



CITY OF MORRO BAY PLANNING COMMISSION AGENDA

The City of Morro Bay provides essential public services and infrastructure to maintain a safe, clean and healthy place for residents and visitors to live, work and play.

**Regular Meeting - Tuesday, March 20, 2018
Veteran's Memorial Building – 6:00 P.M.
209 Surf Street, Morro Bay, CA**

Chairperson Gerald Luhr

Vice-Chairperson Michael Lucas
Commissioner Jesse Barron

Commissioner Richard Sadowski
Commissioner Joseph Ingrassia

ESTABLISH QUORUM AND CALL TO ORDER
MOMENT OF SILENCE / PLEDGE OF ALLEGIANCE
PLANNING COMMISSIONER ANNOUNCEMENTS

PUBLIC COMMENT PERIOD

Members of the audience wishing to address the Commission on matters not on the agenda may do so at this time. For Public Hearing, New Business, and Unfinished Business items, additional opportunities for public comment will be provided following the Staff Report for each such item. Commission hearings often involve highly emotional issues. It is important that all participants conduct themselves with courtesy, dignity and respect. All persons who wish to present comments must observe the following rules to increase the effectiveness of the Public Comment Period:

- When recognized by the Chair, please come forward to the podium and state your name and address for the record. Commission meetings are audio and video recorded and this information is voluntary and desired for the preparation of minutes.
- Comments are to be limited to three minutes so keep your comments brief and to the point.
- All remarks shall be addressed to the Commission, as a whole, and not to any individual member thereof. Conversation or debate between a speaker at the podium and a member of the audience is not permitted.
- The Commission respectfully requests that you refrain from making slanderous, profane or personal remarks against any elected official, commission and/or staff.
- Please refrain from public displays or outbursts such as unsolicited applause, comments or cheering.
- Any disruptive activities that substantially interfere with the ability of the Commission to carry out its meeting will not be permitted and offenders will be requested to leave the meeting.
- Your participation in Commission meetings is welcome and your courtesy will be appreciated.

In compliance with the Americans with Disabilities Act, if you need special assistance to participate in this meeting, please contact the Community Development Department at (805) 772-6264. Notification 24 hours prior to the meeting will enable the City to make reasonable arrangements to ensure accessibility to this meeting. There are devices for the hearing impaired available upon request at the staff's table.

PRESENTATIONS - NONE

Informational presentations are made to the Commission by individuals, groups or organizations, which are of a civic nature and relate to public planning issues that warrant a longer time than Public Comment will provide. Based on the presentation received, any Planning Commissioner may declare the matter as a future agenda item in accordance with the General Rules and Procedures. Presentations should normally be limited to 15-20 minutes.

A. CONSENT CALENDAR

A-1 Current and Advanced Planning Processing List
Staff Recommendation: Receive and file.

B. PUBLIC HEARINGS

Public testimony given for Public Hearing items will adhere to the rules noted above under the Public Comment Period. In addition, speak about the proposal and not about individuals, focusing testimony on the important parts of the proposal; not repeating points made by others.

B-1 Case No.: UP0-512 and AD0-130

Site Location: 220 Main Street, Morro Bay, CA

Project Description: The project is a request for Conditional Use Permit and parking exception approval for the addition of less than 10% to an existing nonconforming residential structure with a nonconforming duplex residential use in the R-1 Single-Family Residential Zoning District. Specifically, the Applicant proposes to add 149 sq. ft. to the first floor of an existing 1,982 sq. ft. residential structure. The parking exception is to allow for two tandem spaces to be located at the rear of the structure adjacent to the existing garage and to allow for the nonconforming 19 ft. width of the existing garage. The project site is located within the Coastal Commission Appeal Jurisdiction.

CEQA Determination: Categorically exempt Section 15301, Class 1

Staff Recommendation: Conditionally Approve

Staff Contact: Joan Gargiulo, Assistant Planner (805) 772-6577

C. NEW BUSINESS - NONE

D. UNFINISHED BUSINESS - NONE

E. PLANNING COMMISSIONER COMMENTS

F. COMMUNITY DEVELOPMENT DIRECTOR COMMENTS

G. ADJOURNMENT

Adjourn to the next regular Planning Commission meeting at the Veteran's Memorial Building, 209 Surf Street, on April 3, 2018 at 6:00 p.m.

PLANNING COMMISSION MEETING PROCEDURES

This Agenda is subject to amendment up to 72 hours prior to the date and time set for the meeting. Please refer to the Agenda posted at the Community Development Department, 955 Shasta Avenue, for any revisions, or call the department at 772-6264 for further information.

Written testimony is encouraged so it can be distributed in the Agenda packet to the Commission. Material submitted by the public for Commission review prior to a scheduled hearing should be received by the Planning Division at the Community Development Department, 955 Shasta Avenue, no later than 5:00 P.M. the Tuesday (eight days) prior to the scheduled public hearing. Written testimony provided after the Agenda packet is published will be distributed to the Commission but there may not be enough time to fully consider the information. Mail should be directed to the Community Development Department, Planning Division.

Materials related to an item on this Agenda are available for public inspection during normal business hours in the Community Development Department, at Mill's/ASAP, 495 Morro Bay Boulevard, or the Morro Bay Library, 695 Harbor, Morro Bay, CA 93442. Materials related to an item on this Agenda submitted to the Planning Commission after publication of the Agenda packet are available for inspection at the Community Development Department during normal business hours or at the scheduled meeting.

This Agenda may be found on the Internet at: www.morrobayca.gov/planningcommission or you can subscribe to Notify Me for email notification when the Agenda is posted on the City's website. To subscribe, go to www.morrobayca.gov/notifyme and follow the instructions.

