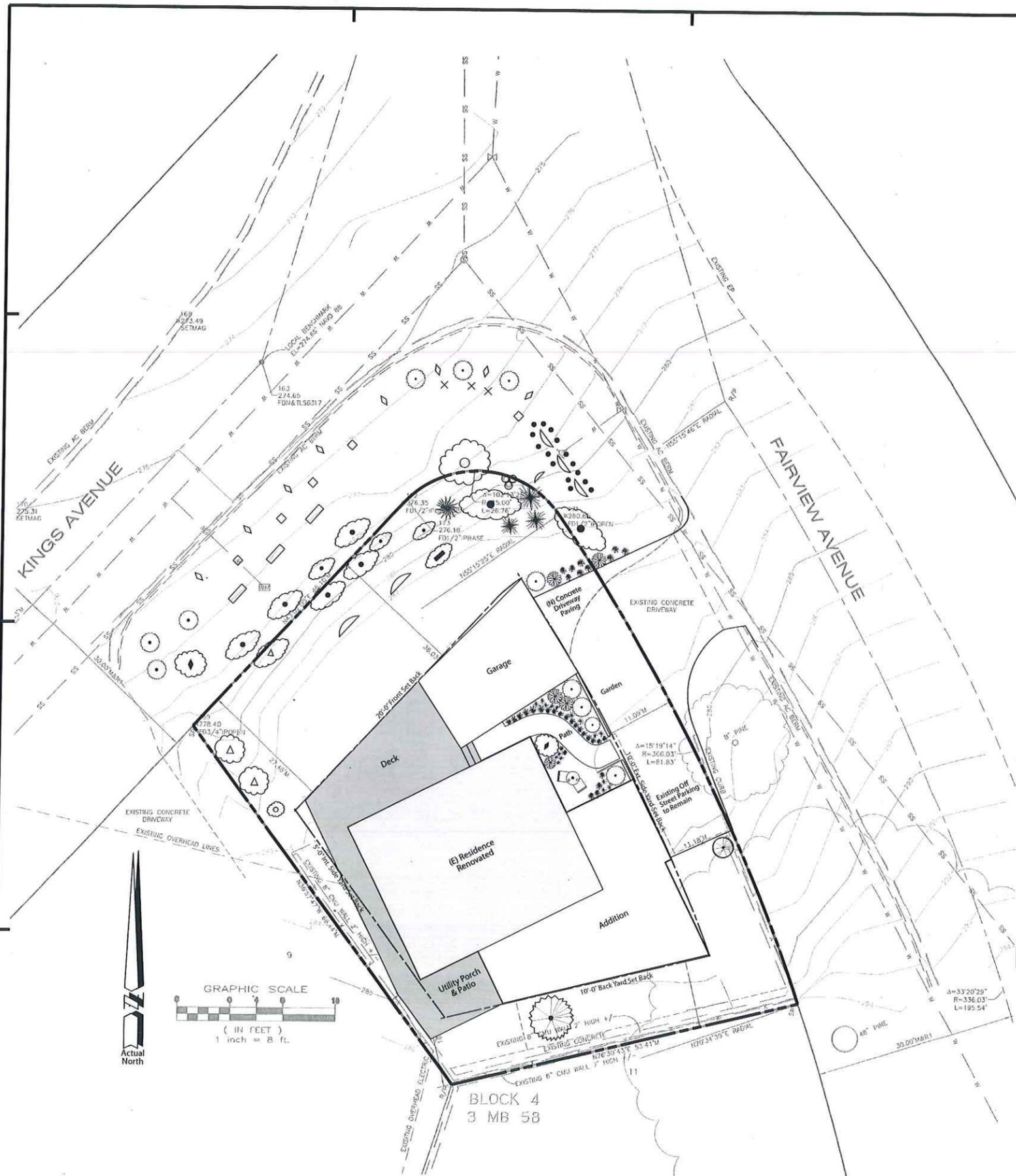
A-4



PROPOSED EXTERIOR ELEVATIONS 1/4" = 1'-0"

GENERAL NOTES **REFERENCE NOTES** [1]

- | | |
|---|--|
| <ol style="list-style-type: none"> 1. All (N) ceilings to be open beam, unless otherwise noted | <ol style="list-style-type: none"> 1. HardiePlank, type to be selected by owner, typical 2. 2x Fascia, typical 3. 1x Trim, typical 4. Wood or composite wood deck, type to be selected by owner, typical 5. Stucco garden wall, typical 6. Finish Grade, typical 7. Built-up roofing, typical |
|---|--|



(N) IMPERMEABLE SURFACE STATUS

Total site area:
 Total building footprint:
 (E) Impermeable parking paving:
 (N) Impermeable parking paving:
 (E) Impermeable walkway:
 (E) Impermeable walkway removed:
 Total impermeable walkway:
 Total (E) Impermeable surfaces:
 (N) Permeable walkway paving:
 (N) Permeable deck:
 (N) Total Permeable surfaces:



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Proposed Landscape Plan
 Grover Residential
 Addition & Remodel
 484 Kings Street
 Morro Bay, CA 93442-2617

Proposed Landscape Plan

Prepared: 01/09/17 By: MW
 Print Date: 01/09/17
 Revisions:



L-2

EXISTING LANDSCAPE SYMBOL LEGEND

- | | | | | | |
|--|---|--|---|--|------------------------------------|
| | Lavender Plants | | Maleluca Tree | | Small Lemon Tree |
| | Rosenka - Bougainvillea (pink & orange) | | Russian Sage | | Mexican Weeping Bamboo Plant |
| | Red - Bougainvillea | | Ceanothus | | Small Rosemary Shrub |
| | Mature California Pepper Tree | | Flax | | Moveable Wine Barrell Planter (15) |
| | Newly Planted Pepper Tree | | Acacia Cousin ITT | | |
| | Australian Tea Trees | | Manzanita Shrub | | |
| | Large Aloe Plants (3) | | Unknown - Drought Tolerant Shrubs (3) | | |
| | Aloe Vera (commons) Arborescens | | Unknown - Drought Tolerant Low Growing Plants | | |
| | Santa Barbara Daisies | | Succulants - Assorted Echeveria Rosettes | | |

PROPOSED LANDSCAPE PLAN

1/8"=1'-0"



MARYWILLE ARCHITECTURE

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PROPOSED STREET VIEW
FEB 02 2017

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Morro Bay, CA 93442-2617

Fairview Ave Proposed St. View *(looking south)*
484 Kings Ave - Addition & Remodel
Grover Residence - Photo Sim



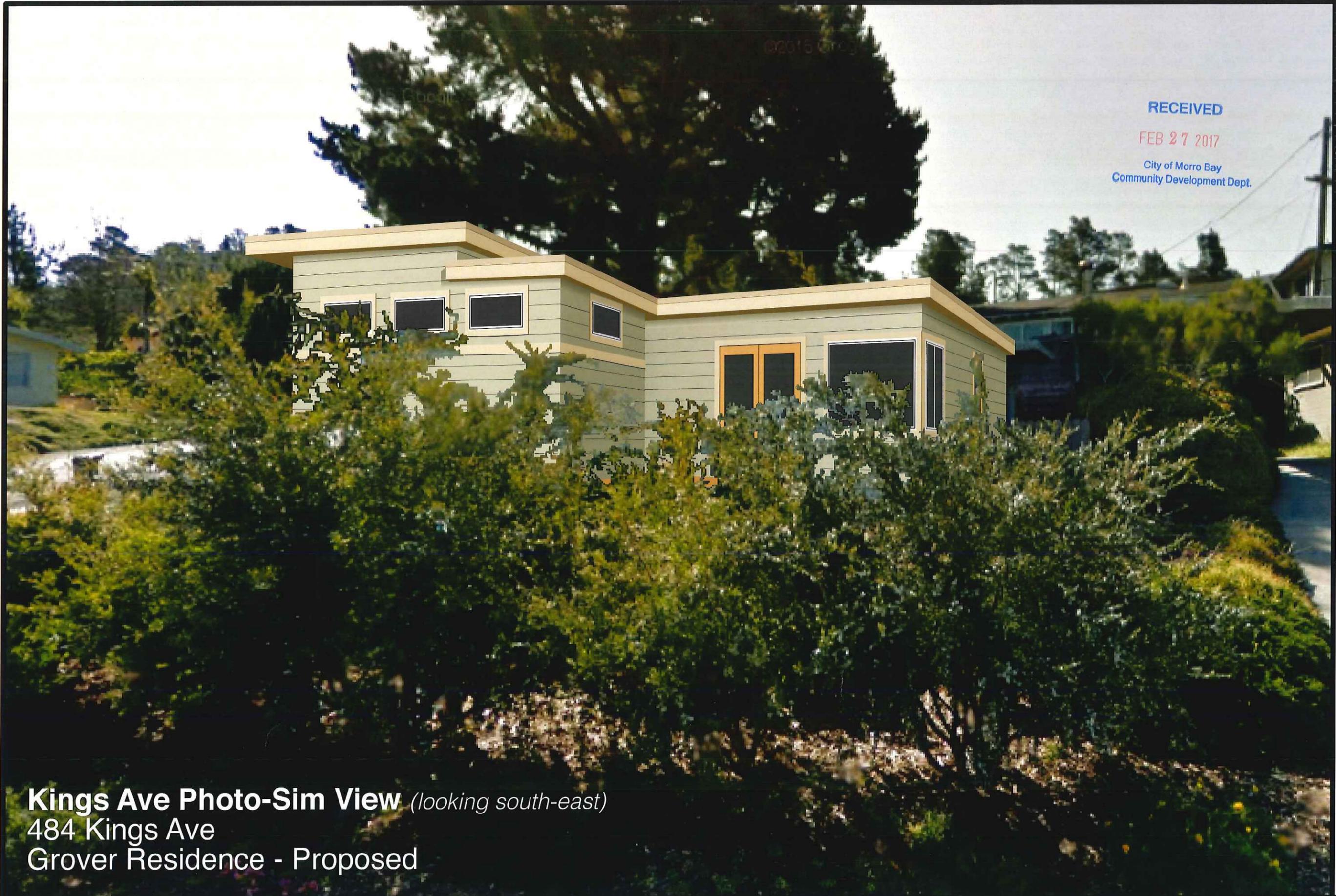
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Fairview Ave Existing St. View *(looking south)*
484 Kings Ave
Grover Residence - Actual

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484 Kings Avenue
Morro Bay, CA 93442-2617



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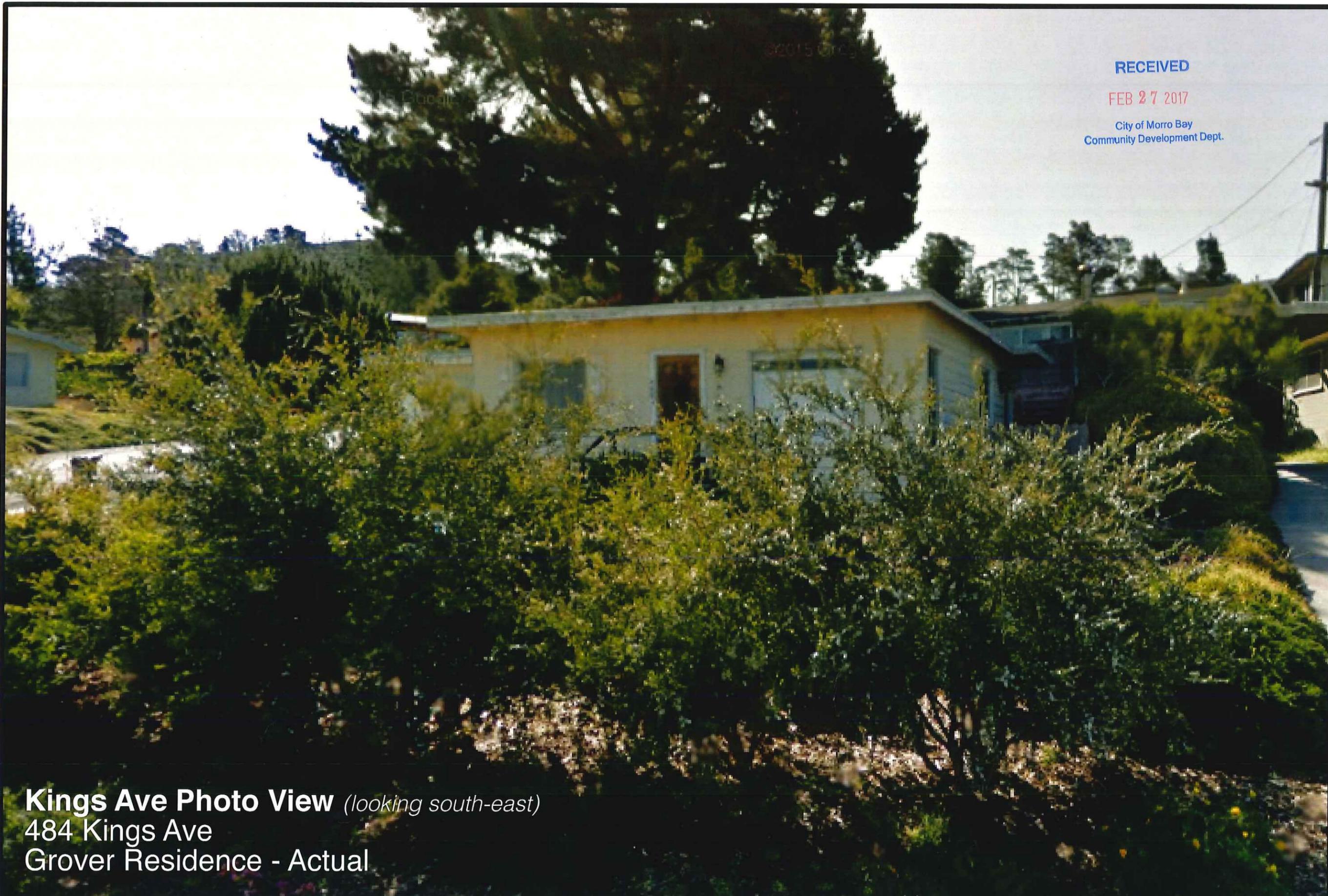
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PHOTO SIM STREET VIEW

Grover Residential Addition & Remodel
484 Kings Avenue
Morro Bay, CA 93442-2617

Kings Ave Photo-Sim View *(looking south-east)*
484 Kings Ave
Grover Residence - Proposed





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PHOTO STREET VIEW

Kings Ave Photo View *(looking south-east)*
484 Kings Ave
Grover Residence - Actual

Grover Residential Addition & Remodel
484 Kings Avenue
Morro Bay, CA 93442-2617



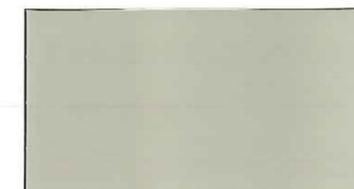
North Elevation w/ Garage - Kings Avenue Elevation



Wood Fascia Board, Trim & Stucco Garden Wall



Built-Up Roofing, Cool Roof, (not seen in these elevations)



HardiePlank - Horizontal siding



Ext. Door Wood Stain

Color Palette

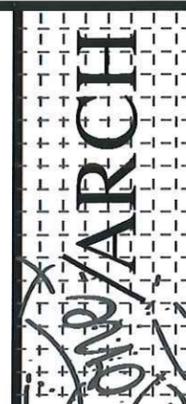


East Elevation - Fairview Ave Elevation

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COLOR BOARD

Grover Residential Addition & Remodel
484 Kings Avenue
Morro Bay, CA 93442-2617



AGENDA NO: C-1

MEETING DATE: April 04, 2017

Staff Report

TO: Public Works Advisory Board **DATE:** March 29, 2017
FROM: Scot Graham, Community Development Director
SUBJECT: Review of Preferred Land Use alternatives for the General Plan/Local Coastal Program Update

RECOMMENDATION

Staff recommends the Planning Commission review the presentation by staff, public comment and the prepared materials and provide feedback to the Council on the preferred land use alternatives associated with the General Plan/Local Coastal Program update.

BACKGROUND/DISCUSSION

The Planning Commission met jointly with the City Council on March 28, 2017, as part of a special joint study session to review Preferred Land Use Alternatives for the General Plan/Local Coastal Program update. The Council and Planning Commission were unable to complete the review in the time allotted and it is therefore necessary to continue the evaluation effort at a regularly scheduled Planning Commission meeting.

Staff has provided the Land Use Plan alternatives memo and associated attachment from the March 28th joint meeting (Attachments 1 & 2 to the staff report). The Council and Commission were able to complete review of the Land Use Plan Alternatives through Site E: North Main. The continued review will commence with Site F: Tri-W Site.

CONCLUSION

Staff will compile comments from the Planning Commission on the remaining items and forward those comments to the Council as part of their continued review of the Preferred Land Use Alternatives at the regularly scheduled Council meeting on April 11, 2017.

Attachments

1. Michael Baker, March 28, 2017, Land Use Plan Memo
2. Attachment 1 to the March 28, 2017, Land Use Plan Memo

Prepared By: __SG__

Dept Review: _SG_



Land Use Alternatives

As part of the initial phases of **Plan Morro Bay**, the Michael Baker team worked with City staff and the General Plan Advisory Committee (GPAC) to collect and review existing plans, policies, and technical studies; conduct a community engagement program; develop community themes; prepare a Community Vision and Values; and identify key issues to be addressed in the updated General Plan and Local Coastal Plan. Next in the **Plan Morro Bay** process, City staff and the Michael Baker team used these materials to develop a number of land use alternatives for opportunity sites located throughout the community. We received input from the GPAC and the community related to the opportunity sites and alternatives regarding focused changes to land use designations that align with the Community Vision and Values. Input was received at a public workshop and through a hard copy and online survey. The memo reviewed by GPAC at their January and February 2017 meetings is provided as Attachment 1 to this staff report and has been updated to include a summary of input received on the alternatives.

This report presents preferred alternatives for ten opportunity sites in the city and four study areas outside the city limits identified by City staff and the GPAC where changes to existing land use have been considered. This process will lead to preparation of the General Plan Land Use Map and completion of a draft Land Use Element for the General Plan update.



Land Use Classifications

Existing Land Use Designations

The existing General Plan includes a variety of land use designations which pertain to residential, commercial, industrial, agricultural, mixed-use, visitor-serving, coastal-dependent, public facility, and other uses. The following sections provide an overview of the current land use designation categories. The Coastal Act requires that the LUP include a land use designation or designations that specifically accommodate visitor-serving and coastal-dependent/coastal-related uses. Under the existing Morro Bay General Plan and LUP, the designations that achieve this goal are Visitor Serving Commercial, Commercial/Recreational Fishing, Mariculture and Marine Research, Mixed Uses (Harbor), and Coastal Dependent Industrial.

Residential

The 1988 Morro Bay General Plan includes four residential land use categories based on the following density levels:

- **Low Density:** Up to 4 units per acre
- **Moderate Density:** 4 to 7 units per acre
- **Medium Density:** 7 to 15 units per acre
- **High Density:** 15 to 27 units per acre

The residential land use designations are the only designations in the existing General Plan with densities or intensities. The updated **Plan Morro Bay** will include these standards for the proposed land use designations. The majority of parcels designated for residential use in the General Plan are located in the northern and south-central portions of the planning area.

Commercial

In the General Plan, commercial land use categories are generally located along Highway 1 and in downtown, with one small additional commercial area located in the southern coastal area north of Fairbanks Point. Much of the commercial development in Morro

ATTACHMENT 1

Land Use Alternatives Memo



Bay is visitor-serving, a category which includes hotels and inns, restaurants, and shops. The five commercial land use categories are:

- Medium Density Residential/Neighborhood Commercial
- District Commercial
- Service Commercial
- Visitor Serving Commercial
- Commercial/Recreational Fishing

Industrial

The General Plan includes two industrial categories to differentiate coastal-dependent industry from noncoastal-dependent industry: **General (Light) Industrial** is used for noncoastal dependent uses, and **Coastal Dependent Industrial** is used for coastal-dependent uses. Coastal-dependent uses include thermal power plants, seawater intake structures, discharge structures, tanker support facilities, and other similar uses.

Mariculture and Marine Research

Uses allowed in the **Mariculture and Marine Research** designation are coastal-dependent and include the buildings, tanks, raceways, and pipelines for breeding, hatching, grow-out, and related research as well as administrative offices and educational facilities.

Golf Course

Uses in the **Golf Course** designation include golf courses and related facilities such as club houses, pro shops, maintenance buildings, parking areas, and irrigation systems, along with other passive recreational areas.

Harbor/Navigational Ways

The **Harbor and Navigational Ways** designation applies to areas of the city covered by seawater and includes areas from the mouth of the bay to the southern city limits. Uses are restricted to those which must be located on the water in order to function, such as mariculture, boating, fishing, habitat, and visitor-serving uses where public access is enhanced or facilitates coastal-dependent uses.



Open Space/Recreation

The **Open Space/Recreation** designation includes land which is not defined as environmentally sensitive habitat and is not intended to accommodate intensive recreational activities. Uses in this designation typically include athletic fields, campgrounds, horse stables, and other recreational uses.

Mixed Uses (Harbor)

A mixture of visitor-serving commercial uses and harbor-dependent land uses are accommodated in the **Mixed Uses (Harbor)** designation. Examples include sport fishing facilities, fish stores, gift shops, and recreational boat docks. Areas along the Embarcadero are located within this designation, and include restaurants and hotels as major uses.

Environmentally Sensitive Habitat

The **Environmentally Sensitive Habitat** designation includes protected areas which provide habitat for rare or especially valuable plant or animal life that could be easily disturbed or degraded by human activity. Fishing, clamming, and hiking may be allowed in these areas.

Agriculture

The **Agriculture** designation provides for the identification and preservation of agricultural land for cultivating crops and raising animals. Lands which fit this designation include those with prime soils, prime agriculture land, land in existing agricultural use, land with agricultural potential, and land under Williamson Act contracts. The agriculture designation allows one residential unit per parcel.

Mixed Use

Areas within the **Mixed Use** designation include parts of the city that generally feature a mixture of residential, office, commercial, visitor-serving, and recreational lands.

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Land Use Alternatives Memo



Overlays

The following overlays are included in the land classification system:

1. Planned Development
2. Restricted Areas
3. Park
4. School
5. Public/Institutional
6. Interim/Open Space Uses in Industrial Categories

Table 1 below compares the existing general plan land use designations with corresponding zoning districts. The Existing General Plan Land Use Map follows the table.

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Land Use Alternatives Memo



Table 1. General Plan Land Use Designation/Zoning Consistency

General Plan Land Use Designation	Description of LU Designation	Allowed Density	Corresponding Zoning Districts
Low Density	Detached single-family homes.	0-4 du/ac	AG, R-A, CRR
Moderate Density	Detached or attached single-family homes.	4-7 du/ac	R-1
Medium Density	Detached or attached single-family homes, townhomes, duplexes, and condominiums.	7-15 du/ac	R-2
High Density	Multifamily housing, including apartments, townhomes, and condominiums.	15-27 du/ac	R-3, R-4
Medium Density Residential/ Neighborhood Commercial	Detached or attached single-family homes, townhomes, duplexes, and condominiums. Provides for the daily needs of residents nearby and includes grocery stores, laundromats, pharmacies, and household stores.	7-15 du/ac	R-2, MCR
District Commercial	District commercial areas serve a regional commercial need such as shopping centers and major goods and services.		C-1, MCR
Service Commercial	Commercial uses that are not compatible with residential neighborhoods, as well as light industrial and manufacturing uses, particularly those related to commercial fishing.		C-2, MCR
Visitor Serving Commercial	Encourages tourist-oriented services and uses at easily accessible and destination locations, particularly along Highway 1.		R-4, C-VS
Commercial/ Recreational Fishing	Implements Measure D, which protects the tidelands area between Beach Street and Target Rock by limiting development and use permits to fishing activities only.		CF
General (Light) Industrial	Light industry uses which are not compatible with residential or most commercial uses.		M-1, C-2
Coastal-Dependent Industrial	Specifically for uses which must be located near the coast to function, and are thereby given priority pursuant to the California Coastal Act.		M-2
Mariculture and Marine Research	Areas considered suitable for the propagation and rearing of ocean fish and shellfish.		MMR
Golf Course	Golf courses and related facilities.		GC
Harbor/Navigational Ways	Areas of the city covered by seawater and used for boating, fishing, and visitor-serving uses.		H
Open Space/Recreation	Uses which are not intended for development or intensive recreational uses, but which are not classified as sensitive habitat.		OA

ATTACHMENT 1

Land Use Alternatives Memo



General Plan Land Use Designation	Description of LU Designation	Allowed Density	Corresponding Zoning Districts
Mixed Uses (Harbor)	A mixture of visitor-serving commercial uses and harbor-dependent land uses.		WF
Environmentally Sensitive Habitat	Protection areas which serve as habitat for rare or especially valuable plant or animal life that could be easily disturbed or degraded by human activity.		ESH
Agriculture	Land for cultivating crops and raising animals.		AG
Mixed Use	Mixed-use areas apply to certain parts of the city that generally include a mixture of residential, office, commercial, visitor-serving, and recreational lands		MCR, G-O, Combining MU ¹
<i>Overlays</i>			
Planned Development	Areas which are part of a precise or specific development plan that has received discretionary City approval.		PD
Restricted Areas	Sensitive habitats which have critical or endangered plant or animal life that would be disturbed by even passive recreational uses.		ESH
Park	Existing or proposed public parks.		No corresponding district identified
School	Existing or proposed school facilities.		SCH
Public/Institutional	Facilities which serve the public, including government buildings and service facilities, or quasi-public facilities such as hospitals and cultural, civic, or religious resources.		No corresponding district identified
Interim/Open Space Uses in Industrial Categories	Areas being held for future use but which may have a temporary use in the meantime.		I

Zoning Districts Legend

R-A Suburban residential district

R-1 Single-family residential district

R-2 Duplex residential district

R-3 Multiple-family residential district

R-4 Multiple-family residential-hotel-professional district

CRR Coastal resource residential district

C-1 Central business district

C-2 General commercial district

MCR Mixed commercial/residential district

Note 1: Split zoning makes additional areas consistent with MU.

C-VS Visitor serving commercial district

G-O General office district

M-1 Light industrial district

M-2 Coastal-dependent industrial district

AG Agriculture district

OA Open area district

WF Waterfront district

CF Commercial/recreational fishing district

H Harbor and navigable ways district

MMR Mariculture and marine research

SCH School district

GC Golf course district

PD Planned development, overlay zone

ESH Environmentally sensitive habitat overlay zone

S Special treatment overlay zone

Combining MU Combining mixed use overlay zone

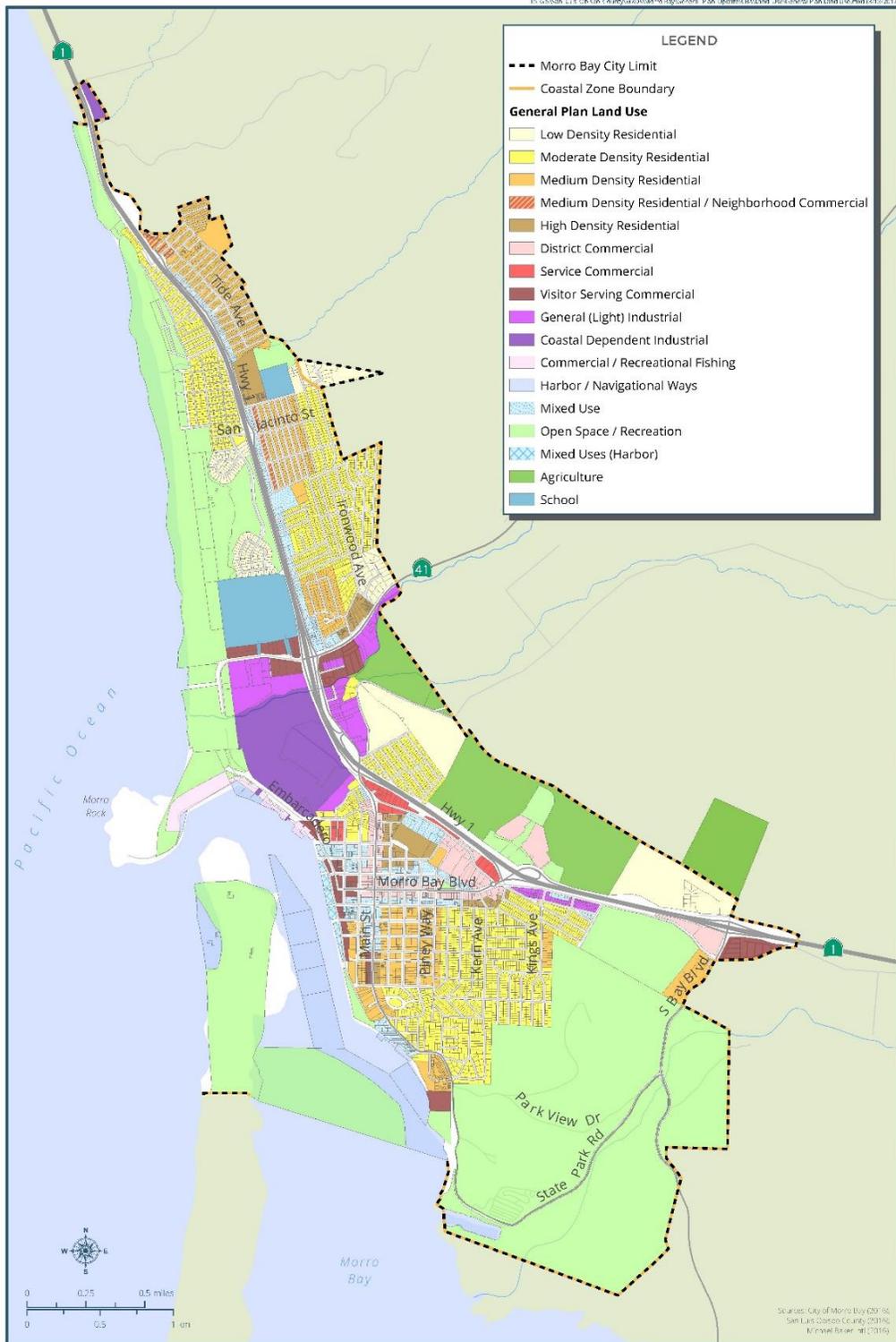
I Interim use overlay zone

ATTACHMENT 1

Land Use Alternatives Memo



Existing General Plan Land Use Designations



Existing General Plan Land Use Designations



Proposed Changes to Land Use Designations

As part of the **Plan Morro Bay** process, staff recommends the addition of one new land use classification, and modifications to two existing designations:

- The Medium Density Residential/Neighborhood Commercial combined classification should be eliminated and a stand-alone Neighborhood Commercial classification should be included.
- Remove Mariculture and Marine Research. This designation does not appear on the Land Use Map and will no longer appear on the Zoning Map after clean-up revisions are made for land use and zoning consistency. The uses it is intended to serve can be addressed through other land uses.
- Some changes to the purpose, standards, and allowed uses for the Mixed Use classification are proposed.
 - Existing Mixed Use Areas A through G will not be applied on the proposed Land Use Map.
 - The Mixed Use designation will be divided into two sub-categories: Mixed Use and Mixed Use-Visitor Serving. The Mixed Use designation will be consistent with the existing Mixed Use land use classification. Mixed Use-Visitor Serving will have the intent of developing mixed-use projects with visitor-serving uses in them.
 - The zoning code update will further define allowed uses and standards through a series of mixed-use zones.
- Changes to Overlays
 - Remove Planned Development overlay. Planned development should be used as a zoning tool.
 - Replace Restricted Areas overlay with the updated ESHA designation. This will correspond one-to-one with the updated ESHA zoning designation.
 - Remove the Park overlay and instead utilize the base designation of Open Space/Recreation and create an implementing zone of Park during the zoning code update.
 - Change the Public/Institutional overlay to a base designation.
 - Remove the School overlay and utilize the base designation of Public/Institutional.
 - Remove the Interim/Open Space Uses in Industrial Categories overlay and instead use a holding zone rather than a holding land use designation.



Preferred Land Use Alternatives

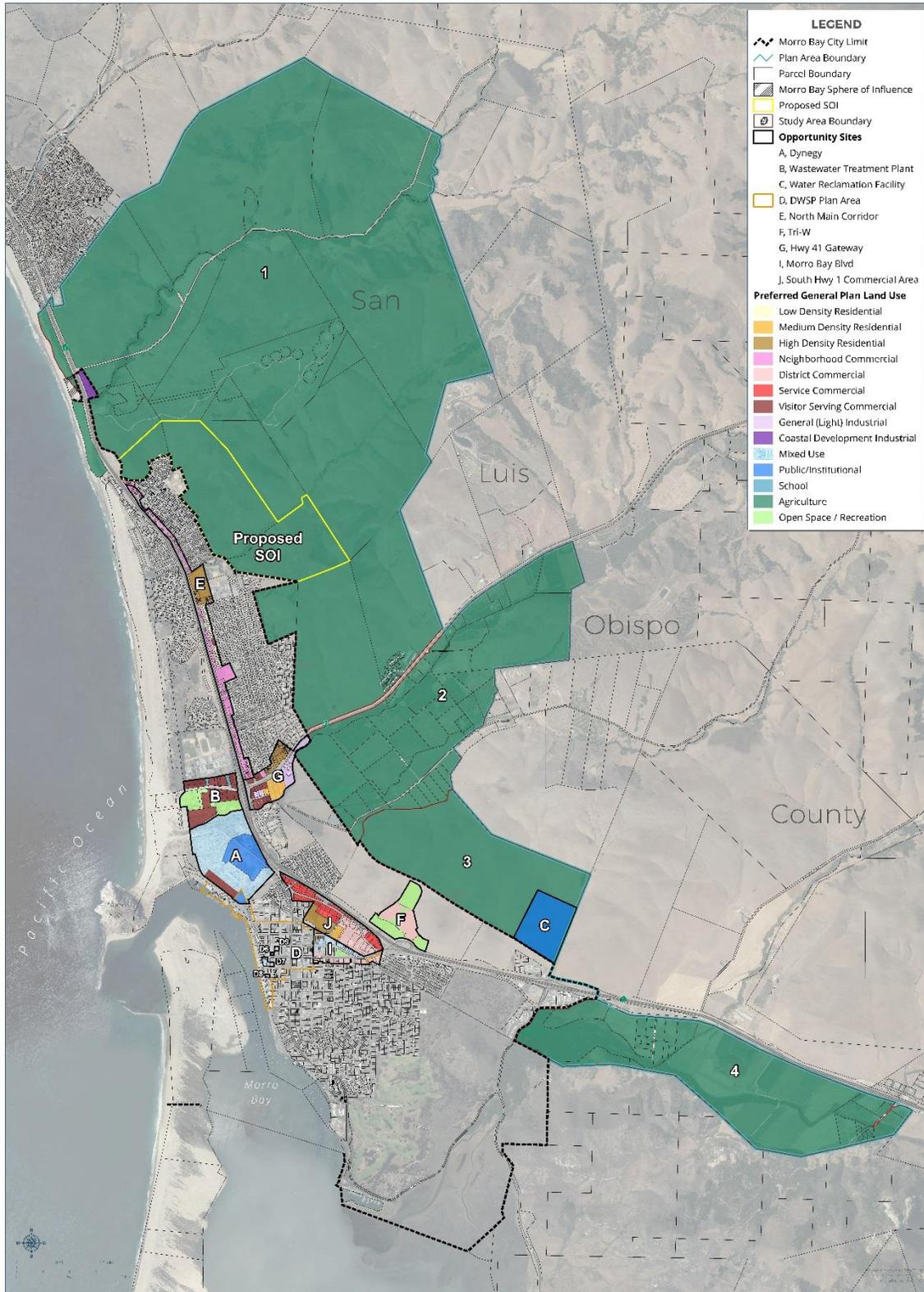
Based upon background research, City staff and GPAC input, and community engagement, ten opportunity sites have been identified (see Opportunity Sites Overview Map on the following page). These are parcels or areas that are likely to change or are seen as in need of change by the community. The Land Use Element provides policy direction to guide these changes and resulting physical development. Changes are primarily accomplished through the zoning code. Ten sites in the city were identified. One of those sites (Site D) is the Downtown Waterfront Strategic Plan (DWSP) area (see Site D figure). Within that site, there are 15 opportunity sites or corridors where change is anticipated. Each of those sites is discussed individually under Site D. Out of the nine other citywide sites, seven have proposed changes to land use. The remaining two were selected for policy recommendations only.

ATTACHMENT 1

Land Use Alternatives Memo



Opportunity Sites Overview Map



City of Morro Bay General Plan Update
Preferred General Plan Land Use
Opportunity Sites and Study Areas

ATTACHMENT 1



Site D Map of DWSP Opportunity Sites





Site A: Dynegey Power Plant Site

Existing Conditions

The site of the decommissioned Morro Bay Power Plant owned by Dynegey is located just across from the north Embarcadero and the bay northeast of Morro Rock, north of the public parking lot and south of Morro Creek (see Site A figure). A smaller portion of this opportunity site is the substation owned by PG&E. It is located behind the Dynegey property, and is still operational. The City-owned Triangle Parking Lot parcel is also included at the southern end of this site. That parcel is 2.3 acres in size and is currently an unpaved vacant site used for parking.

Existing General Plan

The existing General Plan land use designation on the site is Coastal Dependent Industrial. Dynegey is actively looking to sell its property at the site. Potential future uses for the site could span a broad range including but not limited to recreation/public access, retail, restaurants, senior housing, and an office park. The vision and future land uses for this site will be further defined through a master plan process (or other site-specific planning process) once the site has been sold by Dynegey and before it is redeveloped. PG&E is planning on hardening and moving equipment into a structure on the substation parcel so the facility's footprint will be reduced on its parcel. The northern edge of this site is ESHA.

Preferred Alternative

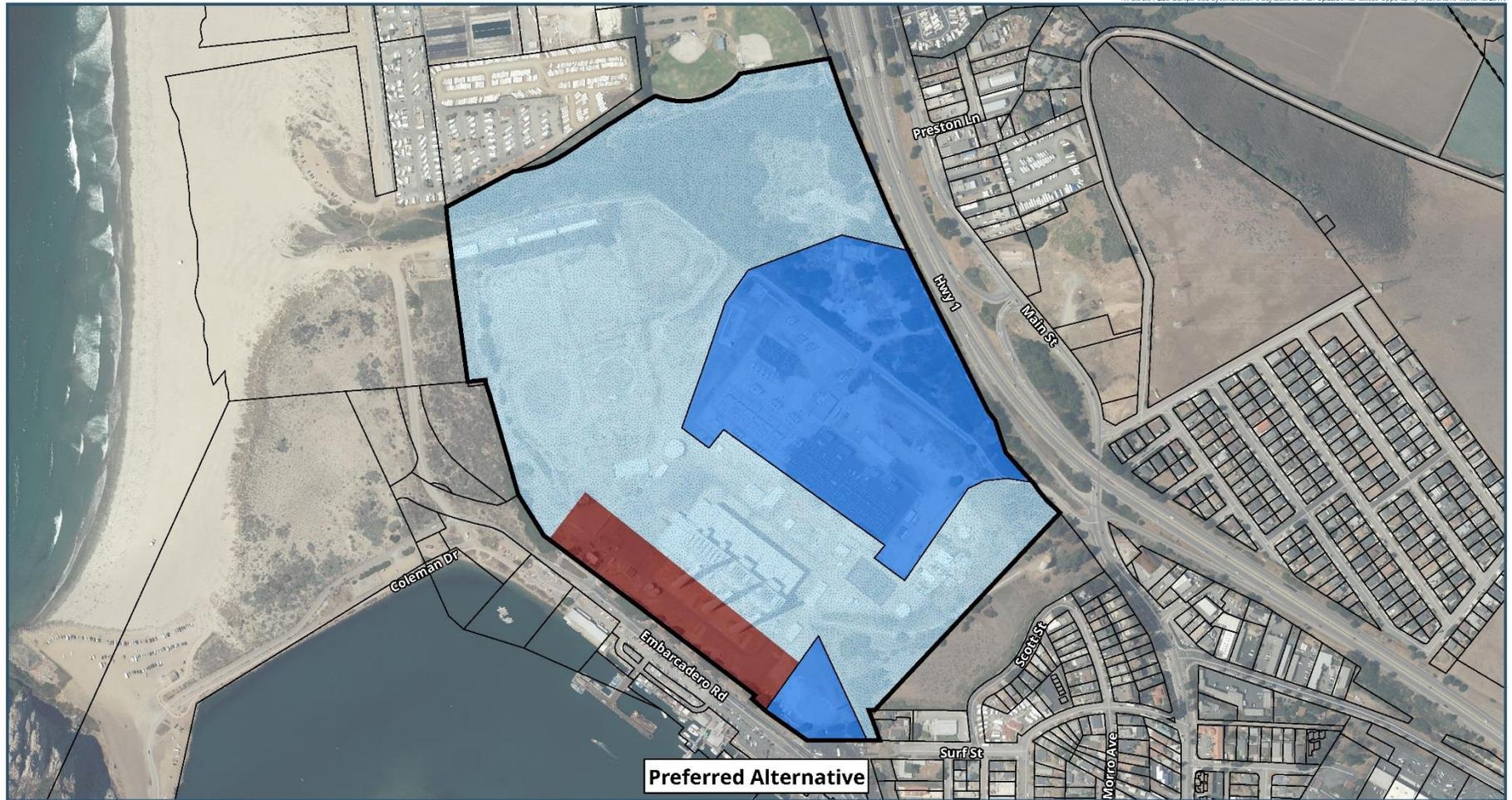
Based on the site's location proximate to the coast, and the community input received to date, land use changes are anticipated for the portion of the site owned by Dynegey. The land use designation for the PG&E substation parcel would be Public/Institutional. The proposed land use designations for the future of the site are predominantly Mixed Use, with some Visitor Serving Commercial uses fronting Embarcadero.

The anticipated future catalyst projects on the Triangle Parking Lot portion of this site are a market/seafood hall or a cultural, maritime, or historical museum, a boatyard, and a parking lot or structure. While progress is made toward a permanent catalyst project on this site, interim uses are anticipated to occur. These interim uses could include parking as is occurring now, passive recreation, or landscape maintenance.

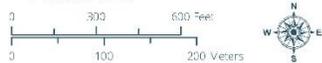


SITE A: DYNEGY POWER PLANT

TS GIS\GIS-1_Luis Cisneros_County\MXD\Morro Bay\General Plan_Update\VA\Alternatives_Opportunity_Sites\Site A.mxd (3/13/2017)



Preferred Alternative



LEGEND

- | | |
|----------------------|------------------------------|
| Opportunity Site | General Plan Land Use |
| Parcels | Visitor Serving Commercial |
| Morro Bay City Limit | Mixed Use |
| | Public/Institutional |

Sources: City of Morro Bay (2016);
San Luis Obispo County (2016);
Michael Baker Int. (2016).



Site B: Existing Wastewater Treatment Plant and Desalination Plant

Existing Conditions

This area is located near the coast along State Route (SR) 41 and Atascadero Road west of Highway 1 (see Site B figure). It includes the City's wastewater treatment plant (WWTP), desalination plant, and driveways to Morro Bay High School. Other uses include motels, the building formerly housing Flippo's roller rink, the skate park and teen center, Lila Keiser Park, and Morro Strand and Morro Dunes RV parks.

Existing General Plan

The existing land use designations on this site are General (Light) Industrial, Visitor Serving Commercial, School, and Open Space/Recreation.

Preferred Alternative

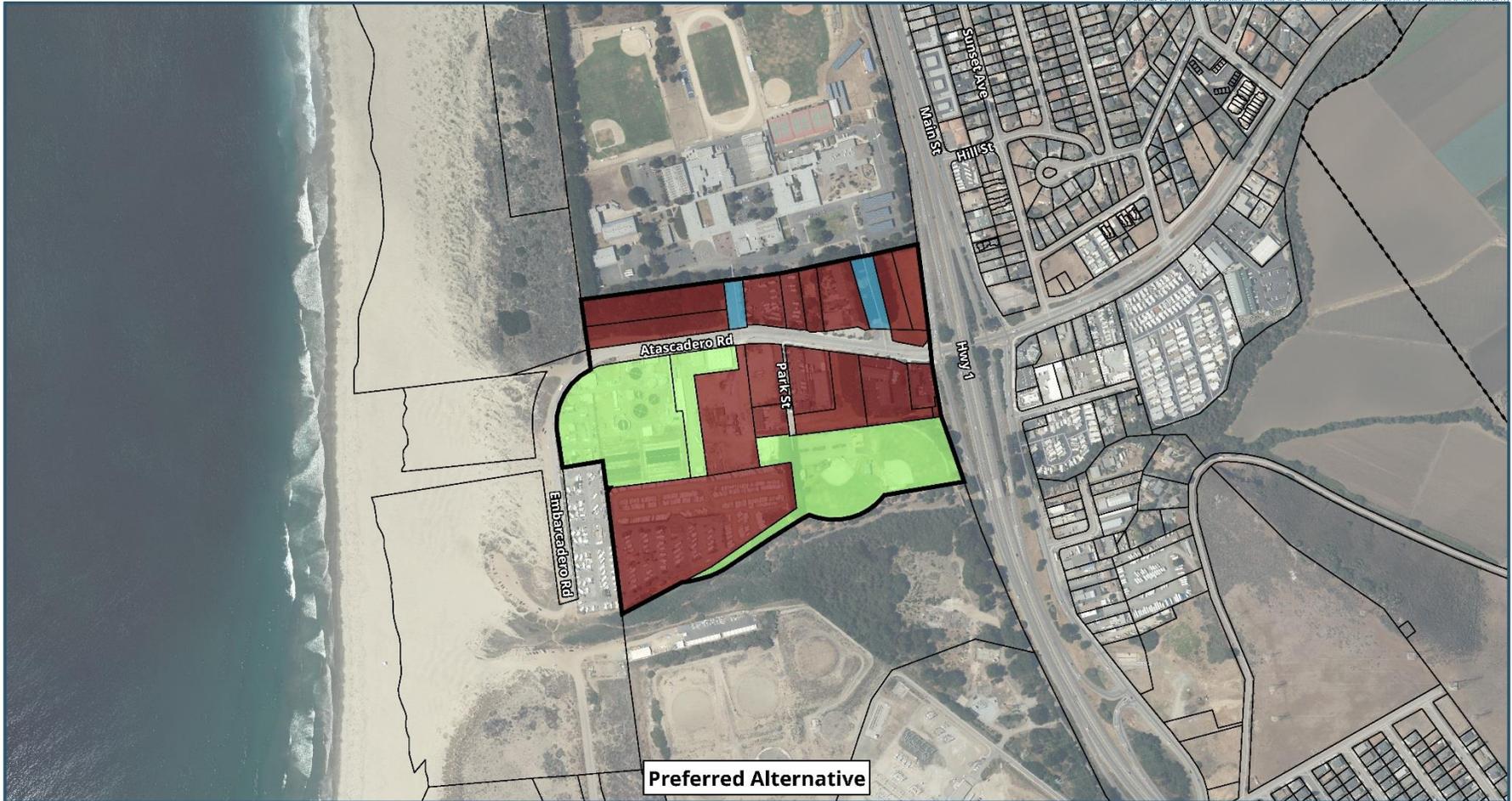
The future land uses for this site will be driven largely by plans to relocate the existing City WWTP within the next five years. Other potential land use changes in this area rely on less certain potential changes. Land uses are not proposed to change on the former Flippo's site. The Morro Dunes RV park on the south side of SR 41 is proposed to change to Visitor Serving Commercial to more closely align with the existing use and future vision. The existing land use at Lila Keiser Park does not match on-the-ground land use. The park's designation would be changed from General (Light) Industrial to Open Space/Recreation to reconcile this discrepancy. Public/Institutional is an overlay in the existing Land Use Element and would be proposed as a base designation in the update. After the WWTP closes and if the desalination plant closes or is relocated in the future, that portion of this site could be designated for either Visitor Serving Commercial or Open Space/Recreation use. This preferred alternative shows a configuration that would accommodate both uses.

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Land Use Alternatives Memo



SITE B: EXISTING WWTP/DESALINATION PLANT



LEGEND

- Opportunity Site
- Parcels
- Morro Bay City Limit
- Visitor Serving Commercial
- Open Space / Recreation
- School

Sources: City of Morro Bay (2010);
San Luis Obispo County (2015);
Michael Sever, et al. (2015)



Site C: Proposed Water Reclamation Facility

Existing Conditions

This site is located outside the city limits just east of Highway 1 near the south end of Morro Bay (see Site C figure). The city limit is on the other edge of the highway.

Existing General Plan

The existing County land use designation on the site Agriculture. This site will be included in the Memorandum of Agreement with the County regarding SOI expansion and potential future annexation.

Preferred Alternative

This site is the preferred location for the proposed Morro Bay Water Reclamation Facility (WRF). If that project is approved, the City would propose annexation of this site into the City. If this site is annexed into the City, the proposed land use designation would be Public/Institutional.

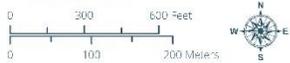
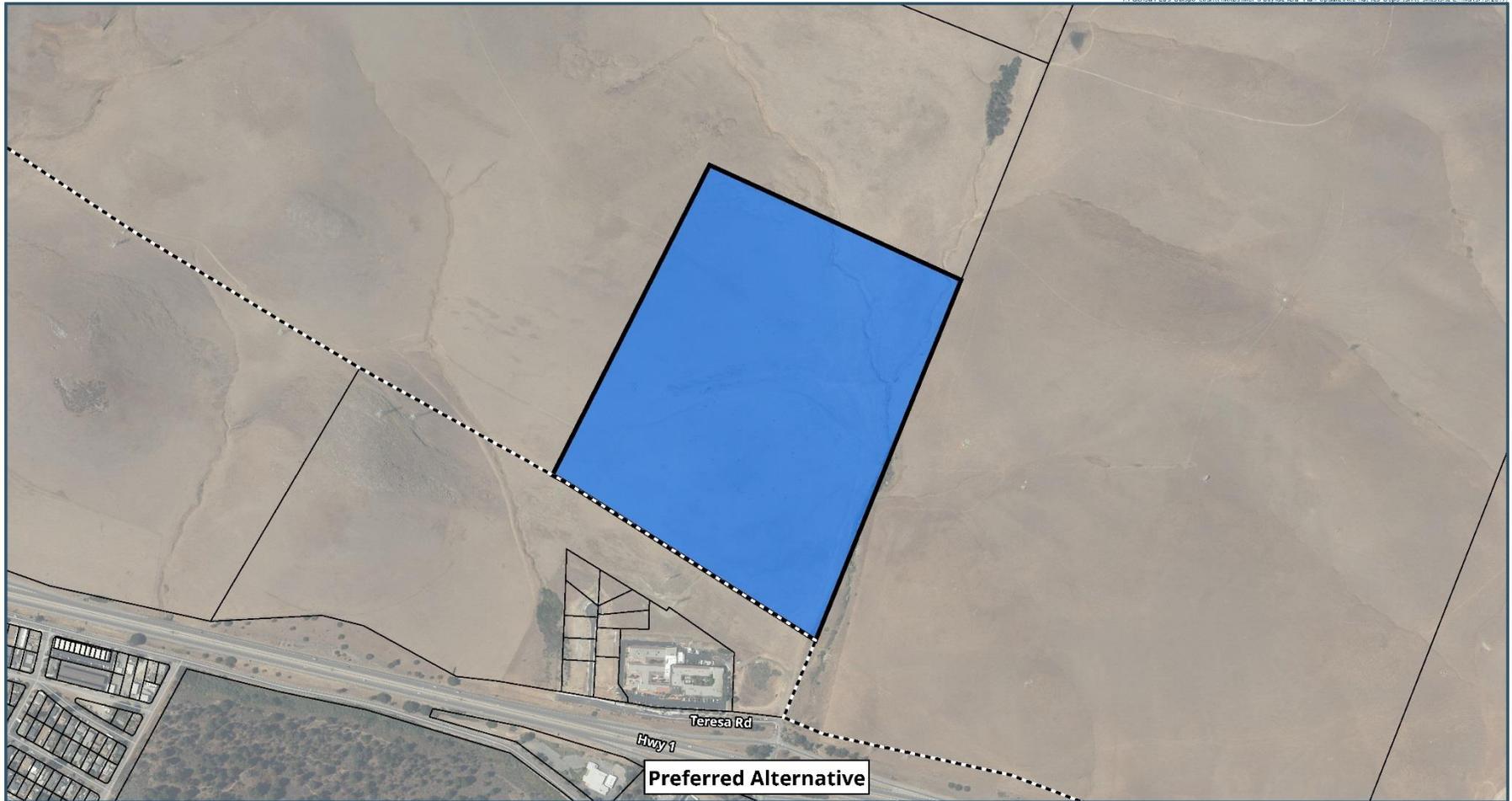
ATTACHMENT 1

Land Use Alternatives Memo



SITE C: PROPOSED WRF SITE

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LEGEND

- Opportunity Site
- Parcels
- Morro Bay City Limit
- General Plan Land Use
- Public/Institutional

Sources: City of Morro Bay (2016);
San Luis Obispo County (2016);
Michael Baker Inc. (2016).



Site D: Downtown Waterfront Strategic Plan Area

The sites discussed in this section are located in the Downtown Waterfront Strategic Plan (DWSP) area. Sites with proposed changes to land uses have one or more proposed catalyst projects associated with them in the DWSP. The change to land use on the site is necessary to allow for the catalyst project uses. Only the sites with proposed changes to land use are included here for consideration. (Some sites identified in the DWSP have suggested policy recommendations rather than proposed alternative land use classifications.)

Site D.6 Vacant Lots at Market Avenue and Morro Bay Boulevard

Existing Conditions

This site consists of three vacant parcels located at the northeast corner of Market Avenue and Morro Bay Boulevard (see Site D.6 figure) currently used as private surface parking lots. The three parcels total 0.22 acres.

Catalyst Projects

The anticipated future catalyst projects at this site are a full-service hotel and conference center or creative mixed-use project. If the chosen catalyst project was a full-service hotel and conference center a portion but not all of that type of facility could be accommodated on these lots. While progress is made towards a permanent catalyst project on this site it is anticipated interim uses may occur here. These interim uses could include parking, passive recreation and landscape maintenance.

Existing General Plan

The existing land use designation on the site is Visitor Serving Commercial. This designation would allow either the existing use (surface parking) or the full-service hotel and conference center catalyst project. It could also accommodate a wider range of alternative visitor-serving uses consistent with the Coastal Act.

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SITE D.6: VACANT LOTS AT MARKET AVE AND MORRO BAY BLVD



Preferred Alternative

LEGEND

- | | |
|----------------------|------------------------------|
| Opportunity Site | General Plan Land Use |
| Parcels | Mixed Use |
| Morro Bay City Limit | |



Source: City of Morro Bay (2016);
San Luis Obispo County (2016);
Michael Baker Intl (2016).

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Land Use Alternatives Memo

Preferred Alternative

The creative mixed-use catalyst project would require a change in land use designation for this site to Mixed Use.

D.7 City-Owned Lots at Embarcadero and Pacific Street

Existing Conditions

This site consists of six City-owned vacant parcels at the northeast corner of Embarcadero and Pacific Street (see Site D.7 figure). The parcels total 1.43 acres.

Five of the parcels are on Embarcadero and one is on the other side of Market Avenue on Pacific Street. Many of these lots are currently used as public surface parking lots.

Catalyst Projects

The anticipated future catalyst projects at this site are a market/seafood hall, ecotourism, or a full-service hotel and conference center. While progress is made towards a permanent catalyst project on this site, it is anticipated interim uses may occur here. These interim uses could include parking, passive recreation and landscape maintenance.

Existing General Plan

The existing land use designations on the site are Visitor Serving Commercial and Mixed Use. These designations could accommodate the existing use (surface parking), or the market/seafood hall, museum, or full-service hotel and conference center. They could also accommodate a wider range of alternative visitor-serving uses consistent with the Coastal Act.

Preferred Alternative

Depending on the specific proposed use, ecotourism uses could require land use designation changes on a portion of the site from Visitor Serving Commercial to Mixed Use. This could impact the existing supply of public parking and reduce the amount of visitor-serving commercial area located within the coastal zone. Unless these reductions

ATTACHMENT 1

Land Use Alternatives Memo

are offset by land use changes on other opportunity sites within the coastal zone, this could be determined to be in conflict with the Coastal Act by the California Coastal Commission.

D.8 Vacant Lot at Embarcadero and Marina Street

Existing Conditions

This site consists of one vacant 0.28-acre parcel located at the northeast corner of Embarcadero and Marina Street near the Shell Shop and aquarium (see Site D.8 figure). The site is currently unpaved and not in use.

Catalyst Projects

The anticipated future catalyst projects at this site are a market/seafood hall, family outdoor entertainment, ecotourism, a cultural, maritime, or historical museum, or full-service hotel and conference center. It may also be subject to the proposed Embarcadero streetscape furnishing palette. If the chosen catalyst project was a full-service hotel and conference center a portion but not all of that type of facility could be accommodated on these lots. While progress is made towards a permanent catalyst project on this site it is anticipated interim uses may occur here. These interim uses could include parking, passive recreation and landscape maintenance.

Existing General Plan

The existing land use designation on the site is Visitor Serving Commercial. This designation could accommodate the existing use or the market/seafood hall, family outdoor entertainment, museum, or full-service hotel and conference center (within the constraints of the size of these parcels as discussed above). It could also accommodate a wider range of alternative visitor-serving uses consistent with the Coastal Act.

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SITE D.7: CITY LOTS AT EMBARCADERO AND PACIFIC ST



LEGEND

- Opportunity Site
- Parcels
- Morro Bay City Limit
- General Plan Land Use
- Mixed Use

*Sources: City of Morro Bay (2016);
San Luis Obispo County (2016);
Michael Baker Intl (2016).



SITE D.8: VACANT LOT AT EMBARCADERO RD AND MARINA ST

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Preferred Alternative



LEGEND

- Opportunity Site
- Parcels
- Morro Bay City Limit
- General Plan Land Use
- Mixed Use

Source: City of Morro Bay (2016);
San Luis Obispo County (2016);
Michael Baker Intl (2016).



Preferred Alternative

Depending on the specific proposed use, ecotourism uses could require a land use designation change to Mixed Use. This could reduce the amount of visitor-serving commercial area located within the coastal zone. Unless this reduction is offset by land use changes on other opportunity sites within the coastal zone, this could be determined to be in conflict with the Coastal Act by the California Coastal Commission.

D.9 Vacant Lot at Harbor Street and Morro Avenue

Existing Conditions

This site consists of one 0.4-acre vacant parcel at the southwest corner of Harbor Street and Morro Avenue (see Site D.9 figure). It is currently an unpaved vacant lot.

Catalyst Projects

The anticipated future catalyst projects at this site are a creative mixed-use project or a cultural, maritime, or historical museum.

Existing General Plan

The existing land use designation on the site is Visitor Serving Commercial. This designation could accommodate the museum. It could also accommodate a wider range of alternative visitor-serving uses consistent with the Coastal Act.

Preferred Alternative

The creative mixed-use catalyst project would require a change in land use designation for this site to Mixed Use. This could impact the amount of visitor-serving commercial area located within the coastal zone. Unless this reduction is offset by land use changes on other opportunity sites within the coastal zone, this could be determined to be in conflict with the Coastal Act by the California Coastal Commission.

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SITE D.9: VACANT LOT AT HARBOR ST AND MORRO AVE



LEGEND

- Opportunity Site
- Parcels
- Morro Bay City Limit
- General Plan Land Use
Mixed Use

Sources: City of Morro Bay (2016);
San Luis Obispo County (2016);
Michael Baker Intl (2016).



Site E: North Main Street Corridor

Existing Conditions

This site makes up the commercial corridor along Main Street just east of Highway 1 in north Morro Bay (see Site E figure). It spans 1.9 miles from close to the northern city limit, just east of Highway 1, and includes crossings of Tahiti, Sequoia, San Jacinto, Elena, Bonita, and Hill Streets.

Existing General Plan

The existing land use designations along this corridor include Mixed Use, Medium Density Residential/Neighborhood Commercial, and High Density Residential. The purpose of the existing land use designations is to support highway-serving commercial uses, but the actual on-the-ground uses are mostly neighborhood-serving commercial uses.