The Brown Act forbids the Commission from taking action or discussing any item not appearing on the agenda, including those items raised at Public Comment. In response to Public Comment, the Commission is limited to:

1. Responding to statements made or questions posed by members of the public; or
2. Requesting staff to report back on a matter at a subsequent meeting; or
3. Directing staff to place the item on a future agenda. (Government Code Section 54954.2(a))

Commission meetings are conducted under the authority of the Chair who may modify the procedures outlined below. The Chair will announce each item. Thereafter, the hearing will be conducted as follows:

1. The Planning Division staff will present the staff report and recommendation on the proposal being heard and respond to questions from Commissioners.
2. The Chair will open the public hearing by first asking the project applicant/agent to present any points necessary for the Commission, as well as the public, to fully understand the proposal.
3. The Chair will then ask other interested persons to come to the podium to present testimony either in support of or in opposition to the proposal.
4. Finally, the Chair may invite the applicant/agent back to the podium to respond to the public testimony. Thereafter, the Chair will close the public testimony portion of the hearing and limit further discussion to the Commission and staff prior to the Commission taking action on a decision.

APPEALS

If you are dissatisfied with an approval or denial of a project, you have the right to appeal this decision to the City Council up to 10 calendar days after the date of action. Pursuant to Government Code §65009, you may be limited to raising only those issues you or someone else raised at the public hearing described in this notice, or in written correspondence delivered to the Commission, at, or prior to, the public hearing. The appeal form is available at the Community Development Department and on the City's web site. If legitimate coastal resource issues related to our Local Coastal Program are raised in the appeal, there is no fee if the subject property is located within the Coastal Appeal Area. If the property is located outside the Coastal Appeal Area, the fee is a \$277 flat fee. If a fee is required, the appeal will not be considered complete if the fee is not paid. If the City decides in the appellant's favor then the fee will be refunded.

City Council decisions may also be appealed to the California Coastal Commission pursuant to the Coastal Act Section 30603 for those projects that are in their appeals jurisdiction. Exhaustion of appeals at the City is required prior to appealing the matter to the California Coastal Commission. The appeal to the City Council must be made to the City and the appeal to the California Coastal Commission must be made directly to the California Coastal Commission Office. These regulations provide the California Coastal Commission 10 working days following the expiration of the City appeal period to appeal the decision. This means that no construction permit shall be issued until both the City and Coastal Commission appeal period have expired without an appeal being filed. The Coastal Commission's Santa Cruz Office at (831) 427-4863 may be contacted for further information on appeal procedures.



City of Morro Bay
 Community Development Department
 Current & Advanced Project Tracking Sheet

This tracking sheet shows the status of the work being processed by the Planning & Building Divisions

New Planning items or items recently updated are highlighted in yellow.

Approved projects are deleted on next version of log.

Agenda No: A-1

Meeting Date March 20, 2018

#	Applicant/ Property Owner	Project Address	Date	Permit Numbers	Project Description/Status	Planning Comments and Notations	Building/Fire Comments and Notations	Engineering Comments and Notations	Harbor/Admin Comments and Notations	Project Planner
Hearing or Action Ready Projects:										
1	Kisinger	220/222 Main Street	1/23/18	UP0-512/AD0-130	CUP - One time addition of less than 10% to an existing structure with a nonconforming use (duplex in R-1) and a parking exception	Under Initial Review. Correction letter sent. Waiting for resubmittal. Requires a parking exception. Resubmittal Rcv'd 2/26				jg
2	Kwai	2780 Main	9/15/17	UP0-493	Minor Use permit for reduction in commercial use to limit commercial use to the first floor and expansion of residential use to limit residential use to second floor. No additional square footage is proposed	Under Initial Review. Correction Letter sent 10/17. Resubmittal rcv'd 1/5. Requires a parking exception. Application received 2/5. Minor corrections emailed to Agent 2/23. Noticed 3/9.				jg
3	Osborne	450 Piney	11/16/17	CP0-556	Administrative Coastal Development Permit for demolition of existing single family residence, construct new 3,008SFR, 460 sf garage, 214sf decks, 58sf porch	Under Intial Review. Correction Letter sent 12/14. Resubmittal rcv'd 2/1/18				jg
14	Van Buerden	945 Embarcadero	5/24/16	UP0-446	Conditional Use Permit for House of JuJu restaurant remodel, and City Park improvements	Incomplete letter sent 6-23-16 to Applicant and Applicant Representative. Cj. Resubmitted revised plans 6-5-17. Project reviewed and discussed with Consultant. PC hearing date is 9-5-17. Conditionally approved via Favorable Recommendation to City Council for approval. Council reviewed on 10-10-17 and continued project to 11-14-17.. Resubmitted 2/5/18. Project to be agendized for 3/27/18 City Council review of Concept Plan CUP.		Conditionally approved 6/14/16		cj
30 -Day Review, Incomplete or Additional Submittal Review Projects:										
3	Hilton	430 La Jolla	3/5/18	CP0-568	Remodel existing SFR to create an Accessory Dwelling Unit	Under Initial Review				jn
4	Kenney	321 Trinidad	3/2/18	UP0-515/AD0-131	Addition to a nonconforming SFR and parking exception for tandem space	Under Initial Review				jg
5	Scott	2940 Hemlock	2/23/18	CP0-567	New 1,266 sq. ft. single-family residence	Under Initial Review. Waiting on PW comments				jg

#	Applicant/ Property Owner	Project Address	Date	Permit Numbers	Project Description/Status	Planning Comments and Notations	Building/Fire Comments and Notations	Engineering Comments and Notations	Harbor/Admin Comments and Notations	Project Planner
6	Frye	3400 Toro	2/21/18	CP0-566	New single-family residence with an attached accessory dwelling unit	Under Initial Review. Waiting on PW comments				jg
7	Matson Bay	787 Main Street & 280 Morro Bay Blvd	1/17/18	S00-130	Lot Line Adjustment	Under initial review. Deemed incomplete, letter sent to applicant 2/16/18				nh
8	Matson Bay	271 Pacific	1/17/18	S00-131	Cert of Compliance	Under initial review. Approved, recording documents in process.				nh
9	Matson Bay	767 Main Street	1/17/18	S00-132	Cert of Compliance	Under initial review. Approved, recording documents in process.				nh
10	Kitzman	355 Quintana Place	1/26/18	A00-000-053	Lot Tie and modification to parking lot for Culligan Water	Under initial review. Deemed incomplete, letter sent to applicant 2/21/18				nh
11	Reeves	1169 West	2/9/18	UP0-514/CP0-565	New 3,901 sq. ft. single-family residence with detached 980 sq.ft. garage	Under Initial Review. Deemed incomplete, letter sent to applicant 3/6/18. Resubmittal received 3/13/18. Under Review.				nh
12	Borchard	508 Blanca	2/9/18	CP0-564	New 1,800 sq. ft. single-family residence with 453 sq. ft. garage and 364 sq. ft deck	Under Initial Review. Deemed incomplete, letter sent to applicant 3/8/18				nh
13	Van Buerden	701 Embarcadero	2/6/18	UP0-513	Minor Use Permit for a change to the existing signage program	Correction Letter sent 1/18. Waiting on Applicant's decision to redesign or take to PC				jg
15	DeGarimore	1001 Front St.	1/29/18	A00-054	Amendment to CUP to modify project description to remove proposed new awning and allow for seasonal operation of kiosk for Virg's Landing.	Under initial review.				cj
16	Wright	2996 Alder Ave	1/18/18	CP0-562	3 story, 3 unit apartment building in the R-4/SP zone	Under initial review. Deemed incomplete, letter sent to applicant 2/20/18. Resubmittal received 3/13/18. Under Review.				nh
17	Johnson	128 Rennell	1/10/18	CP0-561	Demo/reconstruct 1,362 sq. ft. SFR with 496 sq. ft. garage, and 240 sq. ft. covered front porch	Incomplete letter mailed 2-9-18				nh
18	Stollmeyer	3310 Main	12/19/17	UP0-508	Conceptual review of residential development in the MCR/R-4/SP. Two SFRs with attached ADUs on two adjacent parcels	Under initial review. Pc review of concept plan at 1/16 PC hearing. After Action Letter sent 1/18. Waiting on full formal application submittal				jg
19	Branch	885 Embarcadero	1/8/18	UP0-511	Minor Use Permit to recognize allowable uses per Master Lease Agreement for City lease site	Under Initial Review. Correction letter sent 2/9/18. Resubmitted 2/13/18.				cj
20	TLC Family Enterprises	833 Embarcadero	1/2/18	UP0-509	Demo/reconstruction of existing Off the Hook Building.	Under Initial Review. Correction letter sent 2/13/18				cj

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21	Madding	458 Dunes St	11/7/17	UP0-503	Remodel & addition to existing single family home; addition is 373sf.	Under Intial Review. Correction letter sent 12/13. Resubmitted 2/28/18. Under review.				nh
22	Di Benedetto	235 Marina	11/1/17	CP0-555/UP0-495	Coastal Development Permit & CUP for Demo/Reconstruct	Under initial Review. Correction Letter sent 11/13. Resubmittal Received 3/12/18				ig
23	Taverner	335 Piney	6/15/17	CP0-547	Coastal Development Permit for the construction of a detached 624 sq. ft. accessory dwelling unit	Under Initial Review. Correction Letter sent 7/11/2017. Resubmittal received 9/28. Performed Site Visit. Waiting on confirmation of the removal of second kitchen area on lower floor. Letter sent 12/14 regarding required information submittal not rcv'd to date. Applicant must remove cooking facilities in lower portion of existing SFR. Has not yet complied to date (2/13) Another Letter sent 2/26		PN- Conditionally approved 7/17/2017		ig
24	Guesno	210 Atascadero	6/1/17	CP0-544 / UP0-481	Coastal Development Permit and Conditional Use Permit for commercial change in use	Under review. Correction memo sent to applicant 6-27-17. Resubmittal received 7/24/17. Incomplete letter sent 8/4/17. Plans still incomplete as of Nove 2017. Resubmittal received 1/5/18. Incomplete letter sent 2/6/18.		PN- Disapproved 7/5/17		nh
25	Morgan	101 Fig St.	4/12/17	UP0-476	Conceptual Review of New SFR with accessory unit. Existing historical structure on lower level.	PC Conceptual Review 5/16/17. Applicant evaluating whether to pursue project.		PN-Conditionally approved 5/11/17		nh
26	Huber	2783 Coral Ave	2/24/17	CP0-530, UP0-470, S00-127	Proposed 6 lot residential subdivision (Tentative Tract Map, CDP, and CUP application). Property located at corner of San Jacinto & Coral Ave.	Under Initial Review. Resubmitted 11-2017. RFP released for preparation of environmental (IS/MND). MND update in process.		PN- Not Approved per memo dated 3/16/17		nh