Preferred Alternative

The future land uses for this site should address the actual neighborhood trends and on-the-ground land uses. There is a need for more neighborhood-serving commercial uses fronting Main Street. This can be accomplished by replacing the Mixed Use designation in this area with Neighborhood Commercial. Neighborhood Commercial should be applied independently from a residential designation (i.e., without the option for residential use) which contrasts with the practice identified in the existing Land Use Element and on the Land Use Map. Some nodes for focusing the neighborhood-serving commercial uses are suggested in circles on the Site E figure.

Existing commercial uses should be preserved rather than replaced with residential uses in this area. Residential uses should be allowed only above or behind other commercial uses in the Neighborhood Commercial areas. Between Sequoia Street and Elena Street, where the existing designation is Medium Density Residential/Neighborhood Commercial, the land uses should be changed to reflect the on-the-ground land uses. The existing motel should be designated Visitor Serving Commercial and the remainder of the parcels should be designated Low Density Residential.

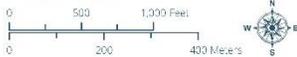
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SITE E: NORTH MAIN CORRIDOR



Preferred Alternative



LEGEND

- Opportunity Site
- Parcels
- Morro Bay City Limit
- General Plan Land Use - Low Density Residential
- High Density Residential
- Visitor Serving Commercial
- Neighborhood Commercial

Source: City of Morro Bay (2014);
San Luis Obispo County (2014);
V. Chad Jaker (2016).



Site F: Tri-W Site

Existing Conditions

The Tri-W site is located on the north side of Highway 1 adjacent to the Morro Bay Boulevard exit (see Site F figure). It is a vacant area made up of four parcels of hilly topography covered in annual grasses. The site was a subject of a voter referendum in 1990. Measure H (Ordinance No. 389) limited the zones and uses at the Tri-W property. It allows commercial development on only 13 acres of the 30-acre property, and establishes the location of the commercial uses to be “generally located adjacent to Highway 1 and Morro Bay Boulevard.” Any changes to these land uses would require voter approval by the citizens of Morro Bay.

Preferred Alternative

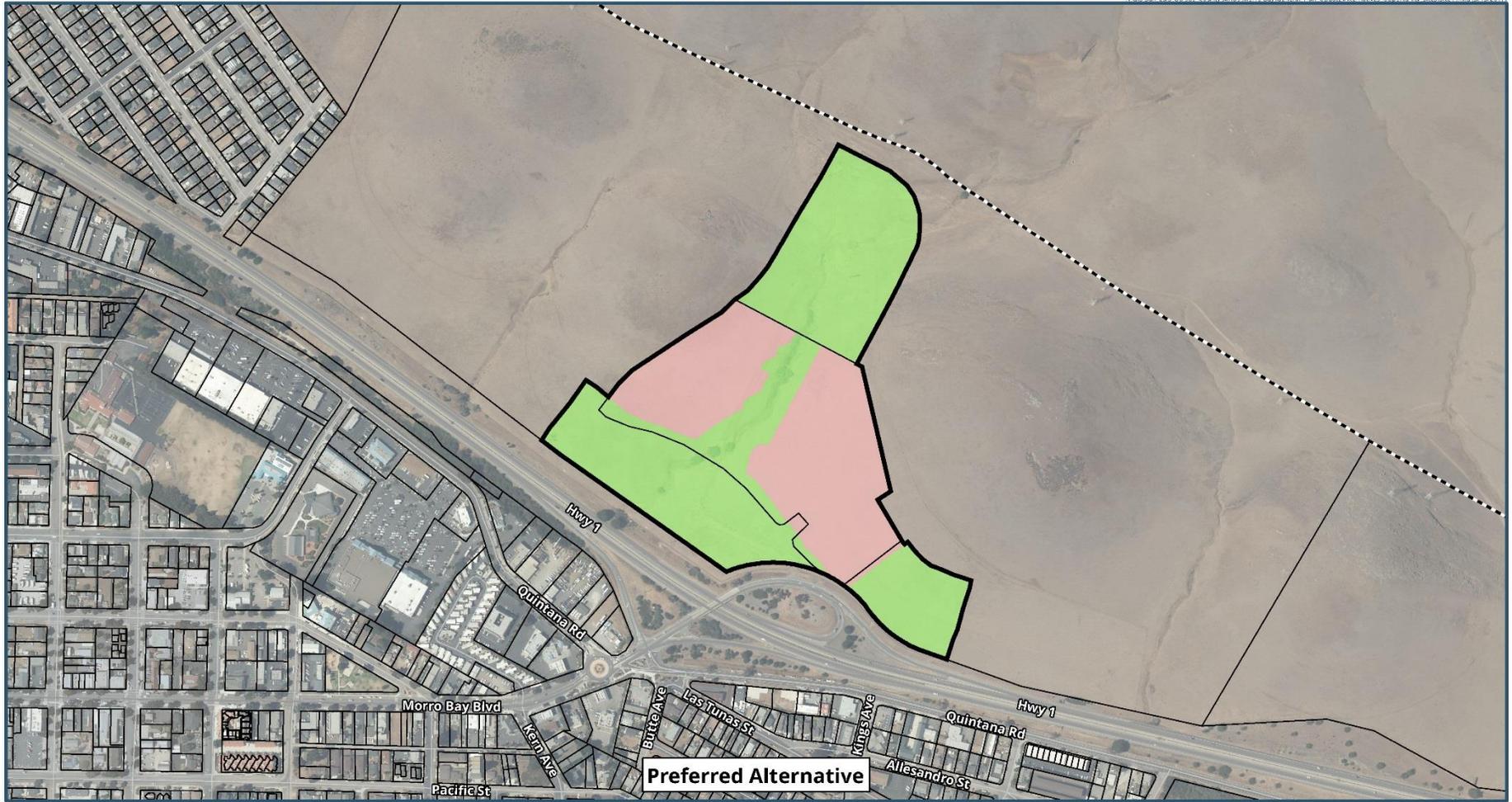
The preferred alternative on this site is to maintain the existing land use designations of Open Space/Recreation and District Commercial and not revisit Measure H.

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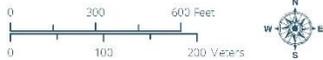
SITE F: TRI-W



Preferred Alternative

LEGEND

- | | |
|----------------------|------------------------------|
| Opportunity Site | General Plan Land Use |
| Parcels | District Commercial |
| Morro Bay City Limit | Open Space / Recreation |



Sources: City of Morro Bay (2011); San Luis Obispo County (2011); Michael Soler, Inc. (2015).



Site G: State Route 41 Gateway

Existing Conditions

This site is located on either side of SR 41 as it enters Morro Bay from the east. The area is a gateway to the city (see Site G figure). Existing on-the-ground uses include residential, commercial, visitor-serving commercial uses like gas stations and fast food, and landscaping, and the Silver City mobile home park. Future new development should improve this area as a gateway, including inviting-looking visitor-serving uses.

Existing General Plan

The existing land use designations on this site are Visitor Serving Commercial, General (Light) Industrial, Mixed Use, and High Density Residential. These designations would accommodate most of the existing uses and could support enhancing the areas as a gateway.

Alternative 1

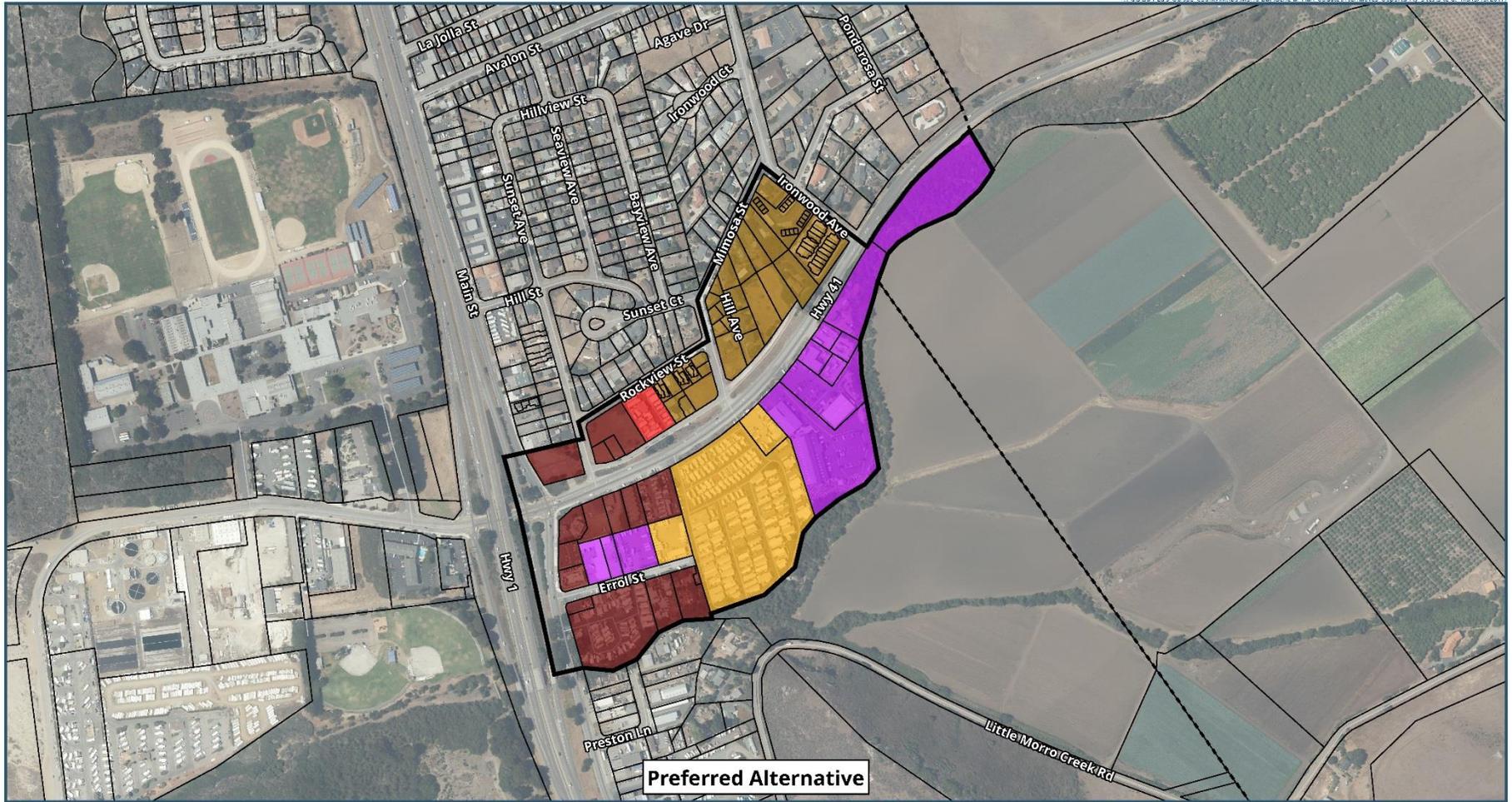
Future land use changes in this area should reflect the on-the-ground land uses and encourage more visitor-serving uses along this gateway. The parcel where the mobile home park is located could be redesignated from Visitor Serving Commercial to Medium Density Residential. The area adjacent to Highway 41 on the north side closest to Highway 1 could be redesignated from Mixed Use to Visitor Serving Commercial. The rest of the land use designations are not proposed to change.

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Land Use Alternatives Memo



SITE G: HIGHWAY 41 GATEWAY



Preferred Alternative



LEGEND

- Opportunity Site
- Parcels
- Morro Bay City Limit
- Preferred Alternative
- Medium Density Residential
- High Density Residential
- Neighborhood Commercial
- Visitor Serving Commercial
- General (Light) Industrial

Sources: City of Morro Bay (2016), San Luis Obispo County (2016), Michael Baker Intl (2016).



Site H: Measure D Area

Existing Conditions

This site sits along the north Embarcadero and includes the properties on the bay side of the Embarcadero as well as Coleman Park (see Site H figure). The site was a subject of a voter referendum in 1981. Measure D (Ordinance No. 207) restricts development on state-owned tidelands between Beach Street and Target Rock. Only development serving primarily commercial or recreational fishing is permitted. Any changes to these land uses would be subject to voter approval by the citizens of Morro Bay.

Existing General Plan

The majority of this site is currently designated Commercial/Recreational Fishing, along with a small amount of Coastal Dependent Industrial, and Open Space/Recreation.

There is a desire within the community and by the City to better define what is allowed in the Measure D area as the existing ordinance language has some ambiguities. However, no changes to the land use designations are proposed. Therefore, no land use alternatives are proposed for this area.

Preferred Alternative

Except for minor changes to make land use and zoning consistent on this site, no changes to land use are proposed. Clarification of Measure D could be considered during the zoning code update.

Site I: Morro Bay Boulevard Gateway

Existing Conditions

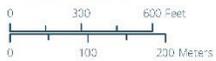
This site centers on Morro Bay Boulevard from the traffic circle at the Highway 1 exit south to Napa Avenue (see Site I figure). City Park is included in this site. This area represents the main gateway to the city from Highway 1 as well as the entrance to downtown.

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Land Use Alternatives Memo



SITE H: MEASURE D/CF AREA



LEGEND

Opportunity Site	General Plan Land Use
Parcels	Coastal Development Industrial
Morro Bay City Limit	Commercial / Recreational Fishing
	Harbor / Navigational Ways
	Open Space / Recreation

Source: City of Morro Bay (2013), San Luis Obispo County (2016), Michael Baker Inc. (2015).

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Land Use Alternatives Memo

Existing General Plan

Existing land use designations on this site include Mixed Use, District Commercial, Open Space/Recreation (City Park), and a small amount of High Density Residential.

The future vision for this site is driven by the desire to improve the area as a welcoming gateway and further unify the proposed uses. Future development should include a trend away from residential development and standards could be changed to prohibit new street-fronting residential development. The City should also consider a Civic Center Master Plan for the City-owned properties included as part of this site. The master plan could include plans for future upgrades to existing buildings and for additional density on City-owned properties in the long term.

Preferred Alternative

As part of the desire to improve this area and create a welcoming environment, this alternative proposes to change the land use designation on the far western end of the block containing City Park from District Commercial to Open Space/Recreation. This creates a future opportunity to expand the park.

Site J Quintana Road North of Roundabout

Existing Conditions

This site runs west along Quintana Road from Morro Bay Boulevard to Main Street on the south side of Highway 1 (see Site J figure). Existing on-the-ground land uses include highway-serving commercial uses like grocery stores and other retail uses and non-retail commercial, as well as a closed elementary school located on property owned by the school district.

Existing General Plan

The existing General Plan land use designations on this site include Mixed Use, District Commercial, Medium Density Residential, High Density Residential (at the closed school site), and Service Commercial.

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Preferred Alternative

Minor changes are envisioned to the existing General Plan land use designations in this area to reflect the envisioned future character and consolidate land uses. Parcels located at the shopping center currently designated Mixed Use could be changed to Service Commercial.

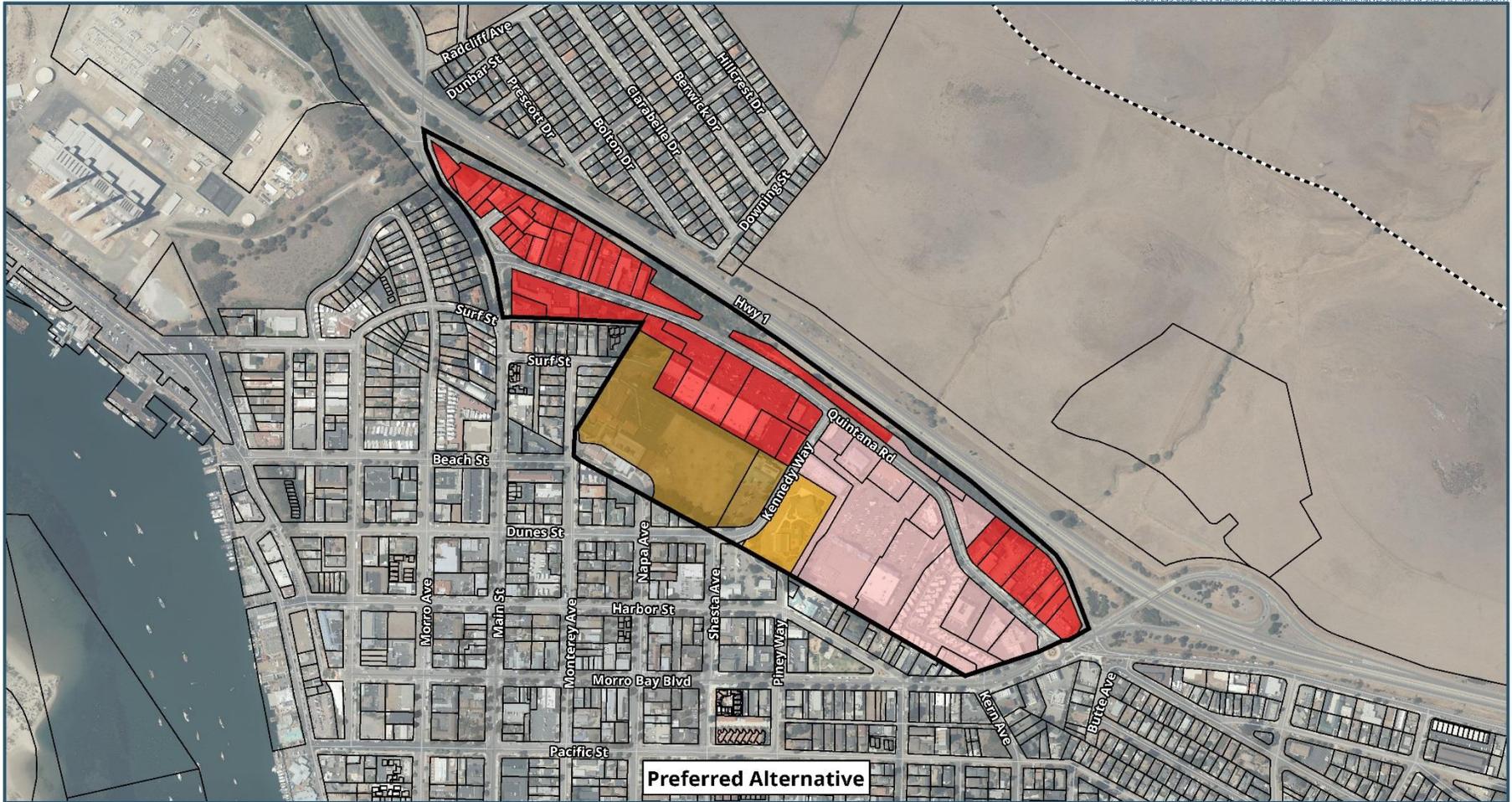
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SITE J: HIGHWAY SERVING COMMERCIAL ALONG QUINTANA ROAD

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Preferred Alternative

LEGEND

- | | | |
|----------------------|------------------------------|---------------------|
| Opportunity Site | General Plan Land Use | District Commercial |
| Parcels | Medium Density Residential | Service Commercial |
| Morro Bay City Limit | High Density Residential | Mixed Use |



Source: City of Morro Bay (2014);
San Luis Obispo County (2016);
Michael Bayer Inc (2016).



Planning Area and Sphere of Influence

The areas discussed in this section are currently located outside of the Morro Bay city limits. As part of **Plan Morro Bay**, the City is considering establishing a planning area that extends beyond the city limits. In the future, the City may consider adding certain parts of the planning area into its sphere of influence (SOI) or annexing parcels. (Annexation was discussed earlier in the memo for Site C.) These areas are different from the opportunity sites discussed above because they do not currently have City land use classifications applied to them and they are not currently within the City's land use jurisdiction. If these areas were placed in the planning area, the City would have greater influence in these areas and would request to be notified by the County when any land use applications or other planning processes occur in these areas. If any of these areas were to be included in the City's SOI, they would need to proceed through LAFCO's process to be included in the SOI. If any portions of these areas were to be annexed, they would proceed through LAFCO's process and a City annexation process.

Study Area 1

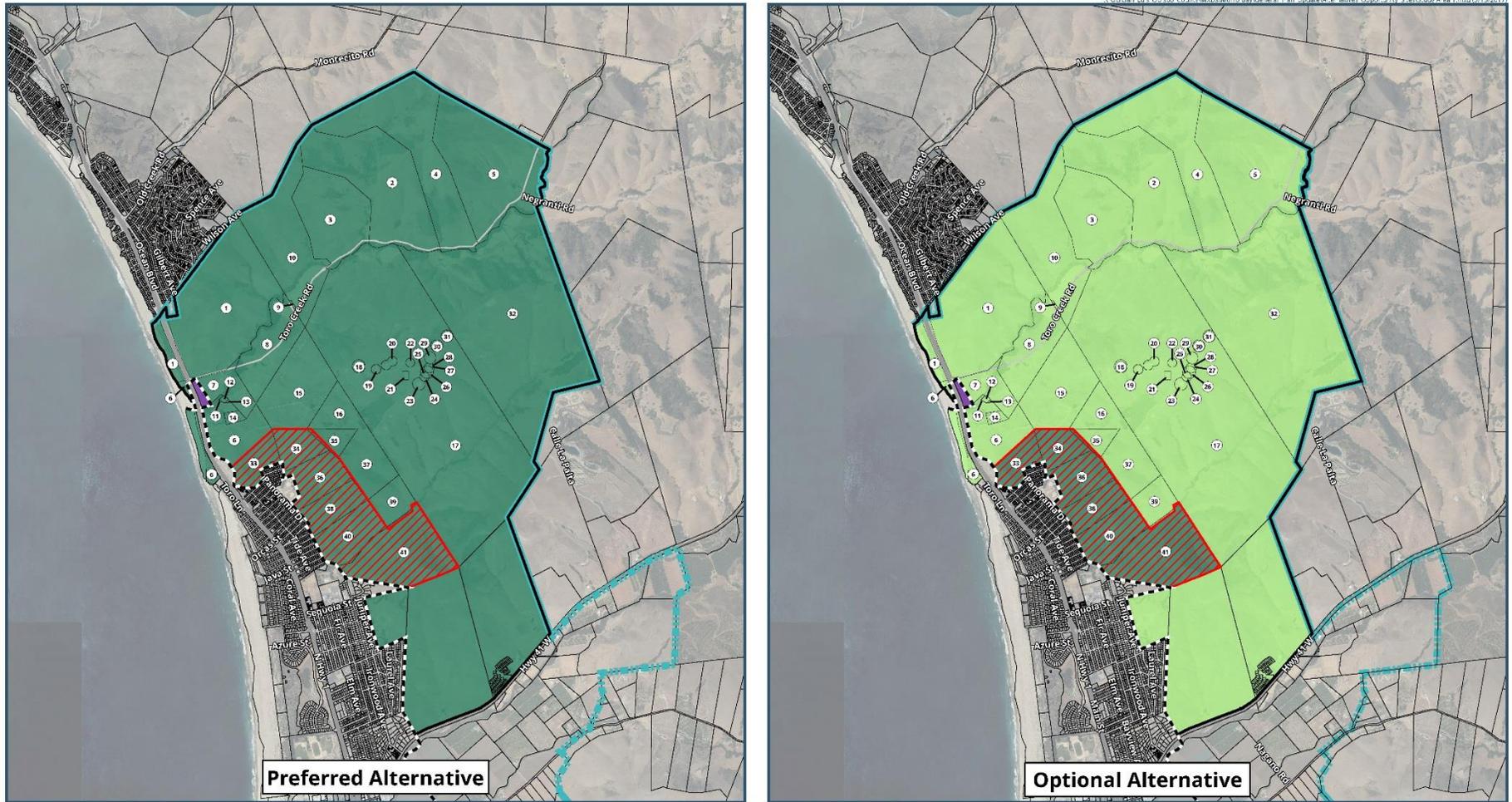
Study Area 1 is located east of the city limits from north of Toro Creek Road south to SR 41 (see Study Area 1 figure). It consists primarily of annual grasslands. Much of Study Area 1 includes the former site of the Estero Marine Terminal, which is owned by Chevron. The Estero Marine Terminal site includes marine terminal offices and a former tank farm. The area also contains a 200-acre parcel that includes a mobile home park in a portion of the area. About half of Area 1 is located in the coastal zone. Chevron is currently exploring options to divest from its property ownership in this area. Chevron has presented several times to the GPAC about its properties and potential options for future use of those properties. The figures and parcel numbers referenced in this section are based on maps Chevron presented. The City proposes to include part of this study area in its General Plan planning area and part in its SOI.

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STUDY AREA 1



Preferred Alternative

Optional Alternative

LEGEND

- | | |
|------------------------------|--------------------------------|
| Study Area | Coastal Development Industrial |
| Proposed Sphere of Influence | Agriculture |
| Proposed Plan Area Boundary | Open Space/Recreation |
| Parcels | |
| Morro Bay City Limit | |



Source: City of Morro Bay (2016);
San Luis Obispo County (2016);
Michael Baker Corp. (2016)



Proposed Sphere of Influence

About 25 percent of Study Area 1 is proposed for inclusion in the City's SOI. This area is all currently owned by Chevron and includes areas with potential for residential and commercial development.

Existing Conditions

This area includes the former marine terminal and all of the Chevron parcels on the west side of Highway 1. It also surrounds an area (east of Highway 1) that is already in the city limits. Much of the area proposed to be in the City's planning area (outside the SOI) is more pristine than the proposed SOI area and includes some high-quality natural habitat. However, this area also includes the former Chevron tank farm as well as some existing residential development adjacent to SR 41.

Existing General Plan

The property already located within the city limits is designated Coastal Dependent Industrial and is adjacent to another area (west of Highway 1) that is in the City's current SOI. The existing County General Plan land use designations in this area are Agriculture and Recreation.

Preferred Alternative

Under the preferred alternative, Chevron parcels 33, 34, 36, 38, 40, and 41 would become part of the City's SOI and be designated Agriculture with the restriction of one residential unit per parcel. Under this alternative, only six residential units would be allowed on parcels adjacent to the existing city limits and the balance of this site would be included in the City's planning area with a designation of Agriculture.

Optional Alternative

Under this slightly different optional alternative, Chevron parcels 33, 34, 36, 38, 40, and 41 would also become part of the City's SOI and be designated Agriculture with the restriction of one residential unit per parcel. Similarly under this alternative, only six residential units would be allowed on parcels adjacent to the existing city limits. The



balance of this site would be included in the City's planning area with a designation of Open Space/Recreation.

Study Area 2

Study Area 2 is located east of the Morro Bay city limits and south of SR 41 (see Study Area 2 figure). Most of the land in this area is located north of Little Morro Creek Road, although a few parcels extend south of the road. The area is entirely within the Coastal Zone.

Existing Conditions

Most of this area is under agricultural cultivation and is relatively flat. Avocado orchards are situated on many parcels, while other properties are used to grow field crops.

The vast majority of the land in Study Area 2 is designated as "prime soils." With the exception of some of the northeast portion of Study Area 2, large sections of the area are also considered prime agricultural land, and some parcels are under Williamson Act contracts.

Existing General Plan

The existing County General Plan land use designation in this area is Agriculture.

Preferred Alternative

The City's future vision for this area would be to retain the area in agriculture with the potential for conservation/preservation in the long term. This site would be included in the City's planning area with a designation of Agriculture.

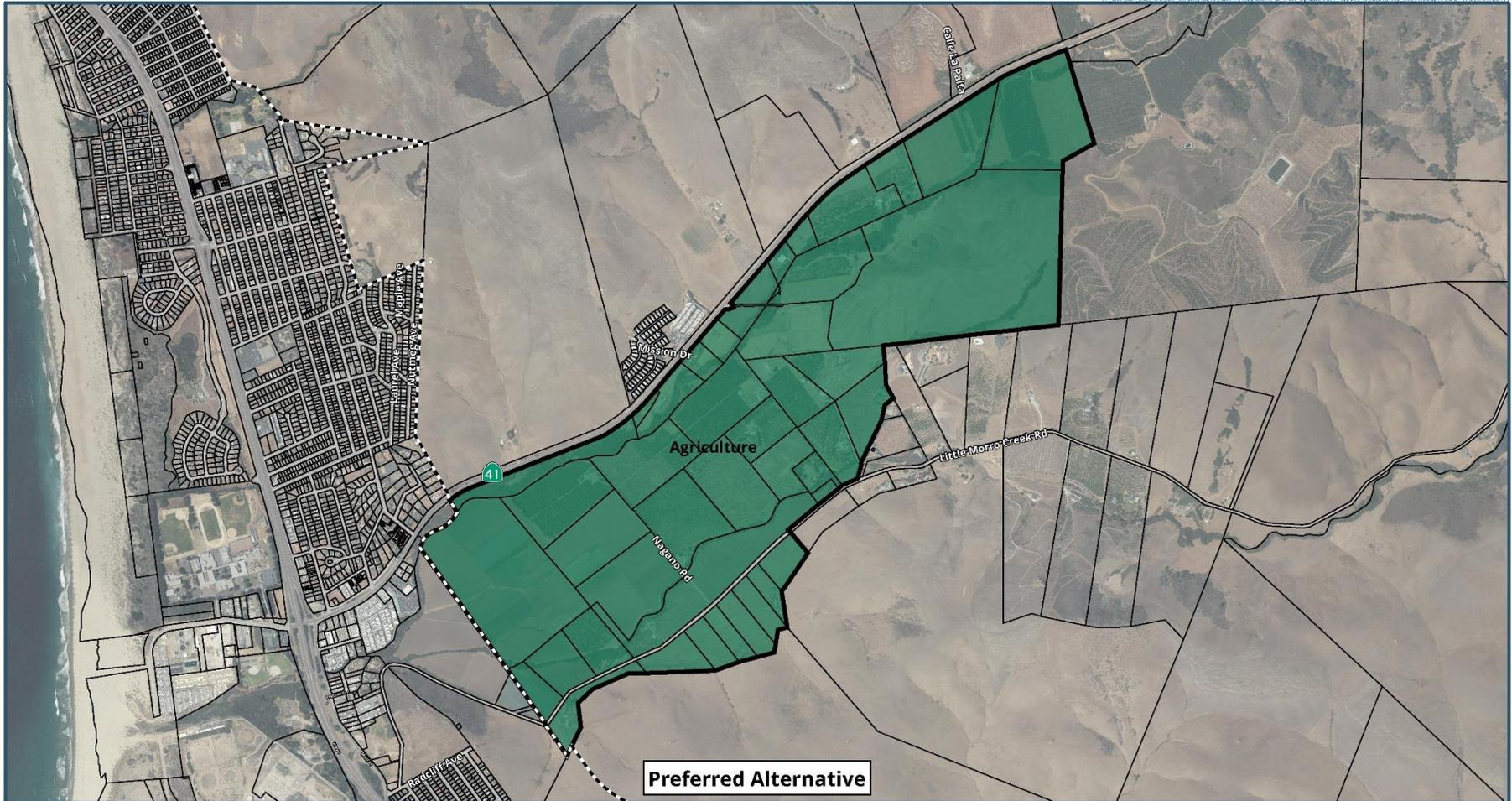
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STUDY AREA 2

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Preferred Alternative

LEGEND

- Study Area
- Parcels
- Morro Bay City Limit
- General Plan Land Use
- Agriculture



Sources: City of Morro Bay (2015);
San Luis Obispo County (2015);
Michael Baker Intl (2015).



Study Area 3

Study Area 3 is located north of Highway 1 adjacent to the Tri-W parcel that is located inside the city limits. It is east of Little Morro Creek Road and west of South Bay Boulevard (see Study Area 3 figure).

Existing Conditions

Most of this area is used for grazing and is quite hilly. It is currently undeveloped. The City is currently evaluating an area at the southeast corner of this study area for the future location of the City's WRF. If that facility is approved, that portion of the study would be annexed and designated Public Facility as detailed under Site C above.

Existing General Plan

The existing County General Plan land use designation in this area is Agriculture.

Preferred Alternative

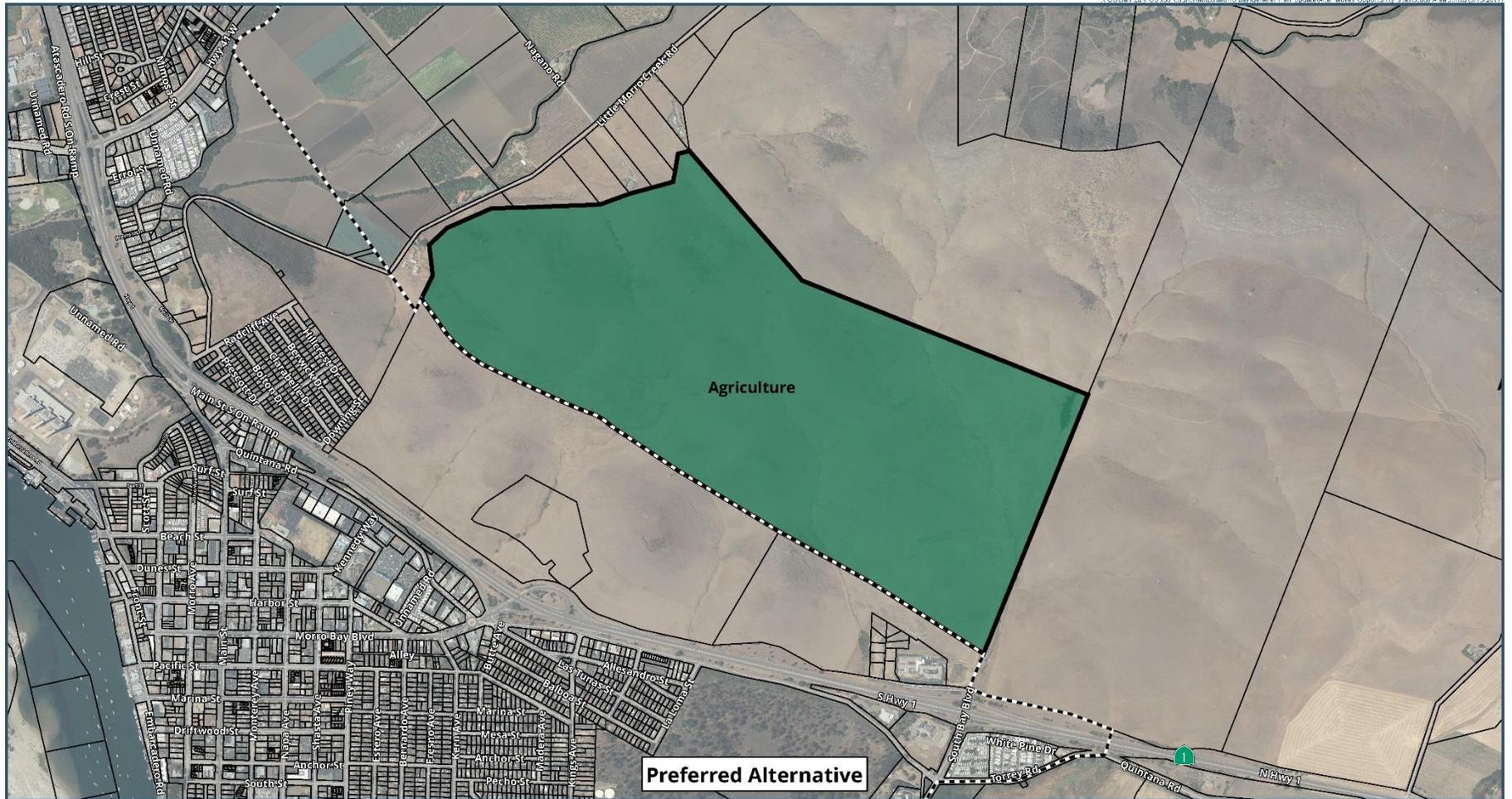
For the remainder of this area (aside from the WRF), or for the whole study area if the WRF location is not approved here, the City's future vision for this area would be to retain the area in agriculture with the potential for conservation/preservation in the long term. This site would be included in the City's planning area with a designation of Agriculture.

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Land Use Alternatives Memo



STUDY AREA 3



- LEGEND
- Study Area
 - Parcels
 - Morro Bay City Limit
 - General Plan Land Use
 - Agriculture

Source: City of Morro Bay (2016),
San Luis Obispo County (2016),
Michael Baker (2016).



Study Area 4

Study Area 4 is located east of the Morro Bay city limits and south of Highway 1, extending east almost to Hollister Peak (see Study Area 4 figure). The terrain of Study Area 4 is fairly flat, lying just north of Cerro Cabrillo and Hollister Peak. Morro Creek runs the length of this study area. The area is located entirely within the Coastal Zone.

Existing Conditions

Much of Study Area 4 is in agricultural cultivation, primarily as row crops. Almost all of the area is considered prime soil, and some parcels qualify as prime agricultural land. One large parcel is under a Williamson Act contract. The area known as Chorro Flats is owned by the Coastal San Luis Resource Conservation District, which maintains approximately 45 acres in active agricultural production and has restored the rest of the land to wetlands and other wildlife habitat.

Existing General Plan

The existing County General Plan land use designation in this area is Agriculture.

Preferred Alternative

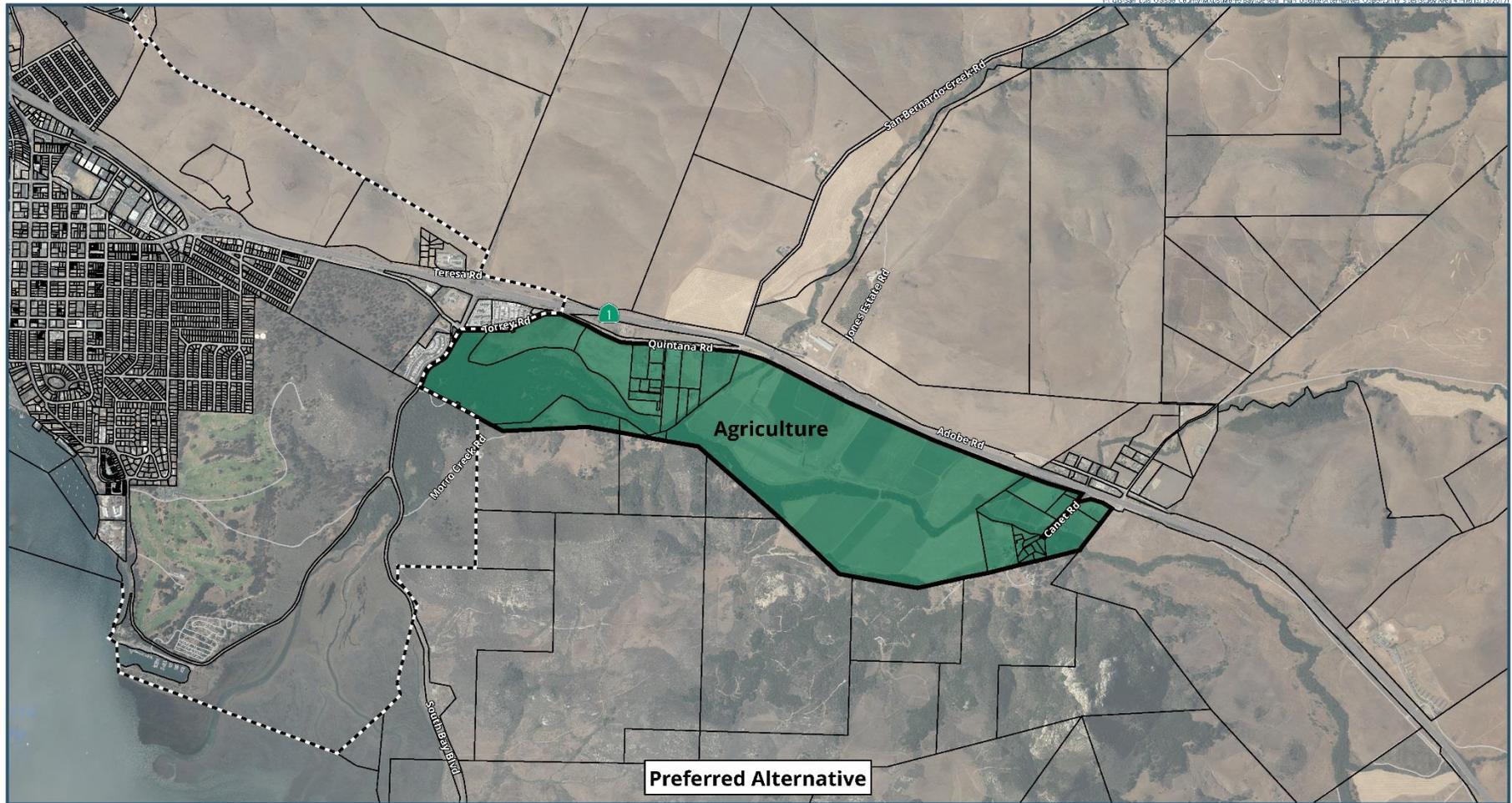
The City's future vision for this area would be to retain the area in agriculture with the potential for conservation/preservation in the long term. This site would be included in the City's planning area with a designation of Agriculture.

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Land Use Alternatives Memo



STUDY AREA 4



LEGEND

- Study Area
- Parcels
- Morro Bay City Limit
- General Plan Land Use
- Agriculture

Sources: City of Morro Bay (2016);
San Luis Obispo County (2016);
Michae Baker Intl (2016).

Attachment:
January 19, 2017 GPAC
Land Use Alternatives Memo

Land Use Alternatives

As part of the initial phases of Plan Morro Bay, the Michael Baker team worked with City staff and the General Plan Advisory Committee (GPAC) to collect and review existing plans, policies, and technical studies; conduct a community engagement program; develop community themes; prepare a Community Vision and Values; and identify key issues to be addressed in the updated General Plan and Local Coastal Plan. As a next step in the Plan Morro Bay process, City staff and the Michael Baker team have used these materials to develop a number of land use alternatives for opportunity sites located throughout the community. We are now seeking GPAC input related to the opportunity sites and alternatives that staff can use to inform recommendations to the Planning Commission and City Council regarding focused changes to land use designations that align with the Community Vision and Values.

This Land Use Alternatives Memorandum guides discussion regarding the selection of land use alternatives for ten opportunity sites and four study areas outside the city limits identified by City staff and the GPAC, where changes to existing land use or other changes to the vision for that site could be anticipated. These sites were presented to the GPAC at the November 17, 2016, meeting. Following that meeting, the project team identified policy approaches and land use alternatives for the opportunity sites for further discussion with the GPAC. Following GPAC discussion, staff and the Michael Baker team will present the opportunity sites and recommended alternatives to the Planning Commission and the City Council. This process will lead to preparation of the General Plan Land Use Map and completion of a draft Land Use Element for the General Plan update.

To facilitate discussion of proposed alternatives, GPAC members should review this document, and consider each site's recommended policies and proposed alternatives prior to the January 19, 2017, GPAC meeting. At the meeting, we will discuss each area and document GPAC comments and recommendations. This input will be used by the Planning Commission and City Council to identify a preferred alternative for each site, or to determine a combination of alternatives that best suits the needs of each area.

Land Use Classifications

Introduction

The Morro Bay General Plan guides the distribution of land use types in the planning area to provide efficient and compatible long-term development. California Government Code Section 65300 states the requirements for the preparation of a general plan, including scope and specific topics that must be covered by the plan. The existing General Plan was adopted in 1988, and includes the following elements:

- Introduction
- Land Use, Open Space, and Conservation
- Circulation
- Visual Resources and Scenic Highway
- Safety
- Noise
- Housing
- Access and Recreation

The land use portion of a general plan is required to establish the general locations for housing, business, industry, open space, and public facilities. It also must include population density and building standards for each district of the planning area. The Morro Bay General Plan land use section is combined with the open space and conservation sections, and includes the authority and purpose of a land use element, existing conditions and issues in Morro Bay, land use classifications, and objectives, policies, and programs regarding land use, open space, and conservation.

Plan Morro Bay also serves as the Local Coastal Program (LCP) for Morro Bay. The LCP consists of a Coastal Land Use Plan (LUP) and Local Implementation Plan; the land use portion of the General Plan will also serve as the LUP portion of the LCP.

Nearly all of Morro Bay is located in the coastal zone, with only the Church of Jesus Christ of Latter Day Saints and five residences on Sequoia Court located outside the coastal zone. Because of its location, the City must also accommodate visitor-serving and coastal-dependent uses adequately in its land use plan.

Existing Land Use Designations

The existing General Plan includes a variety of land use designations which pertain to residential, commercial, industrial, agricultural, mixed-use, visitor-serving, coastal-dependent, public facility, and other uses. The following sections provide an overview of the current land use designation categories. The Coastal Act requires that the LUP include a land use designation or designations that specifically accommodate visitor-serving and coastal-dependent/coastal-related uses. Under the existing Morro Bay General Plan and LUP, the designations that achieve this goal are Visitor Serving Commercial, Commercial/Recreational Fishing, Mariculture and Marine Research, Mixed Uses (Harbor), and Coastal Development Industrial.

Residential

The 1988 Morro Bay General Plan includes four residential land use categories based on the following density levels:

- **Low Density:** Up to 4 units per acre
- **Moderate Density:** 4 to 7 units per acre
- **Medium Density:** 7 to 15 units per acre
- **High Density:** 15 to 27 units per acre

The residential land use designations are the only designations in the existing General Plan with densities or intensities. The updated Plan Morro Bay will include these standards for the proposed land use designations. The majority of parcels designated for residential use in the General Plan are located in the northern and south-central portions of the planning area.

Commercial

In the General Plan, commercial land use categories are generally located along Highway 1 and in downtown, with one small additional commercial area located in the southern coastal area north of Fairbanks Point. Much of the commercial development in Morro Bay is visitor-serving, a category which includes hotels and inns, restaurants, and shops. The five commercial land use categories are:

Land Use Alternatives Memo

- Medium Density Residential/Neighborhood Commercial
- District Commercial
- Service Commercial
- Visitor Serving Commercial
- Commercial/Recreational Fishing

Industrial

The General Plan includes two industrial categories to differentiate coastal-dependent industry from noncoastal-dependent industry: **General (Light) Industrial** is used for noncoastal dependent uses, and **Coastal Dependent Industrial** is used for coastal-dependent uses. Coastal-dependent uses include thermal power plants, seawater intake structures, discharge structures, tanker support facilities, and other similar uses.

Mariculture and Marine Research

Uses allowed in the **Mariculture and Marine Research** designation are coastal-dependent and include the buildings, tanks, raceways, and pipelines for breeding, hatching, grow-out, and related research as well as administrative offices and educational facilities.

Golf Course

Uses in the **Golf Course** designation include golf courses and related facilities such as club houses, pro shops, maintenance buildings, parking areas, and irrigation systems, along with other passive recreational areas.

Harbor/Navigational Ways

The **Harbor and Navigational Ways** designation applies to areas of the city covered by seawater and includes areas from the mouth of the bay to the southern city limits. Uses are restricted to those which must be located on the water in order to function, such as mariculture, boating, fishing, habitat, and visitor-serving uses where public access is enhanced or facilitates coastal-dependent uses.

Land Use Alternatives Memo

Open Space/Recreation

The **Open Space/Recreation** designation includes land which is not defined as environmentally sensitive habitat and is not intended to accommodate intensive recreational activities. Uses in this designation typically include athletic fields, campgrounds, horse stables, and other recreational uses.

Mixed Uses (Harbor)

A mixture of visitor-serving commercial uses and harbor-dependent land uses are accommodated in the **Mixed Uses (Harbor)** designation. Examples include sport fishing facilities, fish stores, gift shops, and recreational boat docks. Areas along the Embarcadero are located within this designation, and include restaurants and hotels as major uses.

Environmentally Sensitive Habitat

The **Environmentally Sensitive Habitat** designation includes protected areas which provide habitat for rare or especially valuable plant or animal life that could be easily disturbed or degraded by human activity. Fishing, clamming, and hiking may be allowed in these areas.

Agriculture

The **Agriculture** designation provides for the identification and preservation of agricultural land for cultivating crops and raising animals. Lands which fit this designation include those with prime soils, prime agriculture land, land in existing agricultural use, land with agricultural potential, and land under Williamson Act contracts. The agriculture designation allows one residential unit per parcel.

Mixed Use

Areas within the **Mixed Use** designation include parts of the city that generally feature a mixture of residential, office, commercial, visitor-serving, and recreational lands.

Land Use Alternatives Memo

Overlays

The following overlays are included in the land classification system:

1. Planned Development
2. Restricted Areas
3. Park
4. School
5. Public/Institutional
6. Interim/Open Space Uses in Industrial Categories

Table 1 below compares the existing general plan land use designations with corresponding zoning districts. The Existing General Plan Land Use Map follows the table.

Land Use Alternatives Memo

Table 1. General Plan Land Use Designation/Zoning Consistency

General Plan Land Use Designation	Description of LU Designation	Allowed Density	Corresponding Zoning Districts
Low Density	Detached single-family homes.	0-4 du/ac	AG, R-A, CRR
Moderate Density	Detached or attached single-family homes.	4-7 du/ac	R-1
Medium Density	Detached or attached single-family homes, townhomes, duplexes, and condominiums.	7-15 du/ac	R-2
High Density	Multifamily housing, including apartments, townhomes, and condominiums.	15-27 du/ac	R-3, R-4
Medium Density Residential/ Neighborhood Commercial	Detached or attached single-family homes, townhomes, duplexes, and condominiums. Provides for the daily needs of residents nearby and includes grocery stores, laundromats, pharmacies, and household stores.	7-15 du/ac	R-2, MCR
District Commercial	District commercial areas serve a regional commercial need such as shopping centers and major goods and services.		C-1, MCR
Service Commercial	Commercial uses that are not compatible with residential neighborhoods, as well as light industrial and manufacturing uses, particularly those related to commercial fishing.		C-2, MCR
Visitor Serving Commercial	Encourages tourist-oriented services and uses at easily accessible and destination locations, particularly along Highway 1.		R-4, C-VS
Commercial/ Recreational Fishing	Implements Measure D, which protects the tidelands area between Beach Street and Target Rock by limiting development and use permits to fishing activities only.		CF
General (Light) Industrial	Light industry uses which are not compatible with residential or most commercial uses.		M-1, C-2
Coastal Dependent Industrial	Specifically for uses which must be located near the coast to function, and are thereby given priority pursuant to the California Coastal Act.		M-2
Mariculture and Marine Research	Areas considered suitable for the propagation and rearing of ocean fish and shellfish.		MMR
Golf Course	Golf courses and related facilities.		GC
Harbor/Navigational Ways	Areas of the city covered by seawater and used for boating, fishing, and visitor-serving uses.		H
Open Space/Recreation	Uses which are not intended for development or intensive recreational uses, but which are not classified as sensitive habitat.		OA

Land Use Alternatives Memo

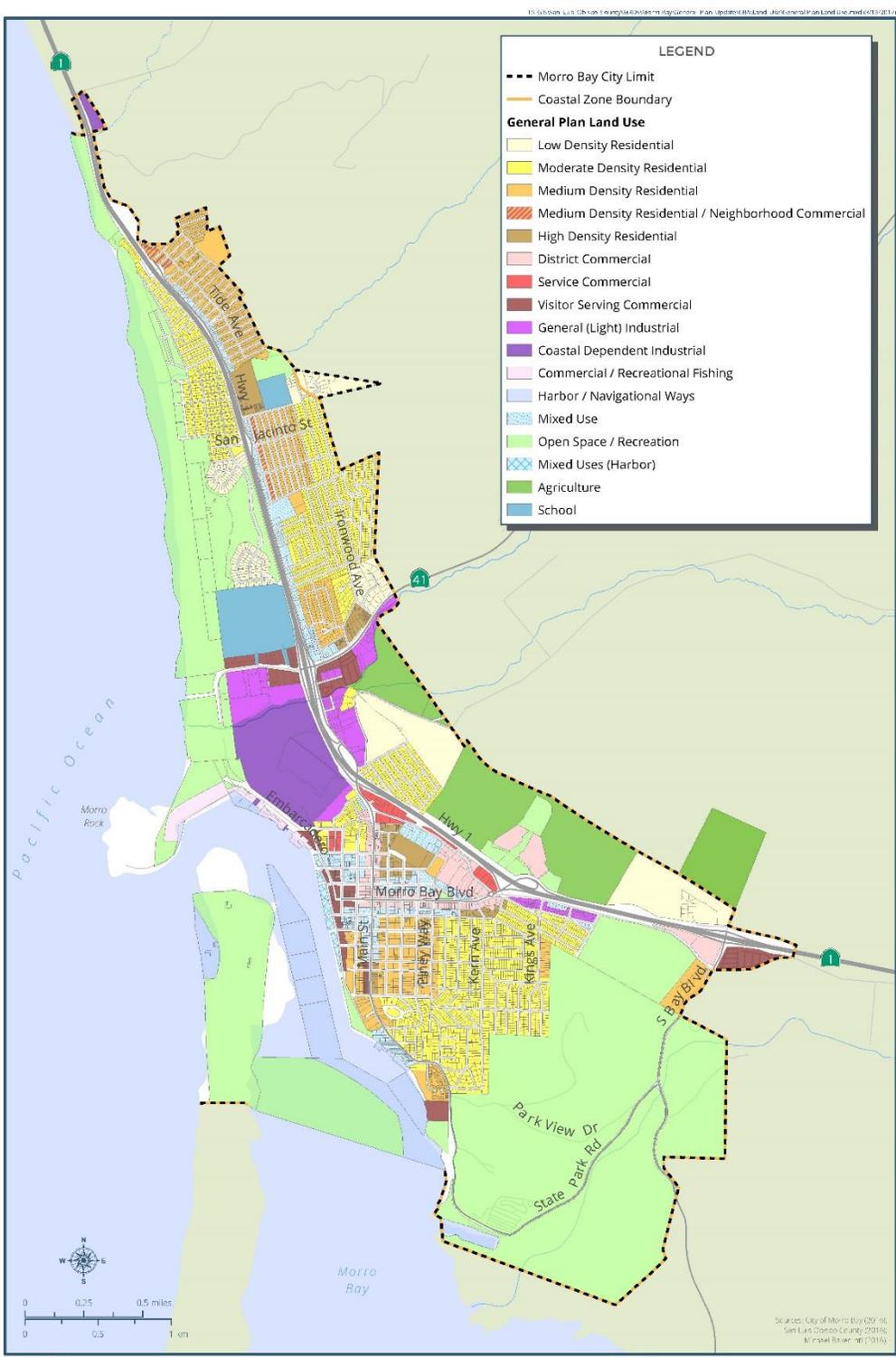
General Plan Land Use Designation	Description of LU Designation	Allowed Density	Corresponding Zoning Districts
Mixed Uses (Harbor)	A mixture of visitor-serving commercial uses and harbor-dependent land uses.		WF
Environmentally Sensitive Habitat	Protection areas which serve as habitat for rare or especially valuable plant or animal life that could be easily disturbed or degraded by human activity.		ESH
Agriculture	Land for cultivating crops and raising animals.		AG
Mixed Use	Mixed-use areas apply to certain parts of the city that generally include a mixture of residential, office, commercial, visitor-serving, and recreational lands.		MCR, G-O, Combining MU ¹
<i>Overlays</i>			
Planned Development	Areas which are part of a precise or specific development plan that has received discretionary City approval.		PD
Restricted Areas	Sensitive habitats which have critical or endangered plant or animal life that would be disturbed by even passive recreational uses.		ESH
Park	Existing or proposed public parks.		No corresponding district identified
School	Existing or proposed school facilities.		SCH
Public/Institutional	Facilities which serve the public, including government buildings and service facilities, or quasi-public facilities such as hospitals and cultural, civic, or religious resources.		No corresponding district identified
Interim/Open Space Uses in Industrial Categories	Areas being held for future use but which may have a temporary use in the meantime.		I

Zoning Districts Legend

- | | | |
|--|--|---|
| <i>R-A Suburban residential district</i> | <i>C-VS Visitor serving commercial district</i> | <i>MMR Mariculture and marine research</i> |
| <i>R-1 Single-family residential district</i> | <i>G-O General office district</i> | <i>SCH School district</i> |
| <i>R-2 Duplex residential district</i> | <i>M-1 Light industrial district</i> | <i>GC Golf course district</i> |
| <i>R-3 Multiple-family residential district</i> | <i>M-2 Coastal-dependent industrial district</i> | <i>PD Planned development, overlay zone</i> |
| <i>R-4 Multiple-family residential-hotel-professional district</i> | <i>AG Agriculture district</i> | <i>ESH Environmentally sensitive habitat overlay zone</i> |
| <i>CRR Coastal resource residential district</i> | <i>OA Open area district</i> | <i>S Special treatment overlay zone</i> |
| <i>C-1 Central business district</i> | <i>WF Waterfront district</i> | <i>Combining MU Combining mixed use overlay zone</i> |
| <i>C-2 General commercial district</i> | <i>CF Commercial/recreational fishing district</i> | <i>I Interim use overlay zone</i> |
| <i>MCR Mixed commercial/residential district</i> | <i>H Harbor and navigable ways district</i> | |
- Note 1: Split zoning makes additional areas consistent with MU.

Land Use Alternatives Memo

Existing General Plan Land Use Designations



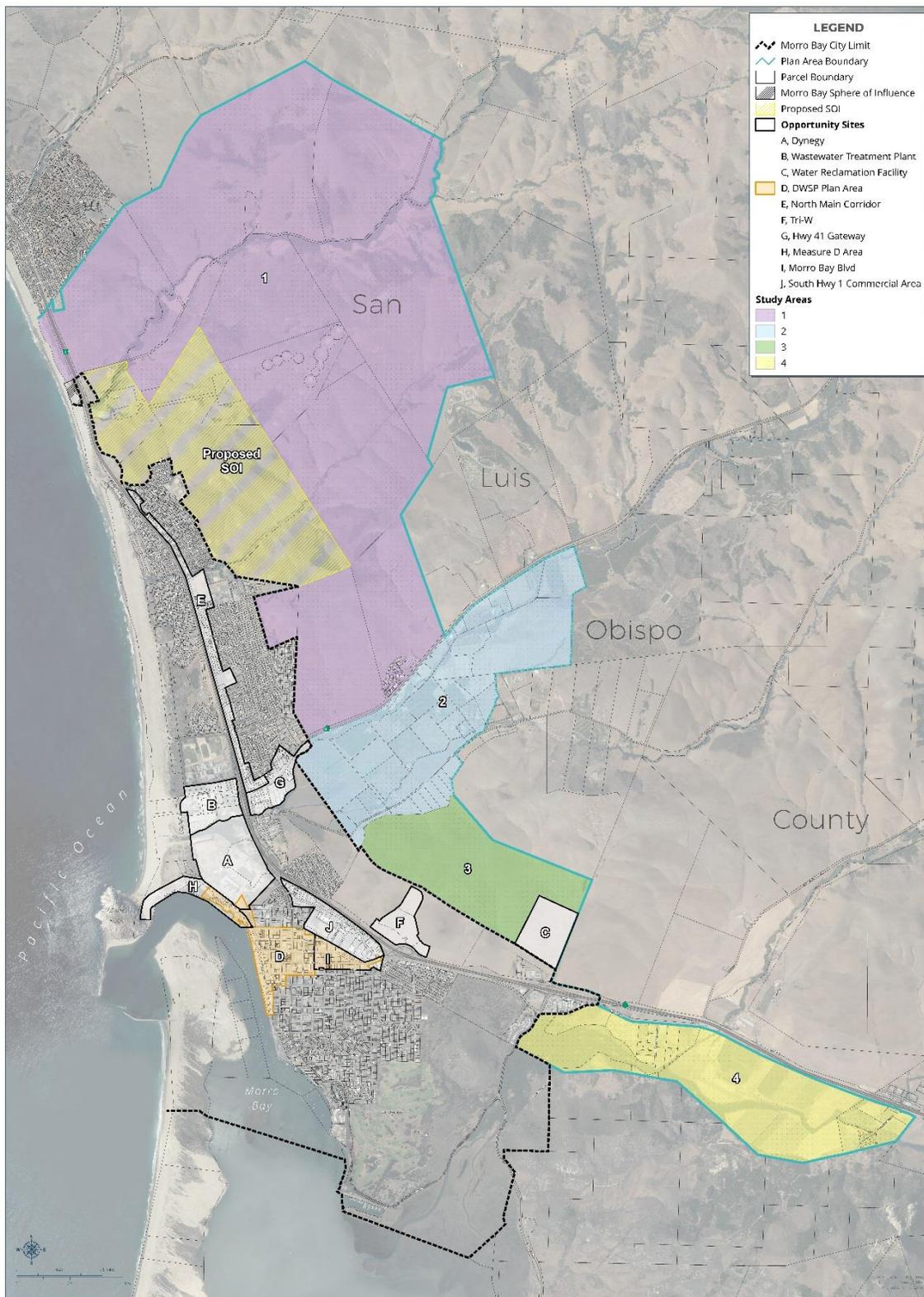
Existing General Plan Land Use Designations

Opportunity Sites

Based upon background research, City staff and GPAC input, and community engagement, ten opportunity sites have been identified (see Opportunity Sites Overview Map on the following page). These are parcels or areas that are likely to change or are seen as in need of change by the community. The Land Use Element provides policy direction to guide these changes and resulting physical development. Changes are primarily accomplished through the zoning code. Ten sites in the city were identified. One of those sites (Site D) is the Downtown Waterfront Strategic Plan (DWSP) area (see Site D figure). Within that site, there are 15 opportunity sites or corridors where change is anticipated. Each of those sites is discussed individually under Site D. Out of the nine other citywide sites, seven have proposed changes to land use. The remaining two were selected for policy recommendations only.