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27	Eisemann	535 Atascadero	10/12/15	CP0-490 & S00-125	Parcel map application & CDP to split 1 R-4 zoned lot in to two lots.	Incomplete letter sent 11-5-15. Received revised plans and communicated via email to applicant regarding plan corrections. Resubmittal under review. Correction letter sent 2/18/16 with Public Works comments. Received revised info from Applicant 3-3-16. Correction sent and resubmitted 4-8-16. Met w/ Architect to discuss intent to include development of 4-plex apartments. Resubmittal rcv'd 5/10. Correction letter sent 6/14/16. Spoke with architect 8/9/2016. Resubmittal rcv'd 8/17/2016. Correction letter sent 10/13/2016. <i>Applicant now wants to remove development from proposal and process the parcel map independently of any development.</i> Waiting on updated map (4/7/2017) Rcv'd 4/17. Correction letter sent 5/30/2017. Resubmittal Received 7/10/17. Correction Letter sent 8/22. Resubmittal rcv'd 10/18/17. Applicant has chosen to again change the project. Permit expired. Applicant directed to resubmit application at meeting 12/14. Subdivision Review Committee tentatively scheduled for 1/30/18. Correction Letter sent 2/22		PN- Disapproved per Memo dated 8/10/2017		jg
28	Gambril	405 Atascadero Rd.	5/13/15	CP0-475 / UP0-417	New construction of 10,000sf commercial retail on vacant lot	WM. Under review. Will need Arch and Traffic reports. Resubmittal received 8/11/15. Incomplete letter sent 9/4/15. Resubmitted 2/13/18. Under Review.		PN-Conditionally Approved 2/28/2018		nh
Planning Commission Continued projects:										
29	Erlendson	299 Sienna	9/1/17	UP0-494/AD0-123 CP0-560	Application altered. Applicant now requests Coastal Development Permit for a secondary dwelling unit to be located within the existing 2-car garage.	Under review. Correction letter sent 9/13/17. PC hearing 10/3/2017. Continued to a date uncertain with direction to work with staff prior to resubmittal. Applicant must resubmit. Under Review. Correction Letter sent 1/24/18				jg
30	Seashell Estates, LLC	361 Sea Shell Cove	1/26/15	CP0-459/ UP0-401	Coastal Development Permit/Conditional Use Permit for new SFR. Lot 4 of 1305 Teresa Subdivision	Reviewing CC&R Design Guidelines. Deemed complete 3-2-15. Anticipate 4/21 PC hearing. Project continued to a date uncertain. CJ.	2/23/15 FD Cond App TP	BCR has for review 2/3/15		cj

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31	City of Morro Bay	End of Nutmeg	1/18/12	UP0-344	Environmental documents for Nutmeg Tanks. Permit number for tracking purposes only County issuing permit. Demo existing and replace with two larger reservoirs. City handling environmental review	KW--Environmental contracted out to SWCA estimated to be complete on 4/27/2012. SWCA submitted draft I.S. to City on May 1, 2012. MR-Reviewed MND and met with SWCA to make corrections. In contact with County Environmental Division for their review. MND received by SWCA on 10/7/12. MND out for public notice and 30 day review as of 11/19/12. 30 day review ends on 12/25/12. No comments received. Scheduled for 1/16/13 Planning Commission meeting and then to be referred back to SLO County. Planning Commission continued this item to address concerns regarding traffic generated from the removal of soil. In applicant's court, they are addressing issues brought up by neighbors during initial P.C. meeting. Project has been redesigned and will be going forward with concrete tanks. Modifications to the MND are in process. Neighborhood meeting conducted with Engineering on 9/27/2013. Revising project description and MND.	No review performed.	BCR- New design concept completed. Needs new MND for concrete tank, less truck trips. Neighborhood mtg held 9/27. Neighbors generally support new design that reduces truck trips by 80%. Concrete batch plant set up on site will further reduce impact. 5/5/14 - Cannon contract signed to finish permit phase. Construction will be delayed to FY15/16		cj
Projects Appealed or Forwarded to City Council:										
32	City of Morro Bay	Citywide	6/19/13	A00-015	Sign Ordinance Update. Text Amendment Modifying Section 17.68 "Signs"	Text Amendment Modifying Section 17.68 "Signs". Planning Commission reviewed 5/17/2010. Item heard at 5/24/11 City Council Meeting. Interim Urgency Ordinance approved to allow projecting signs. PC reviewed 2/7/2011. Workshops scheduled 9/29/11 & 10/6/11 .City Council 12/13/11. Continued to 1/10/12 CC meeting. PC reviewed 5/2/2012. Update due to City Council in June 2013. Draft Sign Ordinance reviewed by PC on 6/19/13 & 7/3/13. PC has reviewed Downtown, Embarcadero, and Quintana Districts as well as the Tourist-Oriented Directional Sign Plan. 8/21/13 Final Draft of Sign Ordinance approved at 9/4/13 PC meeting with recommendation to forward to City Council. Council directed staff to do further research with local businesses. Business workshops held fall/winter 13/14. Result of sign workshops discussed at 11-3-15 PC mtg. Revised Public Draft of Sign Ordinance posted to City website on July 6, 2017	No review performed.	N/R		sg
Environmental Review										

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33	Rhine LP & Morro 94, LLC	3300 Panorama	2/24/16	CP0-500 & UP0-440	Coastal Development Permit & Conditional Use Permit for Demolition of 3 existing tanks, related pumps and concrete	Under review. Correction letter sent 5-10-16. Environmental review complete and to be routed 7-28-16 for required 30 day period. PC 9/6/16 hearing. Reviewed and PC continued hearing to 10/4/16. Project continued to 12/6 PC meeting. Project reviewed at 1/3/17 PC hearing and continued to a date uncertain. Revised MND in progress. Draft MND available for public comment 2/28/18 to 3/30/18.		PN- Conditionally approved per memo dated 7/26/16		nh
34	Bay Pines/Shorebreak Energy	1501 Quintana	11/29/16	UP0-463/CP0-525	Coastal development permit & Conditional Use Permit for Bay Pines Solar Project.	Under Initial Review. Bio Report and Phase 1 Arch report rcv'd. Waiting for preliminary title report. Rcv'd 3/15. Sent to PW: Under Review. Correction letter sent 4/12/2017. Rcv'd email resubmittal 5/5, resubmittal under review. Requires Initial Study		PN- Conditionally Approved, 6/5/17		jg
35	City of Morro Bay	N/A		UP0-423	MND for Chorro Creek Stream Gauges	Applicant requesting meeting for week of 9/9/13. SWCA performing the environmental review. Received completed MND from Water Systems Consulting (WSC) on 4/1/15. Routed to State Clearinghouse for required 30 day review period. Tentative hearing 8/4/15. No recent activity.	No review performed.	MND complete. Cut permit checks to RWQCB and CDFW on 2/27/15		cj

Final Map Under Review Projects:

36	Tract 2812	2400 Main St / Morro Mist	6/13/16	Map	Final Map - Tract 2812 / 23 lot subdivision and 1 common lot	Initial submittal for final map processing received 6-13-16. Correction letter sent 7-6-16. Draft CC&Rs received. Resubmittal received 1/5/17. Corrections sent 4-7-17. Resubmittal received 6-16-17 and 9-5-17. CC&Rs approved. Draft affordable housing documents prepared and sent to Applicant 11-28-17. Documents resubmitted to City 3-12-18.		PN- Approved Public Imp. On 1/9/2018. Waiting on Final Map resubmittal/		cj
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Projects requiring coordination with another jurisdiction:

37	City of Morro Bay	Outfall			Original jurisdiction CDP for the outfall and for the associated wells	Coastal staff is working with staff. Coastal letter received 4/29/2013. Discussed project with Coastal staff in meeting 11-18-14.	No review performed.	City provided response to CCC on 7/12/13. Per Qtrly Conference Call CCC will take 30days to respond		
38	City of Morro Bay Desal Plant	170 Atascadero			Project requires a Coastal Development Permit for upgrades at the Plant. Final action taken Sent to CCC but pursuant to their request the City has rescinded the action.	Waiting for outcome from the CDP application for the outfall. Discussed project with Coastal staff in meeting 11-18-14.	No review performed.	BCR- Phase 1 Maint and Repair project is underway. Desal plant start-up scheduled for 10/15/13. Phase 1 complete and finalized. Phase 2 on hold as of 7/22/14.		

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Projects going forward to Coastal Commission for review (Pending LCP Amendments) / or State Department of Housing:										
39	City of Morro Bay	Citywide			Plan Morro Bay: General Plan / Local Coastal Program / Zoning Code Update project	Comprehensive overall update to the City's 1988 General Plan, 1984 Local Coastal Program, and 1997 Zoning Code. General Plan Advisory Committee meetings ongoing. For more information or to get involved, visit www.morrobayca.gov/planmb . Project to be complete with documents ready for adoption and certification by end of 2018.				
40	City of Morro Bay	Citywide	10/16/13	A00-013. A00-029: Ordinance 601	Zoning Text Amendment - Second Unit	Secondary Unit Ordinance Amendment. Ordinance 576 passed by City Council in 2012. 6-11-13 City Council direction to staff to bring back to Planning Commission for review of ordinance. At 10-16-13 PC meeting, Commission recommended changes to maximum unit size and tandem parking design where units over 900 sf and/or tandem parking design of second unit triggers a CUP process. Council accepted PC recommendation at 2-11-14 meeting and directed staff to bring back revised ordinance for a first reading and introduction. Item continued to 4/22/14 Council meeting to allow time for Coastal staff comment regarding proposed changes. Council approved Into and First Reading on 4/22/14. Final Adoption of Ord. 585 at 5/13/14 Council meeting. Ordinance to be sent as an LCP Amendment for certification by Coastal Commission. New language for PC and Council review. Second reading going to council on April 12, 2016. PC reviewed change 5-3-16. CC second First Reading 6-28-16.. Application submitted to Coastal Commission August 2016. Coastal objected to ban on use as vacation rentals. New State legislation will force additional changes.	No review performed.			wm
Projects Continued Indefinitely, No Response to Date on Incomplete Letter or inactive:										
41	Verizon / Knight	184 Main new location, Corner of Main and Cabrillo	11/19/14	UP0-394 and CP0-512	Coastal Development Permit and Conditional Use Permit for installation of new Wireless Facility/Verizon antennas on existing pole.	Under Review. JG. Incomplete. Waiting on response from Tricia Knight. Wants to keep project open and figure out the parking situation or move location. 1/26. JG. Applicant looking to move location to pole across the street. resubmittal rcv'd 5/26. Deemed Complete, waiting for Applicant to confirm PC meeting date. PC hearing held on 9/6/16 and continued for further review to 11-1-16 PC hearing. Continuance requested. Continued to a date uncertain		PN- Conditionally approved 6/14/16		jg

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42	T-Mobile	1478 Quintana		1/30/15	UP0-403	Minor Use Permit to Modify existing wireless telecommunication site at church	JG - Under initial review. Correction letter sent 3/5/2015. JG. Partial resubmittal rcv'd via email 9/18		JW approved		jg
Grants											
43	California Coastal Commission, California Ocean Protection Council	City-wide		4/6/16		\$400,000 Grant for LCP update to address sea-level rise and climate change impacts. Round 3 Grant award of \$200,000 for Lateral Access Plan, and ESHA delineation.	Grant agreements for both the grants are in place and grant administration has been turned over to Michael Baker International, per terms of the GP/LCP update contract. Received signed grant agreement for \$200,000 LCP Planning grant by CCC for Round 3 awards 2-27-17.	No review performed.	N/A		sg
44	City of Morro Bay	City-wide				Community Development Block Grant/HOME Program - Urban County Consortium	Staff has ongoing responsibilities for contract management in coordination with County staff administration. Final 2016 funding recommendations reviewed by Council on 3-8-16. 2016 Subrecipient Agreement executed and Council approved 2018-2020 Cooperation Agreement with County on 6-13-17.	No review performed.	N/R		cj
45	City of Morro Bay	City-wide				Climate Action Plan - Implementation	Staff has ongoing responsibilities for implementation of Climate Action Plan as adopted by City Council January 2014. Staff coordinating activities with other Cities and County of SLO via APCD.				cj
Projects in Building Plan Check:											
1	LaPlante	3093	Beachcomber	4/24/17	B-31487	New SFR: 3,495sf w/ 500 sf garage on vacant land. No activity on this project. Remains in plan check.	Sent memo correction 6-15-17. Disapproved by cj on 10-16-17.	Approved by cdl on 5-10-17	Disapproved by jb (see memo) on 10-3-17	Emailed comments on 10-20-17.	
2	Hauck	206	Bradley Ave	1/5/18	B-31835	Remodel garage, frame new ceiling, drywall ceiling & walls, replace 8' x 6' 8"	Approved by jg on 1-26-18	Disapproved by hb on 1-17-18		2-5-18 - Emailed comments to property owner. PB	
3	MMbs Llc	1215	Embarcadero	12/9/16	B-31326	Demo existing Dockside 3 and Morro Bay Landing to replace with 2 story new structure	Disapproved with plan corrections 1-5-17. CJ. Approved 11-27-17. CJ Fire: Approved by mv on 1-22-18	Plans sent to Ca, Code Check 1-5-17. Sent CA code check 11/14/17.	PN- Disapproved per memo dated 1/18/17	1-17-18 - Received resubmittal and routed to BLDG (CA Code Ck), PW & FIRE. PB	
4	Mathias	2515 & 2525	Greenwood	2/16/18	B-31888	New SFR with ADU			PN- Disapproved per memo dated 3/5/18		
4	Bulatov	2980	Hemlock	9/11/17	B-31651	Remodel existing SFR, new 1st, & 2nd floor addition(1444sq.ft.) new 310 sf deck above	Disapproved by jg on 9-8-17.	Disapproved by cdl on 9-18-17.	Disapproved by jb on 9-15-17.	1-24-18 - Received submittal & routed to BLDG (w/ soils), PLAN, PW. & FIRE (route when one is back). PB	