Land Use Alternatives Memo

Opportunity Sites Overview Map



City of Morro Bay General Plan Update
 Opportunity Sites and Study Areas

Site D Map of DWSP Opportunity Sites



Site A: Dynegy Power Plant Site

Existing Conditions

The site of the decommissioned Morro Bay Power Plant owned by Dynegy is located just across from the north Embarcadero and the bay northeast of Morro Rock, north of the public parking lot and south of Morro Creek (see Site A figure). A smaller portion of this opportunity site is the substation owned by PG&E. It is located behind the Dynegy property, and is still operational. The City-owned Triangle Parking Lot parcel is also included at the southern end of this site. The Triangle Parking Lot site is Site D, subsite D.5.

Existing General Plan

The existing General Plan land use designation on the site is Coastal Development Industrial. Dynegy is actively looking to sell its property at the site. Potential future uses for the site could span a broad range including but not limited to recreation/public access, retail, restaurants, senior housing, and an office park. The vision and future land uses for this site will be further defined through a master plan process (or other site-specific planning process) once the site has been sold by Dynegy and before it is redeveloped. PG&E is planning on hardening and moving equipment into a structure on the substation parcel so the facilities footprint will be reduced on their parcel. The northern edge of this site is ESHA.

Alternative 1

Based on the site's location proximate to the coast, and the community input received to date, land use changes are anticipated for the portion of the site owned by Dynegy. The land use designation for the PG&E substation parcel would be Public Facility. The proposed land use designations for the future of the site are predominantly Mixed Use, with some Visitor Serving Commercial uses fronting Embarcadero.

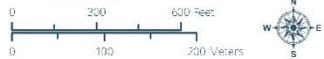
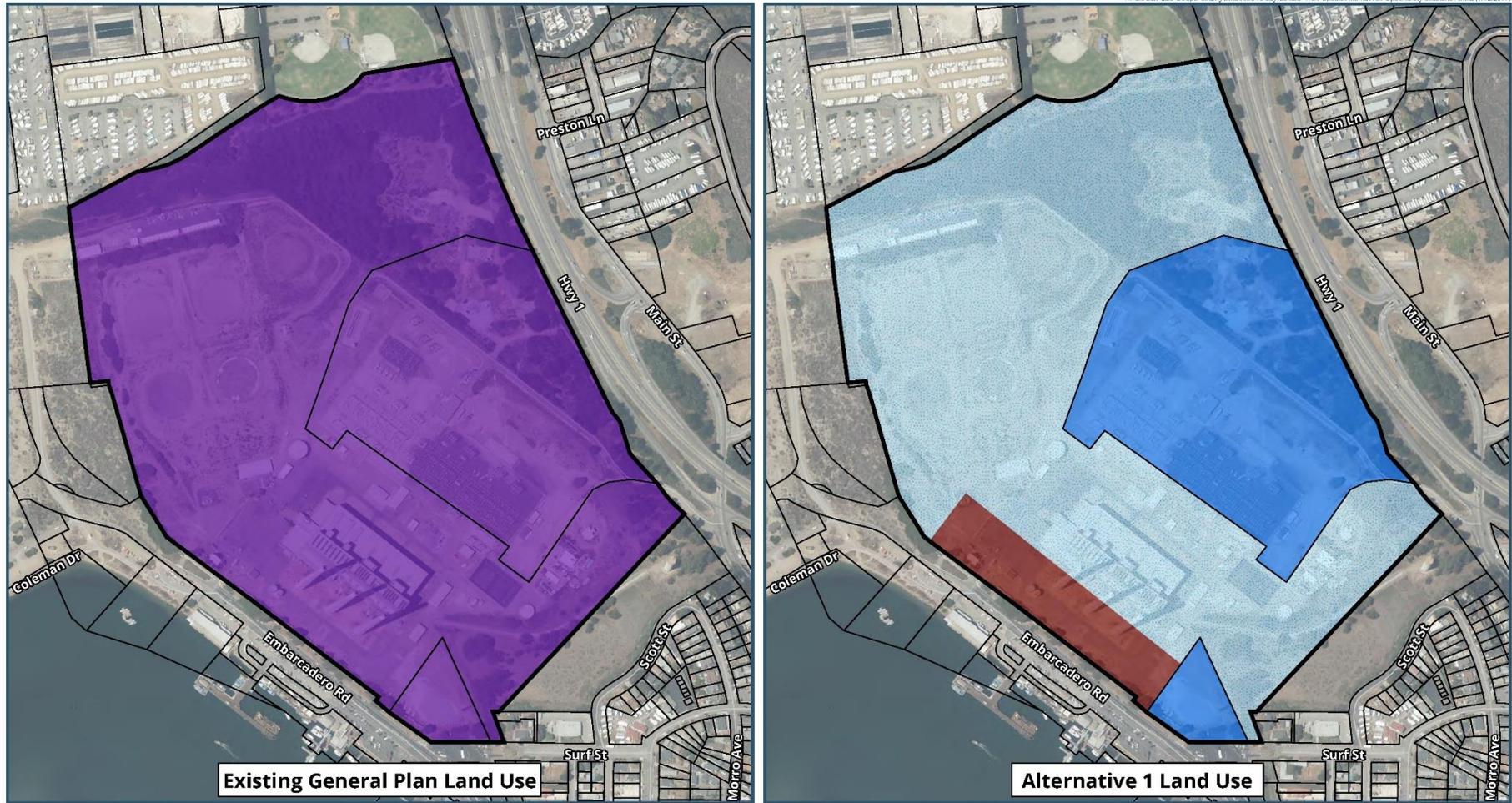
Input Received

- Conduct the master plan or other site-specific planning effort before making detailed land use decisions.

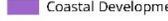
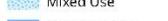
Land Use Alternatives Memo

- A majority of those who provided input preferred Alternative 1 (mixed residential and commercial uses with public/institutional at the PG&E substation),
- Mixed-use, institutional, and maritime supporting (perhaps light industrial) uses were well supported by community members, particularly if the mixed-use development includes multifamily residential and affordable housing. The mixed use allowed on this site should not allow 100% residential development.
- Community members had mixed feelings about the proposed placement of visitor-serving commercial uses on part of the site. Some had more interest in institutional uses (museums, event space, wildlife rescue/rehab center, and nature-based education), housing, and art/cultural (studios, live/work) uses other than visitor-serving commercial.
- Could extend Visitor Serving Commercial to the other side of the creek.
- Community members wanted to preserve the natural areas of the creek by designating the land around it as open space.
- The community felt the triangle parking lot parcel portion of this site is suitable for expansion of the maritime museum and for a boat haulout facility.

SITE A: DYNEGY POWER PLANT



LEGEND

-  Opportunity Site
-  Parcels
-  Morro Bay City Limit
-  Visitor Serving Commercial
-  Coastal Development Industrial
-  Mixed Use
-  Public Facility

Sources: City of Morro Bay (2016); San Luis Obispo County (2016); Michael Baker Intl (2016).

Site B: Existing Wastewater Treatment Plant and Desalination Plant

Existing Conditions

This area is located near the coast along State Route (SR) 41 and Atascadero Road west of Highway 1 (see Site B figure). It includes the City's wastewater treatment plant (WWTP), desalination plant, and driveways to Morro Bay High School. Other uses include motels, the building formerly housing Flippo's roller rink, the skate park and teen center, Lila Keiser Park, and Morro Strand and Morro Dunes RV parks.

Existing General Plan

The existing land use designations on this site are General (Light) Industrial, Visitor Serving Commercial, School, and Open Space/Recreation.

Alternative 1

The future land uses for this site will be driven largely by plans to relocate the existing City WWTP within the next five years. Other potential land use changes in this area rely on less certain potential changes. Land uses are not proposed to change on the former Flippo's site or at the Morro Dunes RV park on the south side of SR 41. The existing land use at Lila Keiser Park does not match on-the-ground land use. This designation would be changed from General (Light) Industrial to Public Facility to reconcile this discrepancy. Public Facility represents a new land use designation proposed for creation in the General Plan update. After the WWTP closes and if the desalination plant closes or is relocated in the future, that portion of this site could be designated for either Visitor Serving Commercial or Open Space/Recreation use. This alternative shows a configuration that would accommodate both uses.

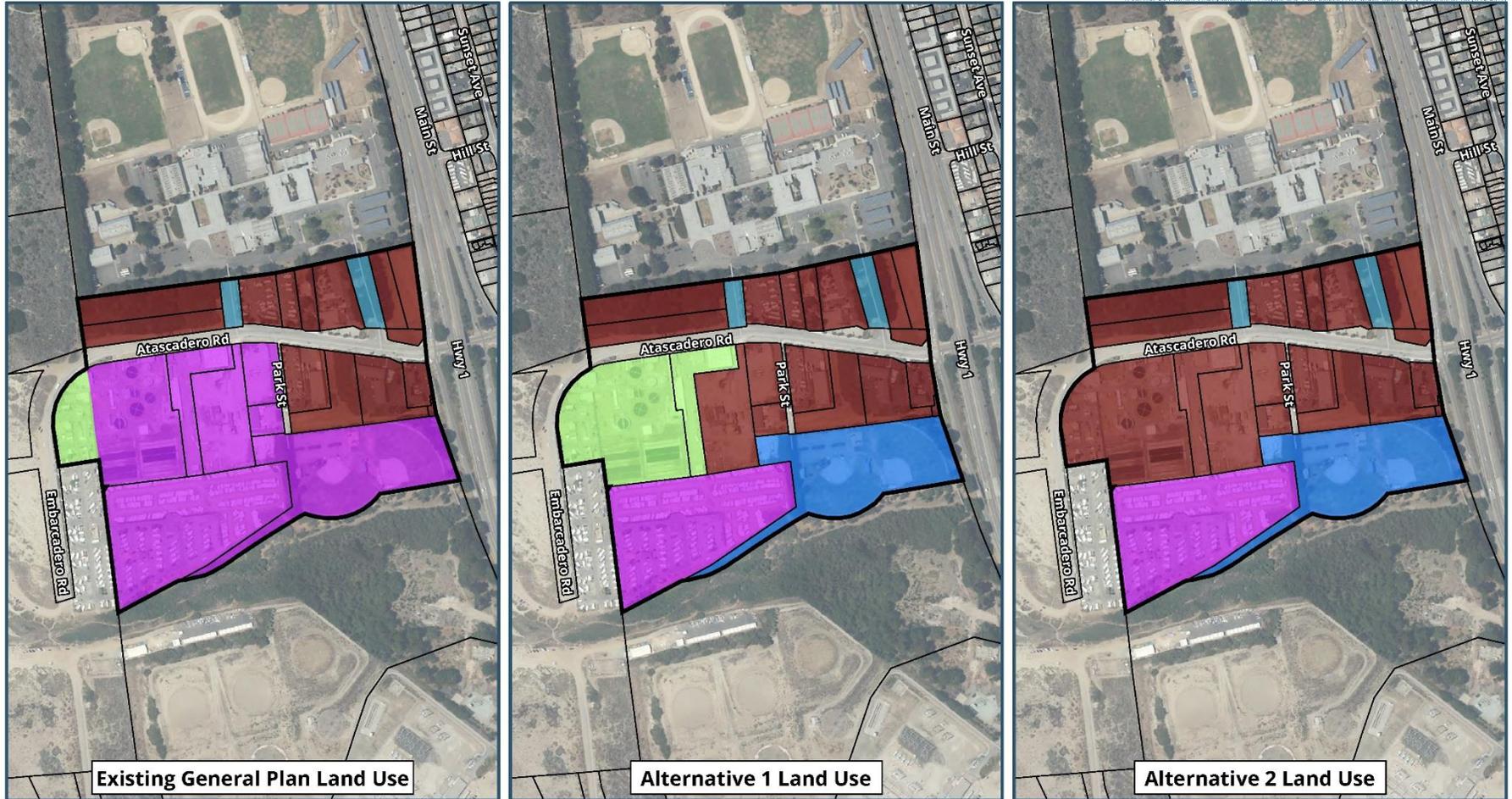
Alternative 2

This alternative would be the same as Alternative 1, except for the WWTP and desalination plant sites. Under this alternative, both of those sites would be designated as Visitor Serving Commercial uses.

Input Received

- Most of those providing input wanted to change the site to a mixture of open space and visitor-serving commercial land uses as called for under Alternative 1.
- Alternative 1 is preferred because the Open Space/Recreation is more resilient to potential flooding/inundation impacts. The preference among participants was to convert part of the site to open space uses, possibly with some recreational facilities or other activities that support neighboring Morro Bay High School.
- The community would like to see improved access to Lila Keiser Park from Highway 41 and improve access to the power plant site from Highway 1.
- Alternative 1 should also propose Visitor Serving Commercial on the more southern RV park part of this site.
- Alternative 1 should be changed to designate Lila Keiser Park as Public/Institutional rather than Park.

SITE B: EXISTING WWTP/DESALINATION PLANT



LEGEND

- Opportunity Site
- Parcels
- Morro Bay City Limit
- General Plan Land Use
Visitor Serving Commercial
- General (Light) Industrial
- Open Space / Recreation
- Public Facility
- School

Sources: City of Morro Bay (2016);
 San Luis Obispo County (2019);
 MicroB Baker-Ind (2016).

Site C: Proposed Water Reclamation Facility

Existing Conditions

This site is located outside the city limits just east of Highway 1 near the south end of Morro Bay (see Site C figure). The city limit is on the other edge of the highway.

Existing General Plan

The existing County land use designation on the site Agriculture. This site will be included in the Memorandum of Agreement (MOA) with the County regarding SOI expansion and potential future annexation. This site would be included in the SOI and receive the designation decided on in this GP update process.

Alternative 1

This site is the preferred location for the proposed Morro Bay Water Reclamation Facility (WRF). If that project is approved, the City would propose annexation of this site into the City. If this site is annexed into the City, the proposed land use designation would be Public Facility.

Alternative 2

If this site is not approved for the WRF, it would not be annexed and would remain in the County. The land use designation would remain Agriculture.

Input Received

- The majority of respondents were in favor of Alternative 1—using the site for the Water Reclamation Facility and annexing it into the City.
- A minority of those providing input questioned the need to find a new location for a wastewater treatment facility.
- Some of those providing input supported installing renewable energy facilities at the Water Reclamation Facility, and wanted to ensure that the site would be hidden as much as possible from roads and surrounding properties.

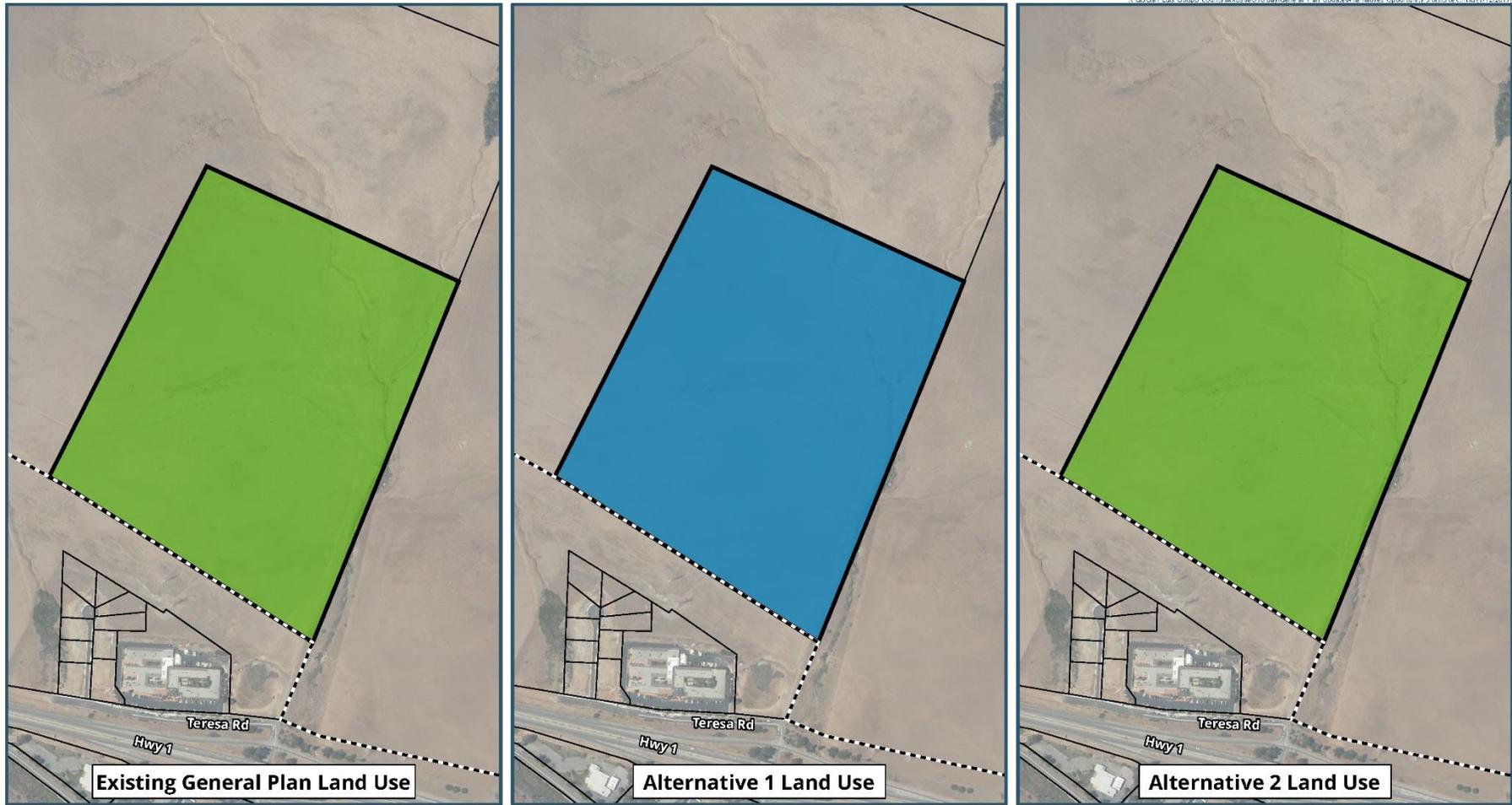
Site D: Downtown Waterfront Strategic Plan Area

The sites discussed under the Site D section are located in the Downtown Waterfront Strategic Plan (DWSP) area. Some of the sites are a set of parcels while others are a corridor that is a focus in the DWSP. Not all of the sites with land use classifications have proposed alternatives to those classifications but rather have suggested policy recommendations. Sites with proposed changes to land use have one or more proposed catalyst projects associated with them in the DWSP. The change to land use on the site is necessary to allow for the catalyst project uses.

Input Received

- Hard to provide input on sites in DWSP without circulation info.
- Many sites that are proposing a change from Visitor Serving Commercial to Mixed Use.
 - Need to get closer to defining Mixed Use moving forward.
 - Concerned because the City has allowed some prime Visitor Serving Commercial sites to become residential.
- Have property owners been contacted?
- 13 of the 15 opportunity sites are west of Monterey Avenue. That seems imbalanced. Should enlarge City Park to cover the whole block.
- There isn't an opportunity identified at Main and Morro Bay Boulevard. What about using that space for entertainment/market?
- Specific input was received on Site D.7 and is included under that site below.

SITE C: PROPOSED WRF SITE



LEGEND

Opportunity Site	Agriculture
Parcels	Public Facility
Morro Bay City Limit	

Sources: City of Morro Bay (2015)
 San Luis Obispo County (2015)
 Michael Baker Int'l (2015)

Land Use Alternatives Memo

D.1 Coastal Access

Existing Conditions

This site represents the coastal access corridor identified in the DWSP.

Catalyst Projects

The catalyst project identified in the DWSP for this site is a harbor walk providing lateral access along the coast.

Existing General Plan

Existing General Plan land use designations would support implementation of these catalyst projects. Therefore, no land use alternatives are proposed.

D.2 Centennial Parkway

Existing Conditions

The Centennial Parkway runs from the water across the Embarcadero to the top of the Centennial Staircase in between Dorn's Restaurant and Di Stasio's Restaurant (see Site D.2 figure). It includes the staircase, chessboard, plaza, and associated facilities as well as the parking area located between The Libertine and Rose's Landing on the harborside of the street.

Catalyst Projects

The anticipated future catalyst project at this site is family outdoor entertainment.

SITE D.2: CENTENNIAL PARKWAY



LEGEND

Opportunity Site	Visitor Serving Commercial
Parcels	Mixed Uses (Harbor)
Morro Bay City Limit	

Source: City of Morro Bay (2015);
 San Luis Obispo County (2016);
 Michael Baker Int'l (2015)

Land Use Alternatives Memo

Existing General Plan

The existing General Plan land use designations for this site are Mixed Use (Harbor) and Visitor Serving Commercial. These existing designations would support implementation of the catalyst project. Therefore, no land use alternatives are proposed.

D.3 Vacant Lot at Harbor Street and Front Street

Existing Conditions

This .39 acre vacant lot is located on the nonwater side of Embarcadero, just south of Harbor Street and north of the Sun-N-Buns Bakery and Espresso Bar (see Site D.3 figure). Front Street borders the eastern edge of this site. The site is located slightly north of Centennial Parkway.

Catalyst Projects

The anticipated future catalyst projects at this site are a market hall or family outdoor entertainment. While progress is made towards a permanent catalyst project on this site it is anticipated interim uses may occur here. These interim uses could include parking, passive recreation or landscape maintenance.

Existing General Plan

The existing General Plan land use designation on the site is Visitor Serving Commercial. This existing designation would support implementation of the catalyst projects. Therefore, no land use alternatives are proposed.

D.4 Embarcadero Corridor

The Embarcadero Corridor is generally identified in the DWSP as an opportunity site for future streetscape and landscaping improvements. The catalyst project is an Embarcadero streetscape furnishing palette. This catalyst project does not require land use approvals. Therefore, no land use alternatives are proposed.

SITE D.3: VACANT LOT AT FRONT ST AND HARBOR ST



Existing General Plan Land Use



LEGEND

-  Opportunity Site
-  Parcels
-  Morro Bay City Limit
-  **General Plan Land Use**
Visitor Serving Commercial

Sources: City of Morro Bay (2013);
 San Luis Obispo County (2016);
 Microse, Baker Inc. (2015).

Land Use Alternatives Memo

D.5 Triangle Parking Lot

Existing Conditions

The Triangle Parking Lot parcel is located just south of the decommissioned Morro Bay Power Plant on the east side of the Embarcadero and is 2.3 acres in size (see Site D.5 figure). It is currently an unpaved vacant site used for parking.

Catalyst Projects

The anticipated future catalyst projects at this site are a market hall or a cultural, maritime, or historical museum, a boatyard, and a parking lot or structure. While progress is made towards a permanent catalyst project on this site it is anticipated interim uses may occur here. These interim uses could include parking as is occurring now, passive recreation or landscape maintenance.

Existing General Plan

The existing land use designation on the site is Coastal Development Industrial.

Alternative 1

If a privately owned and operated market hall or museum were built on the site, the site would require a different land use designation than Coastal Development Industrial. A Visitor Serving Commercial designation would be appropriate for these uses, and could also accommodate a wider range of alternative visitor-serving uses and accommodations consistent with the Coastal Act at a prime location near the bay and the adjacent Dynegy site.

Alternative 2

If a publicly owned and operated market hall or museum were built on this site, the land use designation of all or a portion of the site could be Public Facility. This could limit the range of allowable uses on these portions of the site relative to the Coastal Act, but would apply only to portions of the site under public ownership.

SITE D.5: TRIANGLE PARKING LOT



LEGEND

Opportunity Site	General Plan Land Use
Parcels	Visitor Serving Commercial
Morro Bay City Limit	Coastal Development Industrial
	Public Facility

Sources: City of Morro Bay (2016), San Luis Obispo County (2016), Michael Baker Intl (2015)

Land Use Alternatives Memo

D.6 Vacant Lots at Market Avenue and Morro Bay Boulevard

Existing Conditions

This site consists of three vacant parcels located at the northeast corner of Market Avenue and Morro Bay Boulevard (see Site D.6 figure) currently used as private surface parking lots. The three parcels total .22 acres.

Catalyst Projects

The anticipated future catalyst projects at this site are a high-end hotel and conference center or creative mixed-use project. If the chosen catalyst project was a high-end hotel and conference center a portion but not all of that type of facility could be accommodated on these lots. While progress is made towards a permanent catalyst project on this site it is anticipated interim uses may occur here. These interim uses could include parking, passive recreation and landscape maintenance.

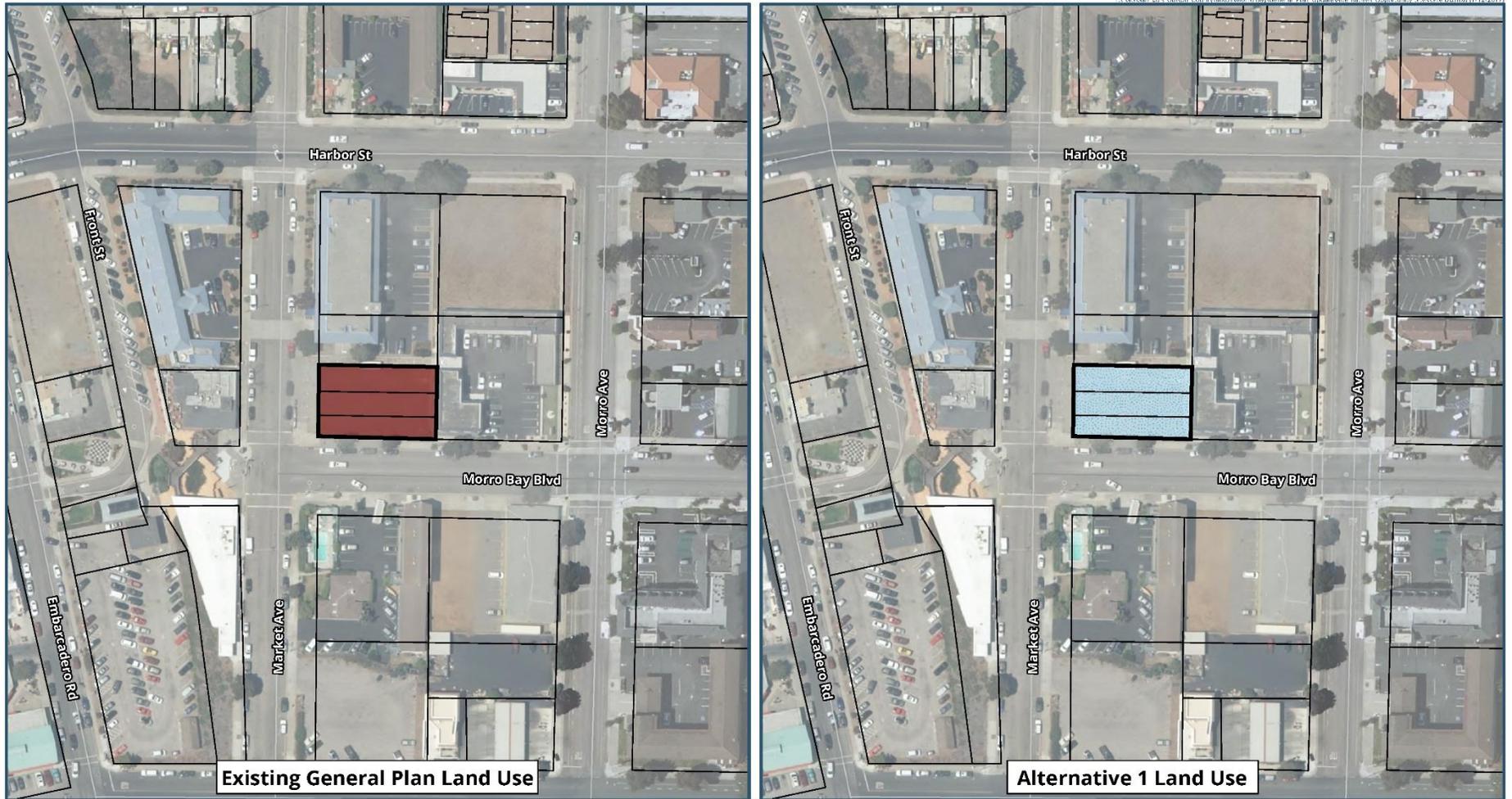
Existing General Plan

The existing land use designation on the site is Visitor Serving Commercial. This designation would allow either the existing use (surface parking) or the high-end hotel and conference center catalyst project. It could also accommodate a wider range of alternative visitor-serving uses consistent with the Coastal Act.

Alternative 1

The creative mixed-use catalyst project would require a change in land use designation for this site to Mixed Use.

SITE D.6: VACANT LOTS AT MARKET AVE AND MORRO BAY BLVD



LEGEND

-  Opportunity Site
-  Parcels
-  Morro Bay City Limit
-  Visitor Serving Commercial
-  Mixed Use

Source: City of Morro Bay (2015),
 San Luis Obispo County (2016),
 Michael Baker (11/2015)

Land Use Alternatives Memo

D.7 City-Owned Lots at Embarcadero and Pacific Street

Existing Conditions

This site consists of six City-owned vacant parcels at the northeast corner of Embarcadero and Pacific Street (see Site D.7 figure). The parcels total 1.43 acres.

Five of the parcels are on Embarcadero and one is on the other side of Market Avenue on Pacific Street. Many of these lots are currently used as public surface parking lots.

Catalyst Projects

The anticipated future catalyst projects at this site are a market hall, ecotourism, a cultural, maritime, or historical museum, or a high-end hotel and conference center. While progress is made towards a permanent catalyst project on this site it is anticipated interim uses may occur here. These interim uses could include parking, passive recreation and landscape maintenance.

Existing General Plan

The existing land use designations on the site are Visitor Serving Commercial and Mixed Use. These designations could accommodate the existing use (surface parking), or the market hall, museum, or high-end hotel and conference center. They could also accommodate a wider range of alternative visitor-serving uses consistent with the Coastal Act.

Alternative 1

Depending on the specific proposed use, ecotourism uses could require land use designation changes on all or a portion of the site from Visitor Serving Commercial to Mixed Use. This could impact the existing supply of public parking and reduce the amount of visitor-serving commercial area located within the coastal zone. Unless these reductions are offset by land use changes on other opportunity sites within the coastal zone, this could be determined to be in conflict with the Coastal Act by the California Coastal Commission.

Land Use Alternatives Memo

Input Received

- Consensus not to locate Maritime Museum on this site. It should go on the triangle parking lot site.
- Do not put high end hotel/conference center on this site.
- Is a seafood market commercially viable? Don't want to have to replace local food with t-shirts.
- A seafood market at this location could take out some who have been in the community for years. Don't undercut those who are already here/doing this.
- Decided to change terminology to "Full-Service Hotel" rather than "High End Hotel."
- Concerned about adding restaurants that might displace existing restaurants on this site.
- Could see underground parking on the vacant part of the site.
- Don't want to create an area that is only of interest of those staying in a hotel by locating a stand-alone hotel here.

SITE D.7: CITY LOTS AT EMBARCADERO AND PACIFIC ST



LEGEND

- Opportunity Site
- Parcels
- Morro Bay City Limit
- General Plan Land Use**
- Visitor Serving Commercial
- Mixed Use

*Source: City of Morro Bay (2013); San Luis Obispo County (2013); Michael Baker Inc. (2013).

Land Use Alternatives Memo

D.8 Vacant Lot at Embarcadero and Marina Street

Existing Conditions

This site consists of one vacant .28 acre parcel located at the northeast corner of Embarcadero and Marina Street near the Shell Shop and aquarium (see Site D.8 figure). The site is currently unpaved and not in use.

Catalyst Projects

The anticipated future catalyst projects at this site are a market hall, family outdoor entertainment, ecotourism, a cultural, maritime, or historical museum, or high-end hotel and conference center. It may also be subject to the proposed Embarcadero streetscape furnishing palette. If the chosen catalyst project was a high-end hotel and conference center a portion but not all of that type of facility could be accommodated on these lots. While progress is made towards a permanent catalyst project on this site it is anticipated interim uses may occur here. These interim uses could include parking, passive recreation and landscape maintenance.

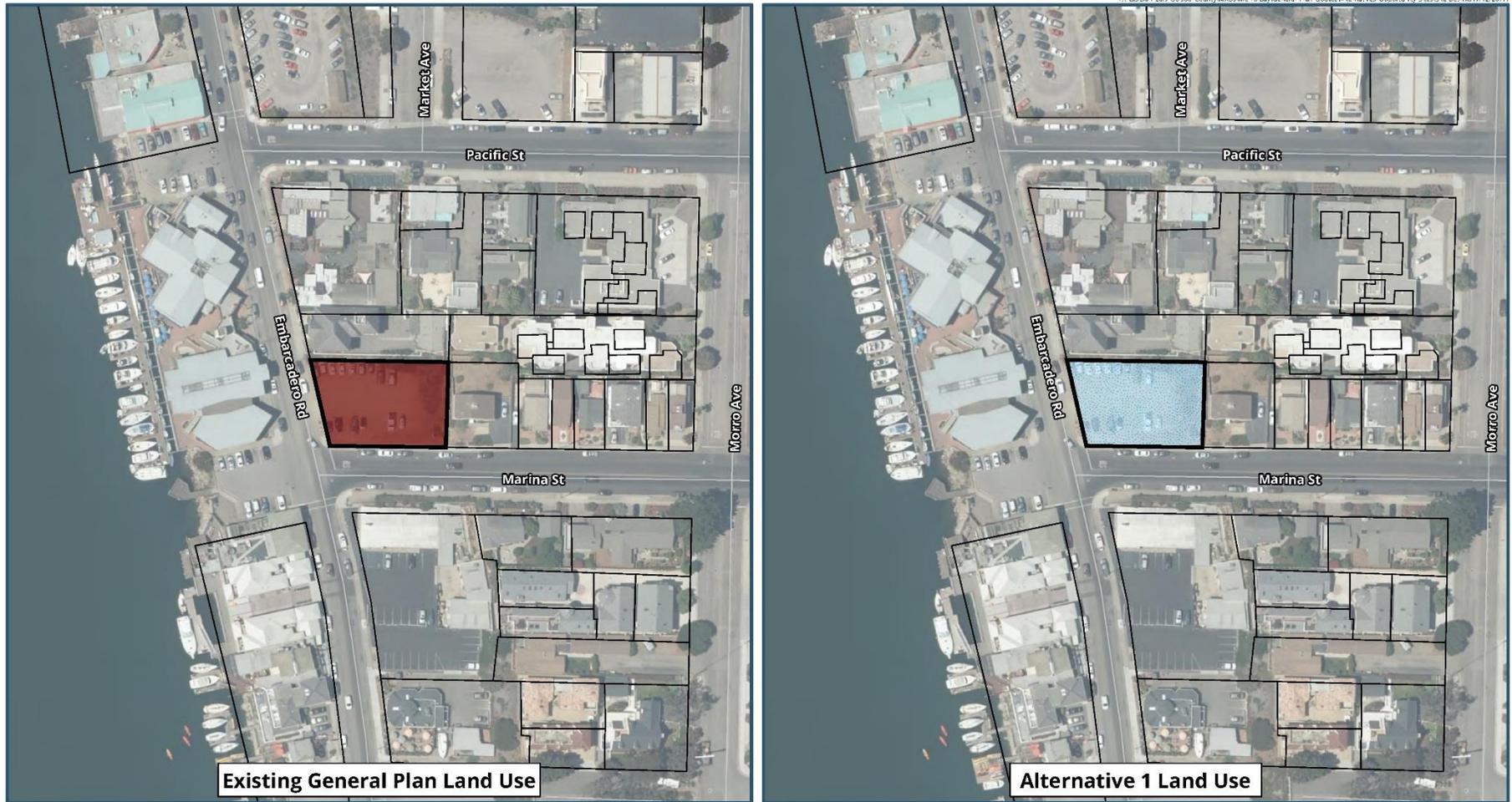
Existing General Plan

The existing land use designation on the site is Visitor Serving Commercial. This designation could accommodate the existing use or the market hall, family outdoor entertainment, museum, or high-end hotel and conference center (within the constraints of the size of these parcels as discussed above). It could also accommodate a wider range of alternative visitor-serving uses consistent with the Coastal Act.

Alternative 1

Depending on the specific proposed use, ecotourism uses could require a land use designation change to Mixed Use. This could reduce the amount of visitor-serving commercial area located within the coastal zone. Unless this reduction is offset by land use changes on other opportunity sites within the coastal zone, this could be determined to be in conflict with the Coastal Act by the California Coastal Commission.

SITE D.8: VACANT LOT AT EMBARCADERO RD AND MARINA ST



- LEGEND
- Opportunity Site
 - Parcels
 - Morro Bay City Limit
 - Visitor Serving Commercial
 - Mixed Use

Source: City of Morro Bay (2016);
 San Luis Obispo County (2015);
 Michael Baker Corp. (2016).

Land Use Alternatives Memo

D.9 Vacant Lot at Harbor Street and Morro Avenue

Existing Conditions

This site consists of one .4 acre vacant parcel at the southwest corner of Harbor Street and Morro Avenue (see Site D.9 figure). It is currently an unpaved vacant lot.

Catalyst Projects

The anticipated future catalyst projects at this site are a creative mixed-use project or a cultural, maritime, or historical museum.

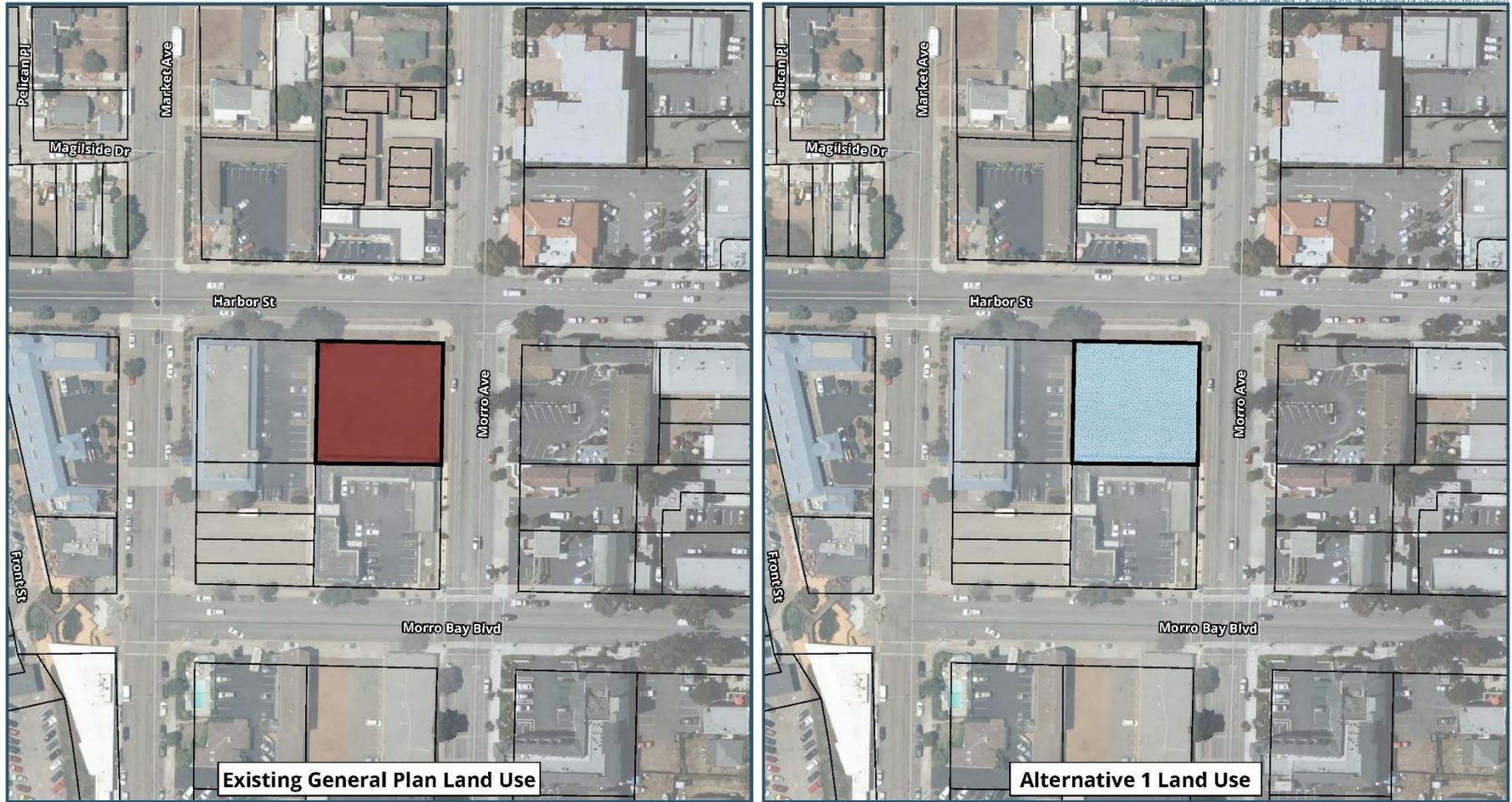
Existing General Plan

The existing land use designation on the site is Visitor Serving Commercial. This designation could accommodate the museum. It could also accommodate a wider range of alternative visitor-serving uses consistent with the Coastal Act.

Alternative 1

The creative mixed-use catalyst project would require a change in land use designation for this site to Mixed Use. This could impact the amount of visitor-serving commercial area located within the coastal zone. Unless this reduction is offset by land use changes on other opportunity sites within the coastal zone, this could be determined to be in conflict with the Coastal Act by the California Coastal Commission.

SITE D.9: VACANT LOT AT HARBOR ST AND MORRO AVE



LEGEND

-  Opportunity Site
-  Parcels
-  Morro Bay City Limit
-  Visitor Serving Commercial
-  Mixed Use

Sources: City of Morro Bay (2016);
 San Luis Obispo County (2016);
 Michael Baker Corp. (2016).

Land Use Alternatives Memo

D.10 Underutilized Lots at Harbor and Monterey

Existing Conditions

This site consists of one vacant parcel and an adjacent parcel with an existing duplex located at the southwest corner of Harbor Street and Monterey Avenue (see Site D.10 figure). The two parcels total .4 acres.

Catalyst Projects

The anticipated future catalyst project at this site is a creative mixed-use project.

Existing General Plan

The existing land use designation on the site is Mixed Use. The existing designation would support implementation of the catalyst project. Therefore, no land use alternatives are proposed.

D.11 Morro Bay Boulevard Corridor

The Morro Bay Boulevard Corridor is generally identified in the DWSP as an opportunity site for future streetscape and parking improvements. It does not include any catalyst projects that would require land use approvals. Therefore, no land use alternatives are proposed.

D.12 Traffic Circle at Morro Bay Boulevard and Quintana Road

The traffic circle is generally identified in the DWSP as an opportunity site for future streetscape improvements. It does not include any catalyst projects that would require land use approvals. Therefore, no land use alternatives are proposed.

SITE D.10: UNDERUTILIZED LOTS AT HARBOR ST AND MONTEREY AVE



LEGEND

-  Opportunity Site
-  Parcels
-  Morro Bay City Limit
-  General Plan Land Use
-  Mixed Use

Sources: City of Morro Bay (2013);
 San Luis Obispo County (2016);
 Michael Ecker, Inc. (2015).

Land Use Alternatives Memo

D.13 Underutilized Area Northeast of City Park

Existing Conditions

This site consists of two parcels located on Harbor Street across from City Park (see Site D.13 figure). The two parcels total .38 acres. The site is currently occupied by four existing homes.

Catalyst Projects

The anticipated future catalyst project at this site is a creative mixed-use project.

Existing General Plan

The existing land use designation on the site is Mixed Use. The existing designation would support implementation of the catalyst project. Therefore, no land use alternatives are proposed.

D.14 Vacant Lots at Front Street and Harbor Street

Existing Conditions

This site consists of four parcels located at the northeast corner of Front Street and Harbor Street (see Site D.14 figure). The parcels total .28 acres. The site is currently vacant and covered with low-lying vegetation. There is steep topography on part of the site as it spans the bluff between downtown and the waterfront.

Catalyst Projects

The anticipated future catalyst projects at this site are family outdoor entertainment; a cultural, maritime, or historical museum; or visitor accommodations. While progress is made towards a permanent catalyst project on this site it is anticipated interim uses may occur here. These interim uses could include parking, passive recreation and landscape maintenance.

SITE D.13: UNDERUTILIZED AREA NORTHEAST OF MORRO BAY PARK



- LEGEND
-  Opportunity Site
 -  General Plan Land Use
Mixed Use
 -  Parcels
 -  Morro Bay City Limit

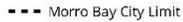
City of Morro Bay (2015)
 San Luis Obispo County (2016)
 Michele Bauer Ltd (2015)

SITE D.14: VACANT LOTS AT FRONT ST AND HARBOR ST

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LEGEND

-  Opportunity Site
-  Parcels
-  Morro Bay City Limit
-  General Plan Land Use
-  Visitor Serving Commercial

Source: City of Morro Bay (2015); San Luis Obispo County (2016); Michael Baker Corp. (2015).

Land Use Alternatives Memo

Existing General Plan

The existing land use designation on the site is Visitor Serving Commercial. The existing designation would support implementation of the catalyst projects, in addition to a wide range of other visitor-serving uses and accommodations that would support the Coastal Act. Therefore, no land use alternatives are proposed.

D.15 Harbor Street Corridor

The Harbor Street Corridor is generally identified in the DWSP as an opportunity site for future streetscape improvements. It does not include any catalyst projects that would require land use approvals. Therefore, no land use alternatives are proposed.

Site E: North Main Street Corridor

Existing Conditions

This site makes up the commercial corridor along Main Street just east of Highway 1 in north Morro Bay (see Site E figure). It spans 1.9 miles from close to the northern city limit at the north, just east of Highway 1 and includes crossing of Tahiti, Sequoia, San Jacinto, Elena, Bonita and Hill.

Existing General Plan

The existing land use designations along this corridor include Mixed Use, Medium Density Residential/Neighborhood Commercial, and High Density Residential. The purpose of the existing land use designations is to support highway-serving commercial uses, but the actual on-the-ground uses are mostly neighborhood-serving commercial uses.

Alternative 1

The future land uses for this site should address the actual neighborhood trends and on-the-ground land uses. There is a need for more neighborhood-serving commercial uses fronting Main Street.

Land Use Alternatives Memo

Input Received

- Housing is important but so is neighborhood commercial
- Concerned about the strip orientation of the Neighborhood Commercial. What about nodes or clusters of Neighborhood Commercial?
- Could buffer the housing from Main Street.
- Participants preferred using the area for low-density and medium-density residential uses, with some limited commercial activities (particularly on Main Street). The favored commercial uses were small office spaces, medical offices, and working spaces as part of a live/work unit.
- Is the large 10-acre site on this corridor at Sequoia designated high density residential? Yes, this site is zoned R-3 and designated high density residential and is a housing element site. There was support for using this site for assisted/senior living, affordable housing, and live-work spaces. Participants felt that high-density residential on this site would create traffic problems (particularly at the intersections of Main Street with San Jacinto Street and Yerba Buena Street).
- Community members favored limiting development in the area to one or two stories.
- The input of those who participated was divided between those favoring mostly neighborhood commercial land uses with limited residential (Alternative 1), and those who favored the current mix of commercial and residential land uses at the site (existing conditions).
- Based on review of Site E and Site G a portion at the southern end of Site E adjacent to Highway 41 will be removed from Site E and added to Site G.
- Some consensus to select Alternative 1 but investigate the idea of focusing the Neighborhood Commercial at nodes.

SITE E: NORTH MAIN CORRIDOR



LEGEND

Opportunity Site	General Plan Land Use	Neighborhood Commercial
Parcels	Low Density Residential	Medium Density Residential / Neighborhood Commercial
Morro Bay City Limit	High Density Residential	Mixed Use
	Visitor Serving Commercial	

San Luis Obispo County (2016);
 San Luis Obispo County (2016);
 Morro Bay (2016)

Land Use Alternatives Memo

This can be accomplished by replacing the Mixed Use designation in this area with Neighborhood Commercial. Neighborhood Commercial should be applied independently from a residential designation (i.e., without the option for residential use) which contrasts with the practice identified in the existing Land Use Element and on the Land Use Map.

Existing commercial uses should be preserved rather than replaced with residential uses in this area. Residential uses should be allowed only above or behind other commercial uses in the Neighborhood Commercial areas. Between Sequoia Street and Elena Street, where the existing designation is Medium Density Residential/Neighborhood Commercial, the land uses should be changed to reflect the on-the-ground land uses. The existing motel should be designated Visitor Serving Commercial and the remainder of the parcels should be designated Low Density Residential.

Site F: Tri-W Site

Existing Conditions

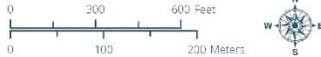
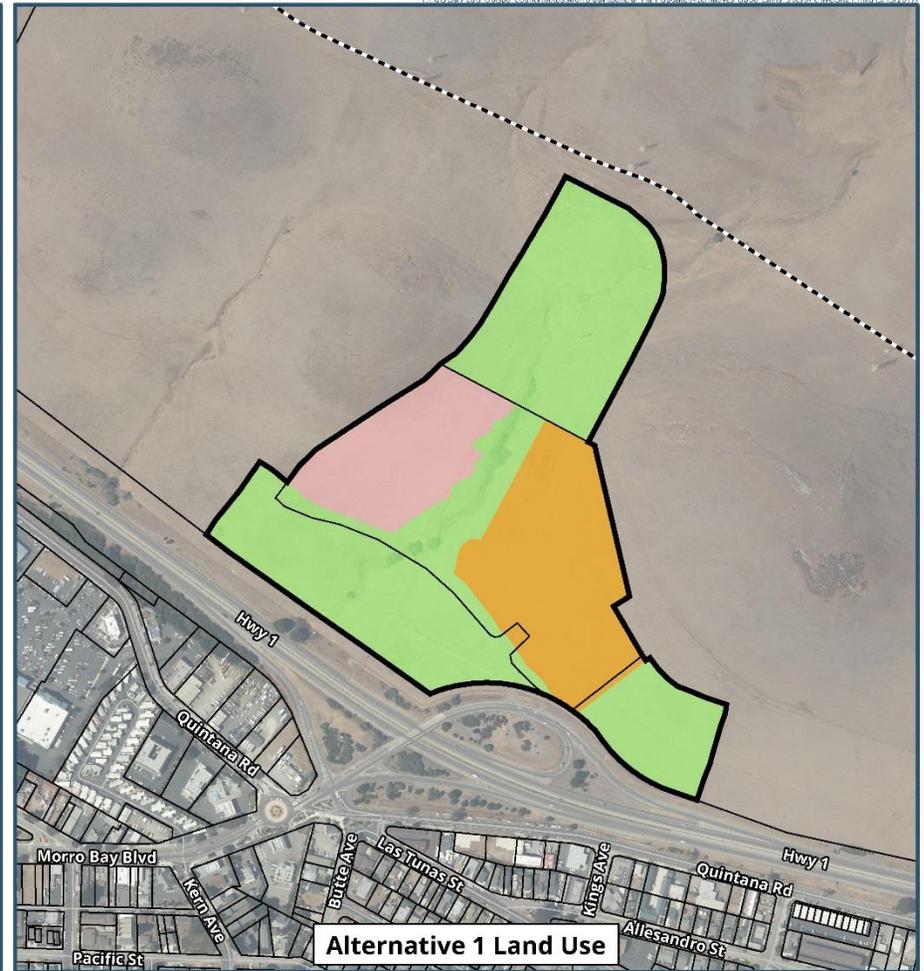
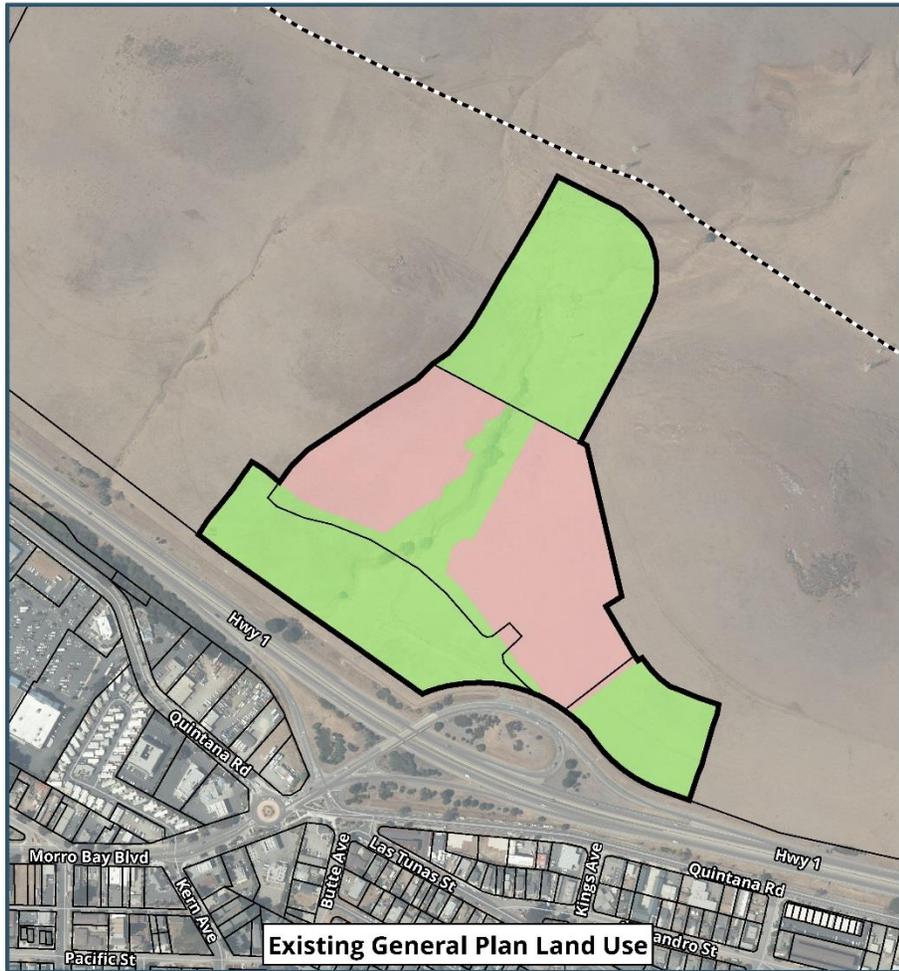
The Tri-W site is located on the north side of Highway 1 adjacent to the Morro Bay Boulevard exit (see Site F figure). It is a vacant area made up of four parcels of hilly topography covered in annual grasses. The site was a subject of a voter referendum in 1990. Measure H (Ordinance No. 389) limited the zones and uses at the Tri-W property. It allows commercial development on only 13 acres of the 30-acre property, and establishes the location of the commercial uses to be “generally located adjacent to Highway 1 and Morro Bay Boulevard.” Any changes to these land uses would require voter approval by the citizens of Morro Bay.

Existing General Plan

The existing land use designations on this site are Open Space/Recreation and District Commercial.

SITE F: TRI-W

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LEGEND

-  Opportunity Site
-  Parcels
-  Morro Bay City Limit
- General Plan Land Use**
-  Medium Density Residential
-  District Commercial
-  Open Space / Recreation

Sources: City of Morro Bay (2011)
 San Luis Obispo County (2011)
 Michael Solar (2011)

Land Use Alternatives Memo

Alternative 1

If changes to the mix and location of the land uses on the site are considered by Morro Bay citizens, the following should also be considered. One option would be to move the developable area of the site south and closer to the proposed WRF site in order to cluster development and minimize visual and other environmental impacts. The current land use plan for this site creates an island of developable land in the middle of surrounding undeveloped parcels used for grazing. The allowed land uses could be changed to a mix of residential and commercial land uses, including higher-density residential to help accommodate the City's future regional housing needs.

Input Received

- A majority of those providing input did not want to consider residential uses on this site and wanted to stay within the confines of Measure H. However, a mix of more specific comments were received:
 - Seems like a good place for higher density/affordable housing. Wouldn't impact any existing neighborhoods.
 - Can the site be served in terms of water if residential is allowed?
 - Proposing a different land use on this site isn't genuine because it is controlled by Measure H. A lot of people don't want housing or any development on this site.
 - Not sure about the clustering idea – moving the area where development could occur south or towards WRF. Doesn't see it from a connectivity perspective because each of the sites C and F are close to connector roads on the other side of the highway.
 - Thinks there is currently an excess of residentially zoned land in Morro Bay. Thinks if residential is allowed there it should only be allowed in a mixed-use setting.
 - Not in favor of adding residential on the other side of Highway 1. Thinks there could be neighborhood quality issues. Would like to see low-rise industrial.
 - Perhaps when the population gets closer to 12,200 it might be the time to revisit this site for housing purposes.
 - Some of those providing input were supportive of residential uses on the site, if they were affordable.

Land Use Alternatives Memo

- This site could be used for large highway-serving commercial, business park, or light industrial uses.

Site G: State Route 41 Gateway

Existing Conditions

This site is located on either side of SR 41 as it enters Morro Bay from the east. The area is a gateway to the city (see Site G figure). Existing on-the-ground uses include residential, commercial, visitor-serving commercial uses like gas stations and fast food, and landscaping, and the Silver City mobile home park. Future new development should improve this area as a gateway, including inviting-looking visitor-serving uses.

Existing General Plan

The existing land use designations on this site are Visitor Serving Commercial, General (Light) Industrial, and High Density Residential. These designations would accommodate most of the existing uses and could support enhancing the areas as a gateway.

Alternative 1

Future land use changes in this area should reflect the on-the-ground land uses. The parcel where the mobile home park is located could be redesignated from Visitor Serving Commercial to Medium Density Residential. The rest of the land use designations are not proposed to change under this alternative.