#	Applicant/ Property Owner	Project Address	Date	Permit Numbers	Project Description/Status	Planning Comments and Notations	Building/Fire Comments and Notations	Engineering Comments and Notations	Harbor/Admin Comments and Notations	Project Planner
5	Warmerdam	2901 Juniper	12/15/17	B-31812	Single Family Alteration Remodel of existing home	Diapproved by jg 12-27-17	BLDG - CA Code Ck Disapproved on 1-16-18	PW- Disapproved by jb on 12/21/17.	1-16-18 Emailed all plan review comments & (waiver request on 1-19-18) to Trevor Miller PB	
6	Linkwiller/Balch	535 Kern Ave	5/10/17	B-31504	118sq.ft. 1st. Floor addition new bathroom & porch 102 sq. ft. second floor addition new observation room decrease size of existing bathroom & deck.	Approved by rr (constitutes the one time addition to a non conforming structure) 11/20/17 PZ	Disapproved by CA Code Ck on 12-27-17 PB	Conditional Approval (see memo) on 11/22/17. PZ	Resubmitted on 11-17-17. 1-3-8 - Emailed comments to Agent (Cody @ Ferreira)	
7	Goldstein	142 Kodiak	1/3/18	B-31817	Addition & Remodel	Disapproved by jg on 1-12-18	Disapproved by CA Code Ck (see memo) on 1-12-18	Disapproved by jbon 12-2-17	1-17-18 - Emailed all plan review comments to Architect (Goldstein) & advised of plans for p/u. PB	
8	Wright	520 LaJolla	7/21/17	B-31595	Enclose 10'x20' carport for single car garage	Disapproved by rr on 7-26-17.	Disapproved by cdl on 8/11/17.	N/A		
9	Cole	1030 Las Tunas	1/30/18	B-31852	Single Family Addition Permit	Disapproved with correction memo by nh on 2/1/18.	BLDG - Disapproved by hb on 2-1-18			
10	Sterkel	1115 Las Tunas	1/23/18	B-31845	368 sf addition, & 175 sf exterior deck	Disapproved with correction memo by nh on 2/6/18.	Disapproved by hb on 1-24-18			
11	Moss	730 Luisita St	1/29/18	B-31850	Relocate bathroom light & fan switch & reroute same existing wiring to new junction					
12	Boisclair	900 Main	12/19/17	B-31810	Raise existing stage 6" to add additional sound deadning. Create front of stage perimeter		BLDG - Approved by ac on 12-26-17 PB			
13	Olcott	285 Marina	10/27/17	B-31752	ADA Renovation; parking lot	Approved by sg on 11-6-17.	Approved by cdl on 11-14-17.	Disapproved by jb on 11-3-17.	Emailed comments 11/21/17	
14	Henderson	958 Marina	10/18/17	B-31732	Replace interior finish, repair & reinforce existing structure & replace electrical mechan.& plumbing systems on 2ndary unit	Under review Disapproved by rr on 11-1-17. Project requires planning entitlements.	Approved by cdl on 11-3-17.	Approved by jb on 10-23-17.		
15	Robison	1185 Main St.	1/22/18	B-31842	Residential Elevator Installation	Disapproved by sg on 1-29-18	Disapproved by hb on 1-29-18			
16	Kinsinger	222 Main St.	11/22/17	B-31786	149 Sq. Ft. addition & interior remodel of kitchen, bath and living-room.	Disapproved by jg on 1-12-18	Approved by sg on 1-12-18	Approved by jb on 11-22-17.		
17	Millerstein	844 Main St.	11/17/17	B-31781	Com. Alteration Re-enclosed storage area & upgrade to allow for office space in addition to storage upgrade exterior to match surrounding	Approved by rr on 12-8-17	Disapproved by cdl on 11-27-17.	Approved by jb 11/22/17	1-25-18 - Received resubmittal and routed to BLDG ONLY. PB	RR
18	Sonic	1840 Main	10/17/17	B-31730	Sonic Drive-in Restaurant, 1395 sf building, 1020 sf covered patio, 2646 sf covered parking	Corrections sent 12-8-17. Resubmitted 3-2-18.	California Code Check reviewing for building code.	Disapproved by jb on 11-21-17.	1-2-18 - Emailed BLDG (code ck) comments to architect. PB	