Input Received

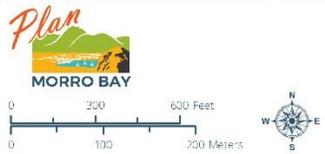
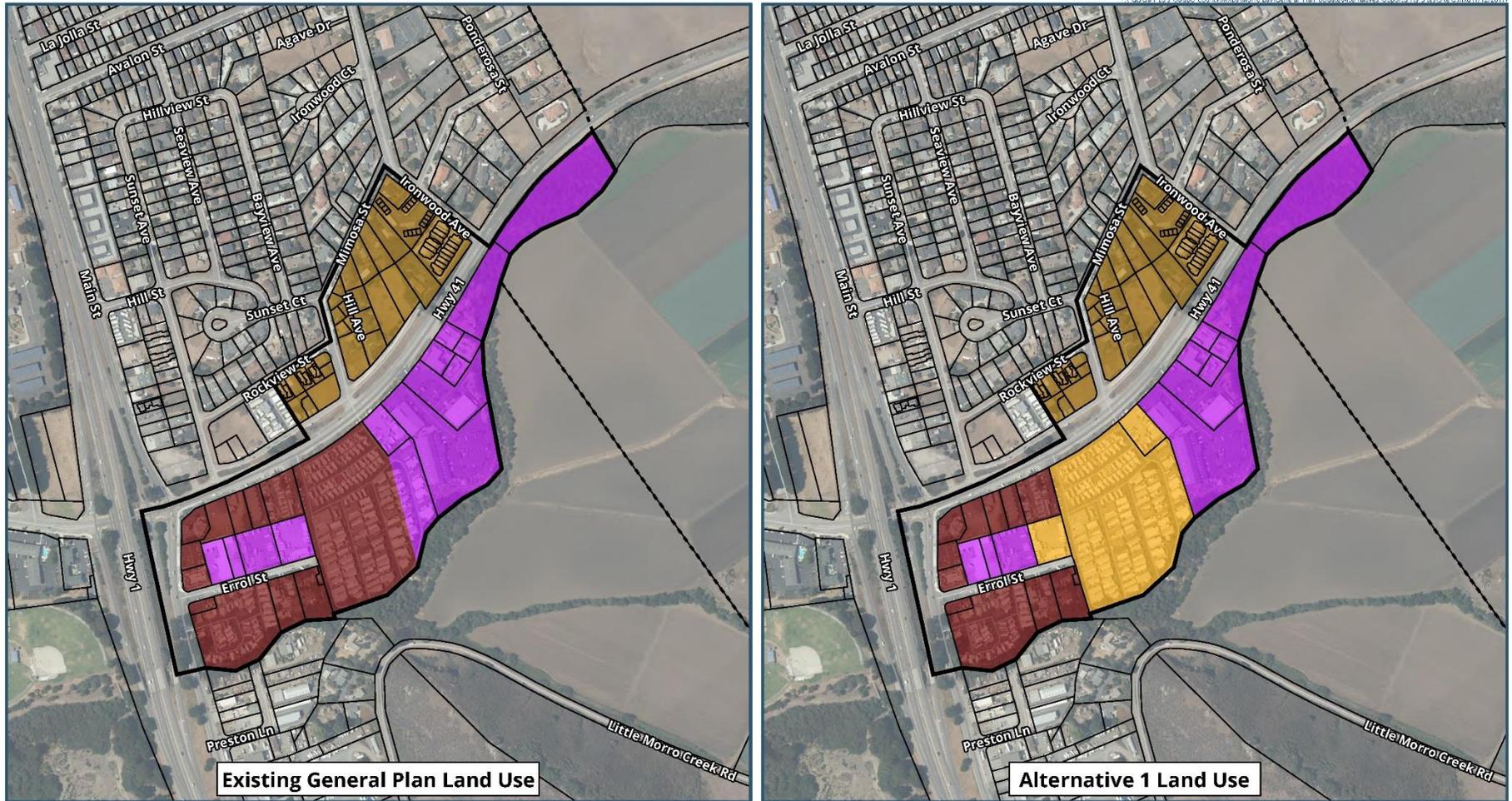
- Could the land use on the mobile home site be changed to HDR rather than MDR? Yes.
- Important to protect mobile home parks.
- Important to provide more visitor-serving and neighborhood serving commercial in this area
- Suggested a frontage of Visitor Serving Commercial or other commercial along Highway 41 instead of MDR all the way up to the highway.
- What about removing more of the Visitor Serving Commercial from Errol St?



Land Use Alternatives Memo

- Propose adding the north side of Hwy 1 (currently part of Site E) to Site G and proposing Visitor Serving Commercial there.
- Use both sides of Highway 41 for commercial uses.

SITE G: HIGHWAY 41 GATEWAY



LEGEND

 Opportunity Site	General Plan Land Use
 Parcels	 Medium Density Residential
 Morro Bay City Limit	 High Density Residential
	 Visitor Serving Commercial
	 General (Light) Industrial

Source: City of Morro Bay (2015), San Luis Obispo County (2016), Michael Baker Inc. (2015)

Site H: Measure D Area

Existing Conditions

This site sits along the north Embarcadero and includes the properties on the bay side of the Embarcadero as well as Coleman Park (see Site H figure). The site was a subject of a voter referendum in 1981. Measure D (Ordinance No. 207) restricts development on state-owned tidelands between Beach Street and Target Rock. Only development serving primarily commercial or recreational fishing is permitted. Any changes to these land uses would be subject to voter approval by the citizens of Morro Bay.

Existing General Plan

The majority of this site is currently designated Commercial/Recreational Fishing, along with a small amount of Coastal Development Industrial, and Open Space/Recreation.

There is a desire within the community and by the City to better define what is allowed in the Measure D area as the existing ordinance language has some ambiguities. However, no changes to the land use designations are proposed. Therefore, no land use alternatives are proposed for this area.

Input Received

- Area close to the rock should be open space.
- Measure D shouldn't be on the ballot and the way it is being applied now is good but that approach it isn't formalized outside the ambiguous language of Measure D.

Site I: Morro Bay Boulevard Gateway

Existing Conditions

This site centers on Morro Bay Boulevard from the traffic circle at the Highway 1 exit south to Napa Avenue (see Site I figure). City Park is included in this site. This area represents the main gateway to the city from Highway 1 as well as the entrance to downtown.

Land Use Alternatives Memo

Existing General Plan

Existing land use designations on this site include Mixed Use, District Commercial, Open Space/Recreation (City Park), and a small bit of High Density Residential.

The future vision for this site is driven by the desire to improve the area as a welcoming gateway and further unify the proposed uses. Future development should include a trend away from residential development and standards could be changed to prohibit new street-fronting residential development. The City should also consider a Civic Center Master Plan for the City-owned properties included as part of this site. The master plan could include plans for future upgrades to existing buildings and for additional density on City-owned properties in the long term. No changes to existing General Plan land use designations are proposed. Therefore, no land use alternatives are proposed for this area.

Input Received

- Shouldn't the civic properties/uses be designated Public/Institutional?
- There are some unsightly derelict areas that are in the Mixed Use area of this site. Would like to improve them.
- Propose changing the commercial on the same block as the park to Open Space/Recreation.
- From east of the fire station on the west side of the site should stipulate residential above/commercial below but not prohibit residential altogether.
- Need different mixed use zones.

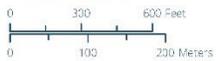
SITE H: MEASURE D/CF AREA



Existing General Plan Land Use

LEGEND

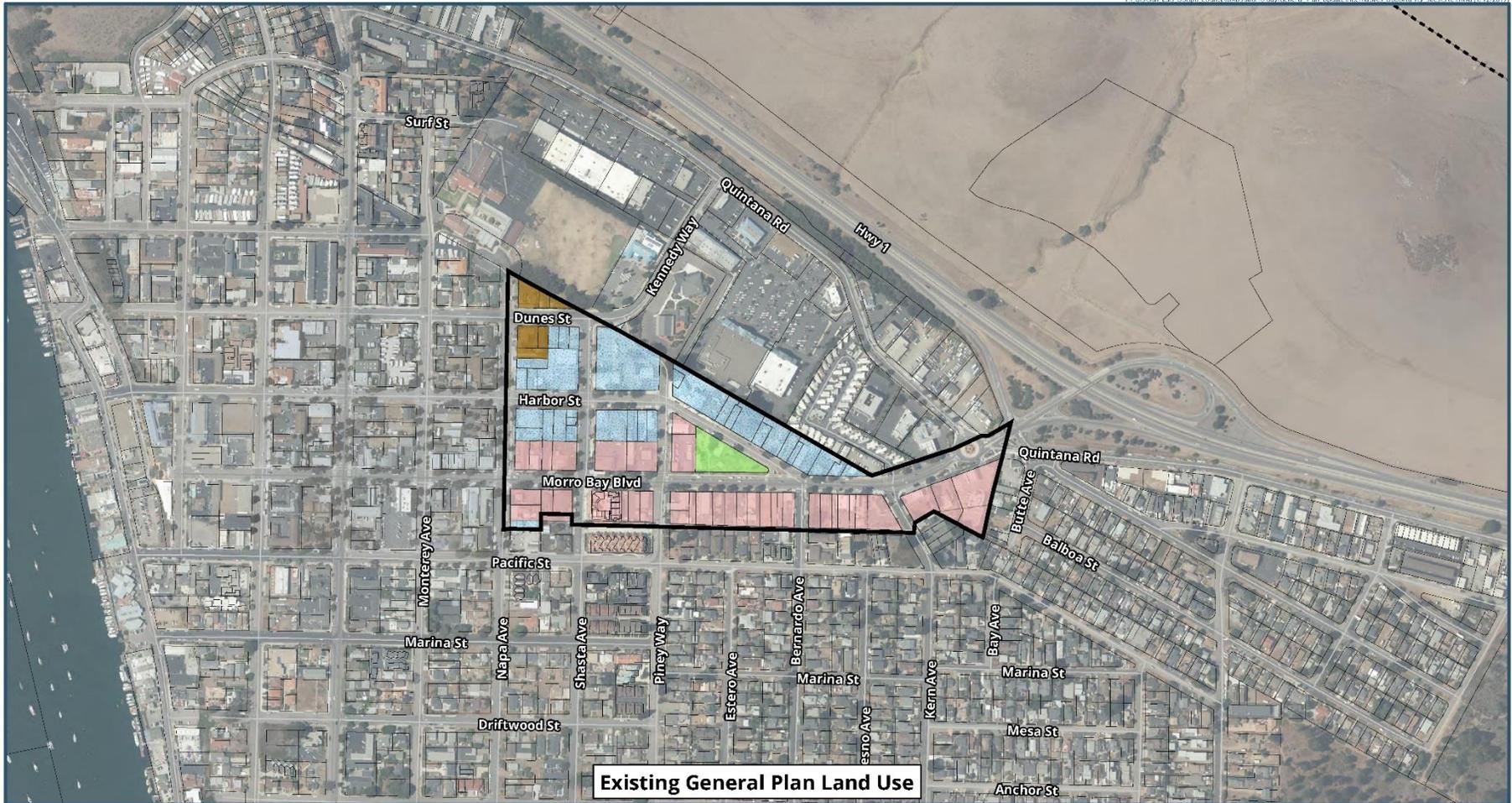
-  Opportunity Site
-  Parcels
-  Morro Bay City Limit
-  General Plan Land Use: Coastal Development Industrial
-  Commercial / Recreational Fishing
-  Harbor / Navigational Ways
-  Open Space / Recreation



Source: City of Morro Bay (2013),
 San Luis Obispo County (2016),
 Michael Baker Inc. (2013).

SITE I: DOWNTOWN AT HIGHWAY 1

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Existing General Plan Land Use



LEGEND

 Opportunity Site	 High Density Residential
 Parcels	 District Commercial
 Morro Bay City Limit	 Open Space / Recreation
	 Mixed Use

Sources: City of Morro Bay (2016);
 San Luis Obispo County (2013);
 Michael Baker Inc. (2016).

Land Use Alternatives Memo

Site J Quintana Road North of Roundabout

Existing Conditions

This site runs west along Quintana Road from Morro Bay Boulevard to Main Street on the south side of Highway 1 (see Site J figure). Existing on-the-ground land uses include highway-serving commercial uses like grocery stores and other retail uses and non-retail commercial, as well as a closed elementary school located on property owned by the school district.

Existing General Plan

The existing General Plan land use designations on this site include Mixed Use, District Commercial, Medium Density Residential, High Density Residential (at the closed school site), and Service Commercial.

Alternative 1

Small changes are envisioned to the existing General Plan land use designations in this area to reflect the envisioned future character and consolidate land uses. Parcels located at the shopping center currently designated Mixed Use could be changed to Service Commercial.

Input Received

- A slight majority of those who provided input preferred Alternative 1 – to redesignate the Cookie Crock site to allow commercial land uses only.
- Why would one shopping center be one type of commercial and the other is another type?
- Some people said school and civic buildings should be designated to match on-the-ground land uses.
- It makes sense that vehicle-oriented uses are here. There is a big hill and this area topographically would never be very pedestrian friendly for anyone but the young.
- Supportive of commercial along Quintana but question the existing residential land uses on this site.

Land Use Alternatives Memo

- Community members wanted to see improved pedestrian infrastructure in the area.
- The Cookie Crock site would be suitable for visitor-serving commercial or other commercial activities.
- Some participants were not in favor of the old school to develop as residential. However, the field part of the school could be developed as residential.
- A greater number of participants supported building high-density housing in the area. Participants felt that the existing school building and/or playing field would be the best location for new housing (as currently designated in the General Plan).
- Some participants supported preserving the existing school building as a community space and for its historic value.

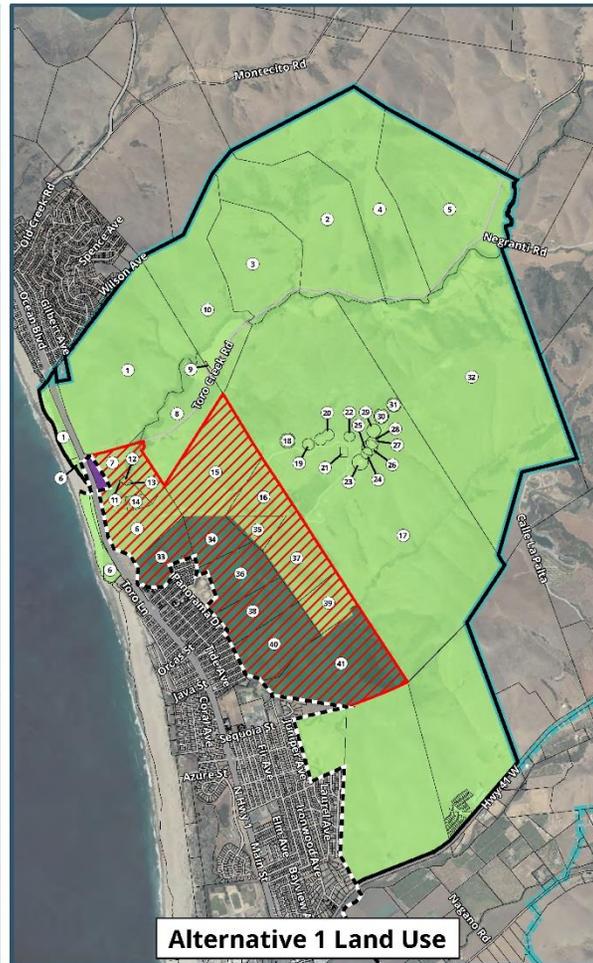
Planning Area and Sphere of Influence

The areas discussed in this section are currently located outside of the Morro Bay city limits. As part of Plan Morro Bay, the City is considering establishing a planning area that extends beyond the city limits. In the future, the City may consider adding certain parts of the planning area into its sphere of influence (SOI) or annexing parcels. (Annexation was discussed earlier in the memo for Site C.) These areas are different from the opportunity sites discussed above because they do not currently have City land use classifications applied to them and they are not currently within the City's land use jurisdiction. If these areas were placed in the planning area, the City would have greater influence in these areas and would request to be notified by the County when any land use applications or other planning processes occur in these areas. If any of these areas were to be included in the City's SOI, they would need to proceed through LAFCO's process to be included in the SOI. If any portions of these areas were to be annexed, they would proceed through LAFCO's process and a City annexation process.

Study Area 1

Study Area 1 is located east of the city limits from north of Toro Creek Road south to SR 41 (see Study Area 1 figure). It consists primarily of annual grasslands. Much of Study Area 1 includes the former site of the Estero Marine Terminal, which is owned by Chevron. The Estero Marine Terminal site includes marine terminal offices and a former tank farm. The area also contains a 200-acre parcel that includes a mobile home park in a portion of the area. About half of Area 1 is located in the coastal zone. Chevron is currently exploring options to divest from its property ownership in this area. Chevron has presented twice to the GPAC about its properties and potential options for future use of those properties. The figures and parcel numbers referenced in this section are based on maps Chevron presented. The City proposes to include part of this study area in its General Plan Planning Area and part in its SOI.

STUDY AREA 1



LEGEND

- | | | |
|--|--|---|
|  Study Area | Morro Bay General Plan Land Use | San Luis Obispo County General Plan |
|  Proposed Sphere of Influence |  Visitor Serving Commercial |  Agriculture |
|  Proposed Plan Area Boundary |  Coastal Development Industrial |  Recreation |
|  Parcels |  Agriculture | |
|  Morro Bay City Limit |  Open Space/Recreation | |



Source: City of Morro Bay (2015);
 San Luis Obispo County (2016);
 Morro Bay (2015)

Land Use Alternatives Memo

Proposed Sphere of Influence

About 25 percent of Study Area 1 is proposed for inclusion in the City's SOI. This area is all currently owned by Chevron and includes areas with potential for residential and commercial development.

Existing Conditions

This area includes the former marine terminal and all of the Chevron parcels on the west side of Highway 1. It also surrounds an area (east of Highway 1) that is already in the city limits.

Existing General Plan

The property already located within the city limits is designated Coastal Development Industrial and is adjacent to another area (west of Highway 1) that is in the City's current SOI. The existing County General Plan land use designations in this area are Agriculture and Recreation.

Alternative 1

If this area were annexed to the City under Alternative 1, Chevron parcels 33, 34, 36, 38, 40, and 41 would be designated Agriculture with the restriction of one residential unit per parcel. The balance of the potential SOI area would be designated Open Space/Recreation. Under this alternative, only six residential units would be allowed on parcels adjacent to the existing city limits and the balance of this site would be protected and preserved. This alternative corresponds to "Opportunity Area #1" presented by Chevron to the GPAC in November 2016.

Alternative 2

If this area were annexed to the City under Alternative 2, Chevron parcels 15, 16, 33, 34, 35, 36, 37, 38, 39, 40, and 41 would be designated Agriculture. Parcels 6, 7, 11, 12, 13, and 14 would be designated Visitor Serving Commercial. The parcel surrounded by this area that is currently inside the city limits would also be redesignated from Coastal Development Industrial to Visitor Serving Commercial. Under this alternative, a larger area of low density residential development or agricultural uses would be allowed on

Land Use Alternatives Memo

parcels adjacent to the existing city limits (these parcels would be designated Agriculture, allowing one residence per parcel) and visitor-serving uses would be allowed close to the water. Also under this alternative, a smaller but still quite extensive area would be placed under conservation with the Open Space/Recreation designation and this would be consistent with aspects of Chevron's concept plan presented to the GPAC in November 2016.

Proposed Planning Area

The remainder of Study Area 1 north, east, and south of the proposed SOI area would be proposed for inclusion in the City's planning area.

Existing Conditions

Much of this area is more pristine than the proposed SOI area and includes some high-quality natural habitat. However, this area includes the former Chevron tank farm as well as some existing residential development adjacent to SR 41.

Existing General Plan

The existing County General Plan land use designation in this area is Agriculture.

Alternative 1

The City's long-term future vision for this area would be to retain the area as Open Space/Recreation use, which would allow for continued agricultural use.

Input Received

- The majority of those who provided input were not in favor of development in this area. A slight majority were in favor of the City extending their planning area or SOI into this area.
- Opinion was split about whether the area included in the City's planning area should be designated Agriculture or Open Space/Recreation.
- There were mixed feelings on including this area in the City's sphere of influence (SOI):

Land Use Alternatives Memo

- Many community members saw merit in maintaining the area as County land and keeping it in agriculture, rather than evaluating it for inclusion in the City's SOI or annexing the land. Many participants were supportive of preserving the land as is, and felt that keeping County control would be the best way to accomplish this.
 - Some community members noted that if annexed the City would have to provide infrastructure for any development in the area, and were concerned about potentially high costs for infrastructure construction.
 - Some community members were hesitant to designate the study area as open space, feeling that the cost would be too high and that such a designation might eliminate the fire protection benefits afforded by the grazing activities that currently occur in the area.
 - Study Area 1, especially along Toro Creek Road, could be used as a county park.

- Others felt that there were clear benefits to including it in the City's SOI, such as to:
 - Ensure that no development would occur in landslide-prone areas within Parcels 38 and 40.
 - Limit density to one house and one barn per parcel.
 - Encourage development of recreational uses, such as trails for biking, hiking, and horseback riding.
 - Some participants were open to considering intensification of allowed residential density in some areas in exchange for preserving other areas
 - Maintain hillside views east of Highway 1 by keeping any development low.

- Participants felt that more time than was provided at the workshop would be needed to effectively offer feedback on this site. Could the City hold more meetings just on this area/issue?
- Participants wanted to preserve the dog beach in the area.

Study Area 2

Study Area 2 is located east of the Morro Bay city limits and south of SR 41 (see Study Area 2 figure). Most of the land in this area is located north of Little Morro Creek Road, although a few parcels extend south of the road. The area is entirely within the Coastal Zone.

Existing Conditions

Most of this area is under agricultural cultivation and is relatively flat. Avocado orchards are situated on many parcels, while other properties are used to grow field crops.

The vast majority of the land in Study Area 2 is designated as “prime soils.” With the exception of some of the northeast portion of Study Area 2, large sections of the area are also considered prime agricultural land, and some parcels are under Williamson Act contracts.

Existing General Plan

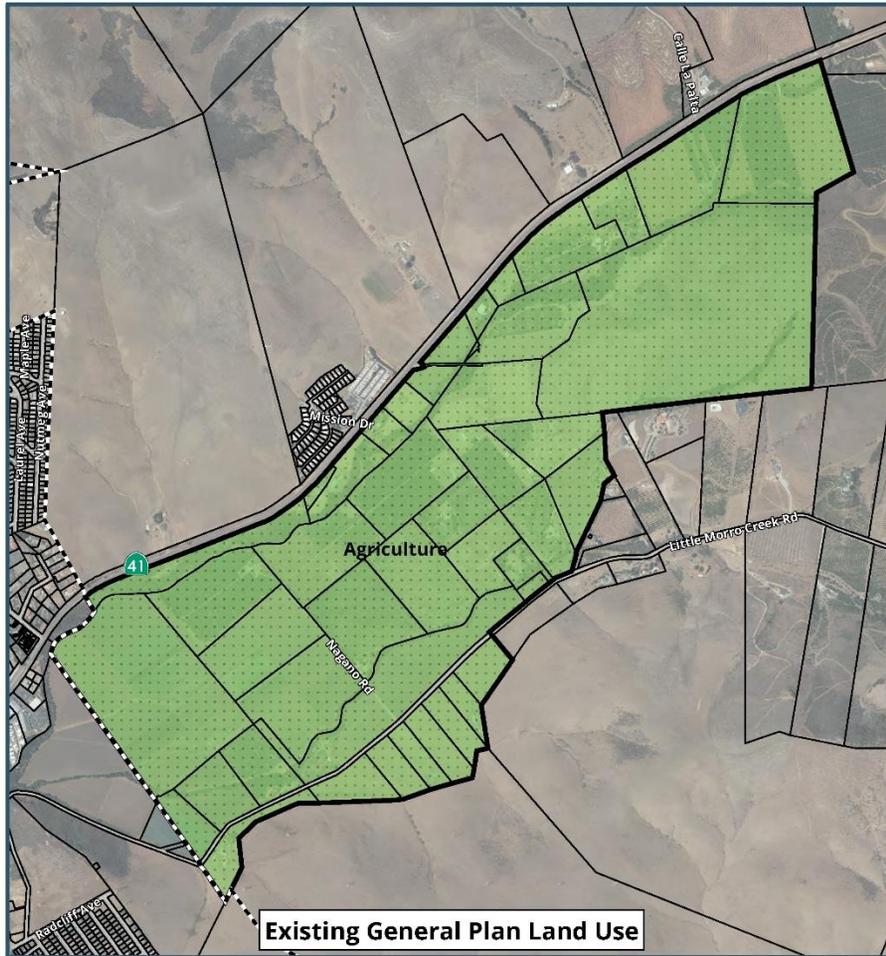
The existing County General Plan land use designation in this area is Agriculture.

Alternative 1

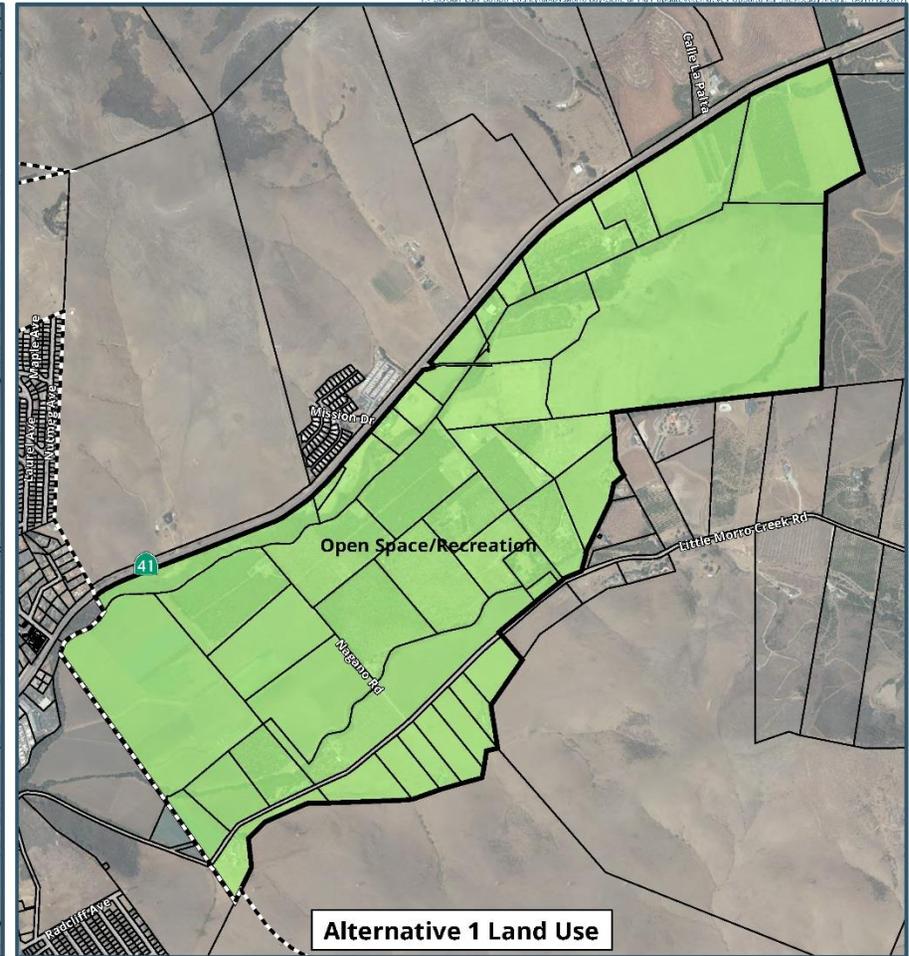
The City's long-term future vision for this area would be to retain the area as Open Space/Recreation, which would allow for continued agricultural use.

STUDY AREA 2

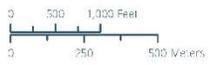
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Existing General Plan Land Use



Alternative 1 Land Use



LEGEND

-  Study Area
-  Parcels
-  Morro Bay City Limit
-  Morro Bay General Plan Land Use Open Space/Recreation
-  San Luis Obispo County General Plan Agriculture

Sources: City of Morro Bay (2016);
 San Luis Obispo County (2016);
 Michael Baker Int'l (2016).

Study Area 3

Study Area 3 is located north of Highway 1 adjacent to the Tri-W parcel that is located inside the city limits. It is east of Little Morro Creek Road and west of South Bay Boulevard (see Study Area 3 figure).

Existing Conditions

Most of this area is used for grazing and is quite hilly. It is currently undeveloped. The City is currently evaluating an area at the southeast corner of this study area for the future location of the City's WRF. If that facility is approved, that portion of the study would be annexed and designated Public Facility as detailed under Site C above.

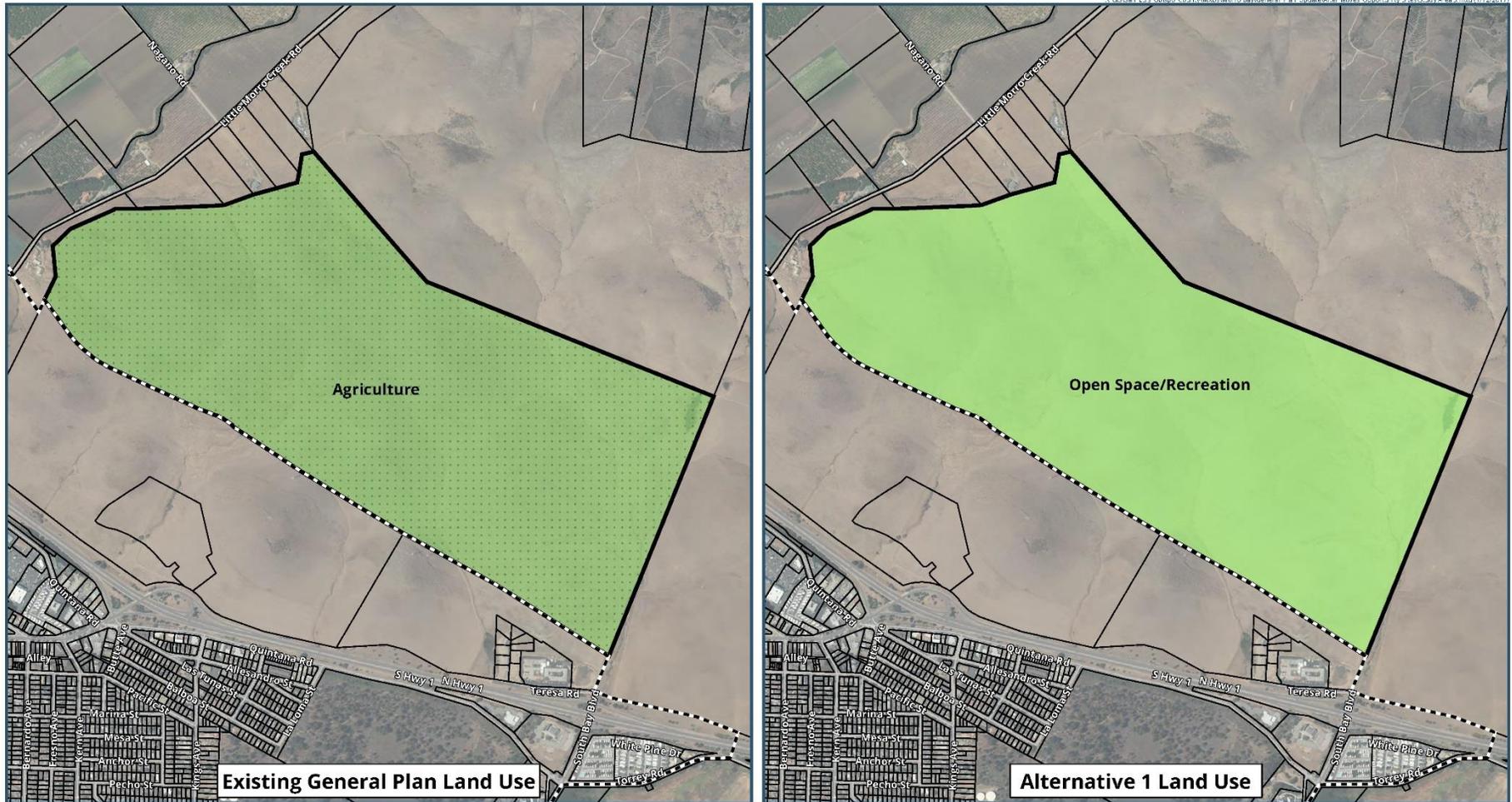
Existing General Plan

The existing County General Plan land use designation in this area is Agriculture.