#	Applicant/ Property Owner	Project Address	Date	Permit Numbers	Project Description/Status	Planning Comments and Notations	Building/Fire Comments and Notations	Engineering Comments and Notations	Harbor/Admin Comments and Notations	Project Planner
19	Morro Mist LLC	2402-2446 Main	7/5/16	B-31067 through B-31089	Building Permit applications for 23 new town homes in 6 detached building clusters to include 15 one- bedroom units and 8 three bedroom units. 23 separate applications.	Disapproved. Corrections sent 8-3-16. cj. Resubmittal received and disapproved 11-28-17.	Disapproved by cdl on 1-23-17.	PN- Approved waiting for RL sign-off of WEU form.		
20	Lau	2780 Main	9/15/17	B-31680	Remodel existing resteraunt/ apartment. Reduce size of restaurant by 500 sf and add that to the Apartment.	Disapproved by jg 10-18-17.	Disapproved by cdl on 9-22-17	Disapproved by jb on 9-22-17.	Emailed comments on 10/19/17.	
21	Assembly of God Church	615 Monterey	1/24/18	B-31847	Interior remodel, restore converted garage back to original garage, repair framing & floorjoist, floorplan changes, upgrade plumbing & electrical to current code, new roof & exterior.		BLDG - Disapproved by hb on 1-29-18			
22	Swindle	590 Morro	9/25/17	B-31690	Remove and relocate panel antennas to roof top cell site.	Disapproved by wm on 10-18-17. Approved by nh 2-7-18	Approved by cdl on 10-26-17.	Approved by jb on 10-17-17.	Emailed comments on 10/31/17	
23	Rangoussis	655 Morro Bay Blvd	2/2/18	B-31860	Remove deteriorated mansord roof edge from existing roof canopy, and replace with new mansard.	Disapproved by nh on 2-7-18. Approved by planning (nh) 2/20/18.				
24	Crowfoot	416 Napa	3/1/17	B-31417	Convert downstairs closet into kitchen to create secondary dwelling unit (CP0-531)	Approved by rr on 7-31-17.	Approved by cdl on 3-23-17	PN- Disapproved per memo dated 3/29/17		
25		2584 Nutmeg Ave	2/2/18	B-31862	Retaining Wall - Approx 25' in length, staggard heights on slope at the southwest corner of property.					
26		401 Pico St.	12/27/17	B-31821	New single car garage & build addition		BLDG - Approved by ac on 1-3-18 PB	PW - Disapproved by jb (see memo) on 1-9-18 PB 1-22-18 provided comments to owner. PB		
27	Colmer	501 Quinn Ct,	11/16/17	B-31775	SFR- New	Disapproved by cj 12-21-17	Sent to CA code ck. 12-13-17	Approved by jb on 11-30-2017		
28	Colmer	505 Quinn Ct,	11/16/17	B-31774	SFR- New	Disapproved by cj 12-21-17	Sent to CA code ck. 12-13-17	Approved by jb on 11-30-2017		
29	Colmer	557 Quinn Ct,	11/16/17	B-31776	SFR- New	Disapproved by cj 12-21-17	Sent to CA code ck. 12-13-17	Approved by jb on 11-30-2017		
30	Giannini	750 Radcliff	9/15/17	B-31681	Remove & Replace antenna on tower,	Approved by JG ON 10-1-17	Approved by cdl on 9-19- 17. PZ	Approved by jb on 11-13-17		
31	Brisson	341 Sicily	9/12/17	B-31670	Single Family Alteration	Conditional approval 9-27-17. RR	Disapproved by cdl on 9-21-17.	N/A	Emailed comments on 9/28/17	
32	Sotelo	2101 Sunset	10/3/17	B-31698	Proposed detached accessory building 625 sq. ft.	Disapproved by jg on 10-16-17.	Approved by hb, when 3 items are completed (see memo) on 1-18-18	Disapproved by jb (see memo) on 1-23-18 PB	Emailed owner 10/20/17.	
33	Forde	564 Zanzibar	1/16/18	B-31837	Single Family Alteration	Disapproved by sg on 1-29-18	BLDG - Disapproved by hb on 1-19-18			

#	Applicant/ Property Owner	Project Address	Date	Permit Numbers	Project Description/Status	Planning Comments and Notations	Building/Fire Comments and Notations	Engineering Comments and Notations	Harbor/Admin Comments and Notations	Project Planner
Planning Projects & Permits with Final Action:										
1	Ferrin	2770 Elm	7/7/17	CP0-550/UP0-487	Coastal Development and Conditional Use Permit for a 752 sq. ft. 2nd story addition and garage expansion	Under Initial Review. Correction letter sent. Waiting for resubmittal. Resubmittal Rcv'd 1/4. Requires a parking exception application. Approved by PC 3/6/2018		PN- Conditionally approved 8/10/2017		jg
2	Branch	885 Embarcadero	1/8/18	A00-052	CUP Amendment of #CUP16-92 Major Mod. Proposed work includes interior & exterior remodel of Otter Rock building, deck repair, and relocation of floating dock.	Under Initial Review. Correction letter sent 2/9/18. Tentatively agendized for 3/6/18 PC meeting. Approved on 3-6-18 by PC.				cj
3	Teresa Drive Estates, LLC	301 Sea Shell Cove	5/11/17	CP0-543 & UP0-480	Coastal Development Permit & Conditional Use Permit for new SFR on Lot 1. 2220sf living, 580sf garage, 336sf covered patio & decks.	Under Review. Correction memo sent to applicant 6-19-17. Applicant resubmitted 10-2017. PC hearing 12-19-17. Project continued to a date uncertain with direction regarding development limit line encroachment. Potential PC hearing date of 2/6/18 - waiting on resubmittal.. Agendized for 3/6/18. Approved on 3-6-18 by PC		PN- Conditionally Approved 6/7/17		cj



AGENDA NO: B-1

MEETING DATE: March 20, 2018

Staff Report

TO: Planning Commissioners DATE: March 14, 2018

FROM: Joan Gargiulo, Assistant Planner

SUBJECT: 220 Main Street; Applicant: Maia Kinsinger; Conditional Use Permit (#UP0-512) and Parking Exception (#AD0-130) Request to allow an addition of 10% to an existing nonconforming residential structure occupied by a nonconforming duplex use in the R-1 Single-Family Residential Zoning District and within the Coastal Commission Appeal Jurisdiction.