Alternative 1

For the remainder of this area (aside from the WRF), or for the whole study area if the WRF location is not approved here, the City's long-term future vision for this area would be to retain the area as Open Space/Recreation, which would allow for continued agricultural use.

STUDY AREA 3



LEGEND

-  Study Area
-  Parcels
-  Morro Bay City Limit
- Morro Bay General Plan Land Use**
-  Open Space/Recreation
-  Agriculture
- San Luis Obispo County General Plan**
-  Agriculture

Source: City of Morro Bay (2013);
 San Luis Obispo County (2016);
 Michael Baker Inc. (2013).

Study Area 4

Study Area 4 is located east of the Morro Bay city limits and south of Highway 1, extending east almost to Hollister Peak (see Study Area 4 figure). The terrain of Study Area 4 is fairly flat, lying just north of Cerro Cabrillo and Hollister Peak. Morro Creek runs the length of this study area. The area is located entirely within the Coastal Zone.

Existing Conditions

Much of Study Area 4 is in agricultural cultivation, primarily as row crops. Almost all of the area is considered prime soil, and some parcels qualify as prime agricultural land. One large parcel is under a Williamson Act contract. The area known as Chorro Flats is owned by the Coastal San Luis Resource Conservation District, which maintains approximately 45 acres in active agricultural production and has restored the rest of the land to wetlands and other wildlife habitat.

Existing General Plan

The existing County General Plan land use designation in this area is Agriculture.

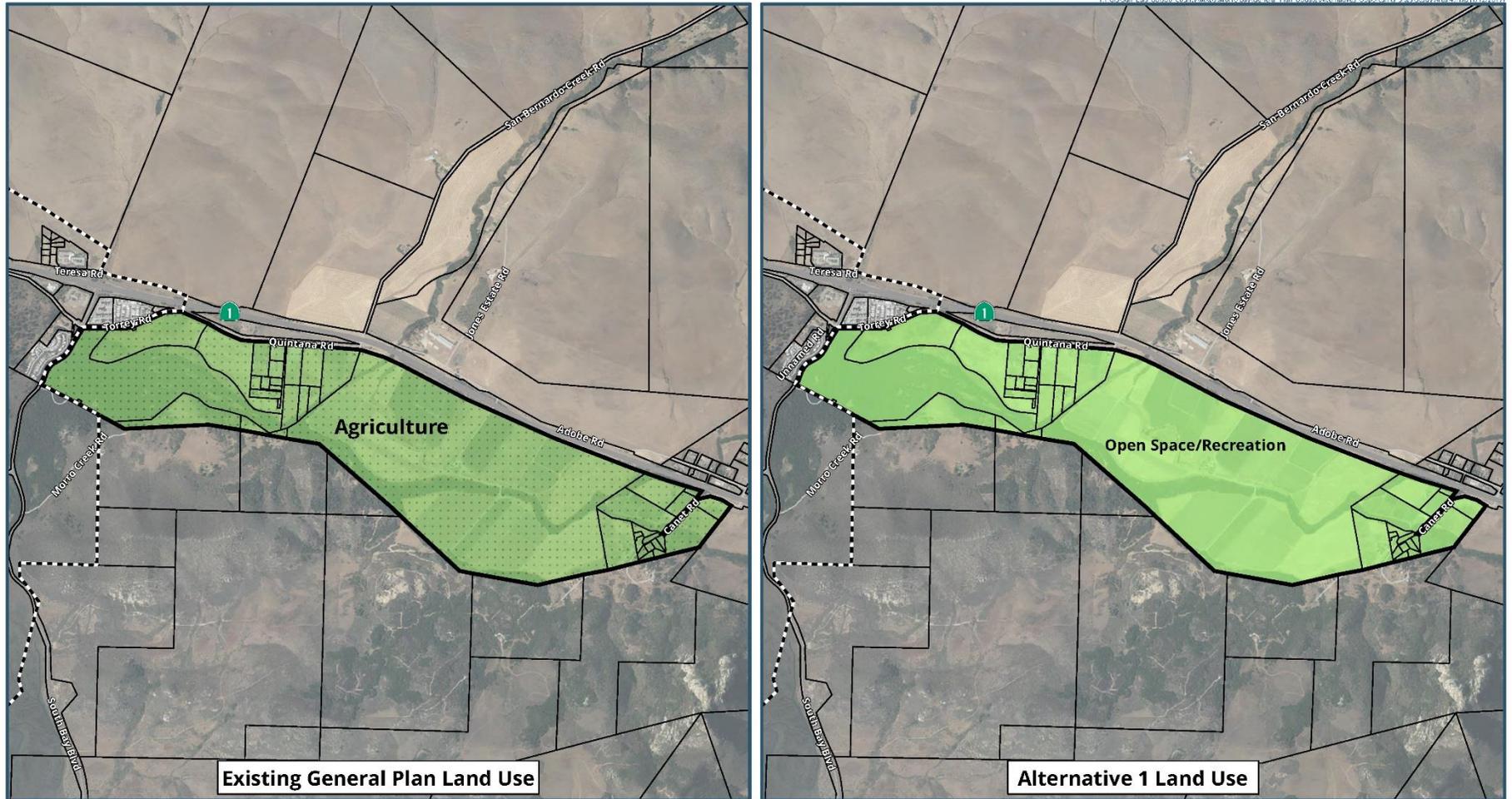
Alternative 1

The City's long-term future vision for this area would be to retain the area as Open Space/Recreation, which would allow for continued agricultural use.

Input Received for Study Areas 2, 3 and 4

- Many of those who provided input wanted the land kept under County jurisdiction, while some wanted the City or another organization to acquire the land and protect it as open space. Another segment of the participants wanted the land to be annexed by the City but retained as agriculture.
- Participants were opposed to any new development on hillsides, and would like to see these areas preserved as agriculture.
- Study Area 3 and Study Area 4 could be used for business park or light industrial uses.
- There was support for passive recreation within the study areas, as feasible.

STUDY AREA 4



LEGEND

- | | | |
|--|---|---|
|  Study Area |  Morro Bay General Plan Land Use |  San Luis Obispo County General Plan |
|  Parcels |  Open Space/Recreation |  Agriculture |
|  Morro Bay City Limit | | |

Source: City of Morro Bay (2016), San Luis Obispo County (2016), Michael Baker Corp. (2016).

Land Use Alternatives Memo

General Input from the Survey

- A number of respondents emphasized the need for affordable housing, especially for senior citizens. While many supported higher-density affordable/senior housing, a few respondents were concerned about increased traffic that may result from these developments.
- Survey respondents favored local retailers and other businesses over large chains, particularly in visitor-friendly locations such as downtown and the Embarcadero.
- Many respondents spoke strongly in favor of preserving hillside areas from development and protecting these sites as open space uses, with limited recreational opportunities such as hiking trails.
- A large number of people spoke in favor of maintaining the small-town, fishing village atmosphere that makes Morro Bay unique. Specific cities and areas were given (Southern California, Pismo Beach, etc.) to illustrate what they did not want to see Morro Bay turn into.
- While unrelated to the study area questions, a substantial number of respondents talked about fixing existing City streets and infrastructure that they feel are currently inadequate.

Next Steps

Following the GPAC's review and input, the following next steps will occur in the land use alternatives process:

- Public workshop on land use alternatives
- Planning Commission/City Council study session on land use alternatives
- Draft Plan Morro Bay



AGENDA NO: C-2

MEETING DATE: April 4, 2017

Staff Report

TO: Morro Bay Planning Commission DATE: March 17, 2017
FROM: Scot Graham, Community Development Director
SUBJECT: FY 17/18 PC Work Plan

RECOMMENDATION

Staff recommends the Planning Commission (PC) review the staff report and attached materials and establish a consensus on the items to be included in the Draft FY 17/18 PC work plan that will be the basis of discussion during the annual joint Meeting with the City Council in April.

BACKGROUND/DISCUSSION

This item was continued from the March 21, 2017 Planning Commission meeting due to the length of the previous meeting.

At their February 14, 2017 meeting, the City Council considered and continued discussion to focus on the details of goal one in the final draft *FY17/18 Goals and Objectives*. The Council draft goals and objectives for FY 17/18 have been streamlined and more narrowly focused than the previous two sets of goals and objectives for FY 15/16 and FY16/17. See Draft FY 17/18 Goals and Objectives provided in Attachment 1.

The PC work plan should incorporate all the objectives that have a Planning Commission focus. The Commission may add additional items into their work program that are more routine yet still very important to the community. Any items proposed to be added to the work plan by the Commission should be discussed with staff to determine the capacity to bring those items forward based on current and future workload.

Goal Related Work Plan Items:

Goal 1. (Essential Goal) Achieve Economic and Fiscal Sustainability

Obj. 5. Facilitate private revitalization / redevelopment activities that will result in planning approval for a 3% increase in number of hotel rooms in the City, with priority placed on 3 and 4-star properties to better balance our hotel stock. **Staff comment: Project with hotel and motel units will likely be coming forward for review in FY 17/18.**

Obj. 7. Research and bring to Council consideration of various approaches for parking management, including paid parking, in downtown and/or Embarcadero areas; include consideration of one or more parking districts. ***Should be combined with Goal 3...Objective 3.***

Prepared By: __SG__

Dept Review: _SG_

Goal 2. (Essential Goal) Complete WRF Project and “OneWater” Program

Obj. 2 Following CEQA guidelines, bring the WRF Environmental Impact Report (EIR) to Council for approval and certification. **The PC will likely be required to review the WRF EIR.**

Goal 3. (Important Goal) Improve Infrastructure and Public Spaces

Obj. 3. Bring to Council for information, consideration and possible implementation a review of parking management plans and options in the downtown and waterfront districts; seek, and bring to Council for consideration, partnerships that will result in the construction of one or two moderately sized parking facilities in waterfront /downtown areas of the City. ***Should be combined with Goal 1...Objective 7.***

Goal #4 (Important Goal) - Review and Update Significant City Land Use Plans

Obj. 1. Complete the GP/ LCP rewrite approved and started in FY16.

Obj. 2. Complete the zoning code update approved and started in FY17.

Obj. 3. Ensure affordable housing and vacation rental challenges are addressed in the GP/LCP process and all land use planning.

Obj. 4. Bring to Council for consideration the results of Code Enforcement outreach on existing codes related to fences and hedges, and boat, RV and trailer parking /storage on City streets and neighborhoods to determine whether to keep, or modify, related existing ordinances.

Obj 5. Bring to Council for adoption a rewrite of the secondary unit ordinance (updated in FY16) based on changes in State law.

Obj 6. Begin community outreach and Council discussion on future use of the 26-acre Atascadero Road site (location of the existing WWTP) to be prepared to begin master planning that site in FY19.

Other Items to add to the Planning Commission Work Program

Under normal circumstances staff would have added several options for the Planning Commission to consider adding to the work program, but this year is somewhat special as we are ramping up on the Zoning Code update. Update of the Zoning Code will require substantial input from the Planning Commission, therefore; staff is proposing only one item to consider for inclusion in the work plan that is unrelated to the Zoning Code update:

- Review of the residential design guidelines

As for the zoning code update, we are kicking that effort off with stakeholder interviews and a presentation to the General Plan Advisory Committee on March 16, 2017. Staff has assembled a list of items that need to be amended, revised, updated or added. Attachment 2 to this staff report

includes a copy of the list that has been provided to the consultant for consideration in the zoning code update. The Planning Commission should review the list and identify any desired additions.

Attachments

1. Council Draft FY 17/18 Goals and Objectives (as of Feb. 15, 2017)
2. List Zoning Code update items (March 2017)

City of Morro Bay
FY18 Final Goals and Objectives
as of: February 15, 2017

This document is the City of Morro Bay's FY18 Goals and Objectives for final review. Following review, this document will be formatted for adoption by Council action at their Feb 28, 2017 regular meeting.

Section I – Goals, Goal Descriptors, and Objectives

Goal #1 (Essential Goal) – Achieve Economic and Fiscal Sustainability

Description: This essential goal recognizes the City is not currently able to fund all basic services and requirements at the level our community expects, along with the importance of strengthening and maintaining strong financial management practices. As of January 2017, our General Fund revenues are around 25% below requirements to deliver services the community deserves. This goal centers around economic development and fiscal actions (revenue enhancement, public funding measures, cost control, and sound fiscal practices) that target a 25% increase in revenues, while ensuring sound fiscal management practices are in place.

Duration: This is an 8-year goal - the City intends to achieve fiscal sustainability by 2025.

Focus: This goal includes objectives related to revenue enhancement, general economic development, cost control, and assurance of sound financial management practices are in place.

1. Working with local and regional businesses and groups, promote a balanced economic development approach consistent with our Economic Development Strategic Plan that retains, expands, and attracts businesses for a strong, stable, complementary, and diverse business environment, including tourism, coastal resources, development, redevelopment, and conservation that honors the character of our community and is consistent with our Community Vision.
2. Pursue opportunities and relationships that may result in building demolition/reuse, remediation and complete redevelopment of the Morro Bay Power Plant in a way that will increase TOT, property tax, and sales tax revenue, while converting a portion of the existing property for public use such as recreation areas, cultural and educational amenities, parks, and paths. Advocate for appropriate specialty uses such as an ambulatory medical plaza.
3. Take appropriate action, including implementation of specific programs, to increase shoulder-season and off-season TOT-producing visitor nights by 10 % over FY17 levels.
4. Research and bring to Council for decision incentive programs, including a TOT rebate program, that would reasonably result in the renovation of some existing hotel stock and deliver higher average daily rates and thus higher TOT revenues.

City of Morro Bay
FY18 Final Goals and Objectives
as of: February 15, 2017

5. Facilitate private revitalization / redevelopment activities that will result in planning approval for a 3% increase in number of hotel rooms in the City, with priority placed on 3 and 4-star properties to better balance our hotel stock.
6. Take proactive action to facilitate the revitalization of underused and vacant parcels in commercial districts, including encouraging ~~sales-tax producing~~ digital or other “green” industries and businesses providing multiple head of household jobs.
7. Research and bring to Council consideration of various approaches for parking management, including paid parking, in downtown and/or Embarcadero areas; include consideration of one or more parking districts.
8. Evaluate opportunities for new revenue sources and present to Council for consideration; include possible marijuana tax measures, other tax measures, and cost control approaches that include a staffing review.

Goal #2 (Essential Goal) – Complete WRF Project and “OneWater” Program

Description: This essential City goal centers around completion of the City’s Water Reclamation Facility (WRF) and includes implementation of a fiscally conservative, comprehensive water resource policy, program and infrastructure to ensure a sustainable water future. Key items include building the WRF and associated reclamation system, developing a “OneWater” policy, and diversifying our water supply toward achieving water independence.

Duration: This is a 6-year goal that we intend to complete by July 2023.

Focus: This goal includes objectives related to the Water Reclamation Facility, and “OneWater” planning and implementation.

1. Complete water/sewer rate study and bring to Council for Prop 218 process consideration any rate increase requirements to fund the proposed WRF.
2. Following CEQA guidelines, bring the WRF Environmental Impact Report (EIR) to Council for approval and certification.
3. Complete and submit the State Revolving Fund loan application with the State Water Control Board for the WRF project, to secure funding for the project.
4. Complete the acquisition of the preferred site for the WRF project.
5. Take appropriate selection action and bring to Council for approval, a contract for the design-build construction delivery of the new WRF.
6. Take all appropriate actions, and bring to Council for information/approval, as required, information that will allow the City to make a decision to achieve water independence - including weaning off State Water and appropriately disposing of (likely leasing) our State water allocation.

City of Morro Bay
FY18 Final Goals and Objectives
as of: February 15, 2017

7. Budget for, select a consultant, complete, and bring to Council for initial consideration, a “OneWater” plan for the City that considers all water resources - from storm water to groundwater to waste water - as a single “water resource.”

Goal #3 (Important Goal) - Improve Infrastructure and Public Spaces

Description: This important goal centers around substantially improving the City’s streets, multi-modal transportation infrastructure, facilities and public spaces. The City does not currently have sufficient revenues to fund the capital improvement program required to make substantial and necessary infrastructure improvements and, therefore, this goal is contingent on making significant progress on Goal #1 – Achieve Fiscal Sustainability.

Duration: This is, at minimum, an 8-year goal.

Focus: This goal includes objectives related to streets, bike / pedestrian / parking improvements, City facilities, and beautification of public spaces.

1. Bring to Council for decision an item to consider adding a street improvement tax measure to the November 2018 ballot.
2. Budget for and complete planning for rebuilding of the City-owned access alley to the commercial fish dock between the USCG station and Morro Bay Landing (ex-Virg’s) lease site, work toward synchronizing City improvements with possible USCG station and Morro Bay Landing lease site development.
3. Bring to Council for information, consideration and possible implementation a review of parking management plans and options in the downtown and waterfront districts; seek, and bring to Council for consideration, partnerships that will result in the construction of one or two moderately sized parking facilities in waterfront / downtown areas of the City.
4. Bring to Council for decision proposals that result in a public/private partnership redevelopment of the City-owned “Market Plaza” property consisting of the DiStasios’s parcel, and, if appropriate to be included in redevelopment, the “Front Street” parking lot (below DiStasio’s), and the parking lot at Pacific and Market.
5. Complete the approved RFQ process and, if required, a feasibility study, for a marine services facility (boatyard) and bring to Council for information and consideration of next steps.
6. Inventory, evaluate and refresh existing programs for volunteer groups to provide routine maintenance in the City (such as adopt-a-park programs); while soliciting and facilitating additional volunteer group support for routine maintenance (such as park beautification) and small capital projects (such as park bathroom reconstruction).

City of Morro Bay
FY18 Final Goals and Objectives
as of: February 15, 2017

Goal #4 (Important Goal) - Review and Update Significant City Land Use Plans

Description: This important goal centers around completion of the City's General Plan (GP) / Local Coastal Program(LCP) rewrite, and update of other essential land use documents. While the General Plan is the important task, update of other essential land use plans and master plans is also priority.

Duration: This is a 2-year goal that should be complete by summer 2019.

Focus: This goal includes objectives related to completion of the GP/ LCP and other important planning documents.

1. Complete the GP/ LCP rewrite approved and started in FY16.
2. Complete the zoning code update approved and started in FY17.
3. Ensure affordable housing and vacation rental challenges are addressed in the GP/LCP process and all land use planning.
4. Bring to Council for consideration the results of Code Enforcement outreach on existing codes related to fences and hedges, and boat, RV and trailer parking / storage on City streets and neighborhoods to determine whether to keep, or modify, related existing ordinances.
5. Bring to Council for adoption a rewrite of the secondary unit ordinance (updated in FY16) based on changes in State law.
6. Begin community outreach and Council discussion on future use of the 26-acre Atascadero Road site (location of the existing WWTP) to be prepared to begin master planning that site in FY19.

Section I –Proposed Mission Statement

- a. The City of Morro Bay provides essential public services and infrastructure to maintain a safe, clean and healthy place for residents and visitors to live, work and play.*
- b. The City of Morro Bay provides essential public services and infrastructure to maintain a safe, clean and healthy quality of life for residents and visitors to live, work and play.*
- c. The City of Morro Bay provides essential public services and infrastructure to maintain a safe, clean and healthy quality of life for residents and visitors.*



CITY OF MORRO BAY

COMMUNITY DEVELOPMENT DEPARTMENT

955 Shasta Avenue
Morro Bay, CA 93442

Date: March 8, 2017

From: Scot Graham, Community Development Director
To Martha Miller, RRM

RE: Items for Zoning Code update

1. **Landscaping.** Add landscape/irrigation plan requirements for new single family development and for expansions in excess of 500 square feet. Should be consistent with current state law.
2. **Vacation Rental.** Vacation rental ordinance (review county ordinances for Cayucos and Los Osos). We currently have a capped moratorium on vacation rentals that expires June 14, 2018 . Cap is 250. Look at including following policies:
 - a. Separation of 100 to 200 feet in R-A, R-1, R-2, R-3 & R-4 zones.
 - b. No separation in commercial/visitor serving zones
3. **Parking.** Parking solutions: paid parking areas, Parking districts.
 - a. Parking calculation: don't base on gross square footage (appropriate to exclude hallways, bathroom etc..). update parking reqs. For restaurant.
4. **Height.** Height increase in downtown area to 35' to 37'
5. **Bluff Development.** Bluff development standards: current LCP/Zoning policies treat this area as if it were a bluff subject to wave action. New policy should recognize that the bluff in most of the Embarcadero/waterfront area are not subject to wave action so development limitation related to grading are not necessary.
6. **Archaeology.** Add Archaeology Overlay
7. **Chickens.** Allow chickens...# based on lot size.
8. **Undergrounding.** Emphasis on undergrounding? Interest from Public, but unsure about GPAC and PC.
9. **Permit process.** All development should have a planning review process. Right now, conforming additions to conforming residences do not require a planning permit. Should have an administrative process for these.
 - a. Discuss with Coastal about removing sfr's from CDP requirements (these can be exempted...need examples of policies CCC support/like). Can we exempt them from hearing reqs.? Make staff level for all conforming construction.
10. **Wireless ord.** Need wireless communications policy
 - a. Subset for antenna (amateur radio and other)
11. **Theatre use.** Add theatre use to allowed uses
12. **Food Truck.** Food truck requirements for private property
13. **Solar Ready.** Add Solar ready requirement for new SFR's
14. **Grey Water.** Consider Grey water requirements for new SFR's
15. **Tiny Home.** Tiny home ordinance?

16. **Cross referenced document.** Document should include cross referencing to related policies. what about cross referencing to related GP/LCP policies?
17. **Conceptual Review.** Create conceptual review process. Relates to permitting, and happens pre-discretionary permit application submittal. Would go to PC and be noticed. No discretionary action. Idea is to get general input from PC and to let neighborhood know project is coming forward. Most likely geared toward mixed use, commercial and multifamily residential projects. Fee would be credited toward future discretionary permit application.
18. **FAR.** Add Floor Area Ratios
19. **Design Guidelines.** Zoning code should reference design review and adopted residential design guidelines. Also, refer to downtown and water front design guidelines located in DWSP.
20. **Env. Monitoring.** Add monitoring requirements for waterfront development (otter/sea life monitor). May also add req. for eel grass reporting/monitoring and noise attenuation and methods for driving piles.
21. **Accessory Dwelling Unit Ord.** Need to update our secondary dwelling unit ordinance to comply with the January 2017 changes associated with the following legislative changes: SB 1069, AB 2299, AB 2406.
22. **Incorporate draft Sign Ord. update.**
- 23.Environmental Buffer overlay – consistent with item 20 above (17.40.040)**
- 24.Minimum lot size of 6,000 too large. Reduce to 5,000.**
- 25.Develop Commercial guidelines for North Main/Quintana everything but DWSP– development standards for articulation/fenestration.**
- 26.Community Housing Ordinance deleted from Zoning Ordinance in 2007, and City adopted a Compact In-fill Ordinance but put it in the Subdivision Ordinance. This was not certified by Coastal so Chapter 17.49 still exists in my zoning book.**
- 27.Simplify definition for lot coverage**
- 28.Simplify requirements for above ground level encroachments into setbacks, such as the current 17.48.120 section which is confusing and wordy.**
- 29.Increase PC threshold trigger for conforming additions to non-conforming SFRs. Currently 17.56.160 requires PC review for additions of greater than 25%. Increase staff level review threshold to 50% instead.**
- 30.Simplify 17.56.160.A5.b section regarding parking. Confusing and wordy.**
- 31.Include cross-referencing in Zoning.**
- 32.Include applicability requirement for CDP in zoning table. Nothing in current zoning ordinance tells you whether something requires a CDP unless you go to 17.58, and even then it’s confusing. 17.58.020 states applicability of procedures and calls out requirements for additions to SFRs or new homes, but doesn’t mention commercial requirements, which are not mentioned until 17.58.040.**

33. Include a time limit on number of extensions for regular CDP's, 17.58.130 only mentioned zoning administrative actions.
34. Update 17.24 zoning district tables to reflect modern uses. For example, when was last time we permitted a "plumbing shop"?
35. Clarify MCR zoning district. Delete ability to have exclusive residential use.
36. Incorporate Measure D interpretation in CF zoning district??
37. Expand non-permanent vending, both city-wide, Embarcadero, on the beach. Currently it only allows flower and balloon sales (17.30.030.T.1)
38. Update to ESH chapter 17.40.040.
39. Delete Beach Street Specific Plan and incorporate as an overlay. 17.40.100 also states a fee of \$2 per linear foot of property fronting along the top of the bluff, or 100 dollars whichever is less. Delete reference to specific dollar amount or revise 17.40.100.F.2).
40. Delete North Main Specific Plan and incorporate as an overlay.
41. Delete S.3 and S.6 overlay zone or revise. These zones declared non-conforming residential as conforming uses as of 1982 (date of last LCP update). Or allowed homes for 50 years from construction. Many homes built in the 1960s, which as of 2017 makes them now non-conforming (17.40.050.I.1).
42. Parking Ordinance - where do I even start with this one?!
43. Parking - allow for parking reduction for mixed use commercial (similar to City of SLO).
44. Update requirement for off-street parking by use- Use categories are dated - update to modern-day use categories.
45. Allow staff ability to process an administrative parking exception in certain instances (without a user permit) 17.44.050.
46. Bluff Development standards - include a definition for landward bluff where alteration of natural land forms and protective devices would be appropriate for seaward bluffs but not on a landward bluff - for example 219 Marina - subject to bluff standards, but west of this property is a parking lot.
47. Better define permissible development 17.45.070
48. Increase ability to apply rounding versus 17.48.030 which appears to limit rounding only to determination of required parking spaces.
49. Fencing 17.48.100 - Allow staff ability to approve fence/hedge height exceptions.
50. Pools/hot tubs 17.48.150. Reduce setback requirement for filter and heating systems - as current modern day technology has quieter filter/heating systems that would not necessitate 25 foot setback.
51. Review applicability of 17.48.270 for Amusement and pinball machines and arcades.
52. Require landscaping plan

53.17.48.340 Satellite dish antennas – reflect current modern-day regulations and technologies

54.17.48.350 Manufactured homes – Better define “permanent foundation”

55. Chapter 17.50 Affordable housing chapter just certified by Coastal in December and in process of being codified. Do you have the new chapter? Etc.

Whitney's comments:

56. Use Table versus Zone Site development table! A Use Table would list all uses (and groups of uses) and specify if a permit is necessary, what type permit, parking requirements, allowable zones. Good quick reference by use versus by zone and in parking chapter. Footnote for special standards.

57. Yard/Setback. Ditch % as a setback measure. Reconsider the frontage standard (narrowest frontage rule is not working for folks.)

58. Zoning Map. District names. Boundaries. Review all names. Add a Public Facility zone. Ditch Golf Course? Remove M-1 island. Make logical: Why is Suburban Residential RA? Why General Office? Why not just Office? General Commercial? Better descriptors. How about a Mixed Use Overlay or actual designation for the Downtown and Office zones?? Is MCR still relevant? Don't we want to encourage vertical mixed use?

59. Revise or delete Community Housing Project (17.49) Still referenced even though recinded...how is different from a PUD?

60. Revisit the 10%, 25% addition rules.

61. Exception Process. Provide for an administrative process for minor exceptions to fence height, setbacks, parking, etc. Include required findings / lesser noticing.

62. Garage Setbacks. Lots of different rules in different places.... Ditch the 1-foot allowed setback for detached garages. Min should be 3'.

63. Special Use Permit Section. Why not just list in use table and require one of the following: admin/PC/temporary/special event permits?

64. Hillside Development standards. Include under General Regulations?...There are standards in the Coastal Plan.....

65. Specific Plans. Ditch them!

66. Planned Development – Review/revise. Reduce the number of sites with this overlay. Maybe this is the logical place for something like the Community Housing Projects....

67. Neighborhood compatibility / view protection – Where to best address these?

68. Use Permit Chapter 17.60. Ditch “minor variance” replace with Exceptions. Be more general about when this may apply. In general, this section should describe the type of permit, the decision maker, findings, noticing, appeals, hearing, expiration, revocation. basically what it is and what it entails – BUT not so much specific uses like Large family daycare (Random!) or temporary ag produce stand – too obscure! Put these in the Use Table and footnote if necessary. Limit time extensions to 2 maximum!

69. Coastal Development Chapter: Ditto – just what it is / how it’s processed. Will still need an Applicability section....Continuity in referencing the “Coastal Commission Appeal Jurisdiction” also described as “coastal development permit appeal area” This needs to be better described up front in the CDP section.any reference to accessory dwelling units needs updated here too.
70. Performance Standards. Add night sky standards under lighting, specify lighting levels. Review Noise standards and update table. Clarify that temporary construction noise is not the same as a stationary noise source. Vibration standard is really broad!
71. General Regulations. Like Special use permits, this is kinda the junk drawer....Consider relocating some of this content to other sections. Rounding – clarify to the nearest what! Inch? Foot?
72. Definitions – Review and revise to modernize. Get standards out of definitions.
73. NEW ZONING MAP!!!!!!!!!!!!
74. FORMAT!!!!!! For better reference. Better visual hierarchy / numbering.
- 23-75. _____