RECOMMENDATION:

CONDITIONALLY APPROVE THE PROJECT by approving Planning Commission Resolution 08-18 which includes the Findings and Conditions of Approval for the project depicted on site development plans date stamp received February 26, 2018.



LEGAL DESCRIPTION/APN:

066-027-008

PROJECT DESCRIPTION:

The Applicant is requesting Conditional Use Permit and Parking Exception approval for an addition of 10% to an existing nonconforming structure occupied by a nonconforming duplex residential use in the R-1 Single-Family Residential Zone. Specifically, the Applicant proposes to add 149 sq. ft. to the first floor of an existing 1,982 sq. ft. residential structure as shown in project plans attached as Exhibit B. The parking exception is to allow for two tandem spaces to be located adjacent to the existing garage spaces at the rear of the structure, and to allow for the nonconforming interior width of the two existing one-car garage spaces. The existing structure is considered nonconforming due to the

Prepared By: JG _____

Department Review: _____

existing interior width of the garage and because two covered parking spaces are provided for on site where four covered spaces are required as discussed below in the 'Project Analysis' section.

PROJECT SETTING:

The project is located in the Central Morro Bay residential neighborhood, designated as Planning Area 7 in the Local Coastal Plan. The parcel at 220 Main Street lies to the south of Cerrito Peak, north of Bayshore Drive, and east of Shasta Avenue. The irregularly shaped 3,842 sq. ft. lot is located in the R-1 Single-Family Residential Zoning District. Housing in the surrounding area includes a variety of one and two-story homes in various architectural styles. The site is located within the Coastal Commission Appeals Jurisdiction.

Adjacent Zoning/Land Use			
North:	R-1 Single-Family Residential Use	South:	R-1 Single-Family Residential Use
East:	R-1 Single-Family Residential Use	West:	R-1/PD Single-Family Residential Use

Site Characteristics	
Site Area	3,842 square feet
Existing Use	Duplex Residential
Terrain	Developed and sloping to the south and west
Vegetation/Wildlife	Ornamental landscaping
Archaeological Resources	N/A
Access	Main Street and Oak Street

General Plan, Zoning Ordinance, & Local Coastal Plan Designations	
General Plan/Coastal Plan Land Use Designation	Low-Medium Density Residential
Base Zone District	R-1
Zoning Overlay District	n/a
Special Treatment Area	n/a
Combining District	n/a
Specific Plan Area	n/a
Coastal Zone	Located within the Coastal Commission Appeal Jurisdiction

PROJECT ANALYSIS:

Background

Records indicate the existing nonconforming duplex residential structure was originally built in 1960. Staff looked at whether the addition could be permitted as a Single-Family Residence (SFR) with an associated Accessory Dwelling Unit (ADU); however, the ADU must be less than 50% of the habitable floor area of the SFR. Because the downstairs unit is larger than 50% of the habitable square footage of the upper unit, it cannot be considered an ADU and is therefore considered Duplex Residential, inconsistent with the General Plan designation of Low-Medium Density Residential and with the Single-Family Residential (R-1) Zoning District.

The total square footage of the existing structure is 1,982 sq. ft. The Applicant proposes to add 10% or 198 sq. ft. of habitable floor area to the existing 505 sq. ft. ground floor residential unit. The proposed ground floor residential unit will be 703 sq. ft. total and the upstairs residential unit will remain unchanged at 991 sq. ft.



Existing Structure

Parking

Existing parking on site consists of two covered and enclosed parking spaces with a dividing wall down the center, effectively creating two adjacent one-car garages; one space is 10 ft. wide and one space is 8'6" wide where 11 ft. is the minimum interior width for a one-car garage. The parking exception allows for the decreased width of the covered and enclosed spaces. With only two covered and enclosed parking spaces, the residential development also lacks the four covered parking spaces required by Section 17.44.020(C) of the MBMC. The parking exception is also to allow for the two remaining parking spaces to be located uncovered in tandem in the existing gravel driveway located at the eastern side of the parcel, adjacent to the existing garage. Section 17.44.020 of the MBMC requires parking surfaces to be improved; as such the project has been

conditioned to require the open uncovered parking spaces to be paved and that the paved surface extend out to the improved portion of the right of way (See Planning Condition 5 in Exhibit A).

Residential Design Guidelines

The Residential Design Guidelines, reauthorized by the City Council in October of 2016, have a stated purpose to maintain the high quality of the City's neighborhoods by developing reasonable, sound, and objective guidance in identifying key design features and components of new development. The Guidelines are an implementation tool for the neighborhood compatibility policies set forth in the General Plan and the Local Coastal Plan. The photosimulations provided as Exhibit C illustrate the proposed project's consistency with the following design guidelines.

- *Relationship to Homes in Immediate Neighborhood*. The overall design of the home remains visually compatible with the immediate neighborhood and maintains architectural integrity with design and material consistency on all facades.
- *Scale and Mass*: The proposed single-story addition to an existing two-story home is consistent with the predominate development pattern of both one and two-story residences in a variety of sizes in the immediate neighborhood.
- *Surface Articulation* – The proposed development increases the surface articulation through the addition of a second-story cantilevered deck, a horizontal band course, and through the use of two exterior colors.
- *Building Orientation* – The residential structure will remain in its present orientation.
- *Garage Placement and Design* – The existing garage I remain in it present location.
- *Building Materials* – Building materials are proposed to be consistently applied and harmonious with adjacent colors and materials throughout the property.
- *Architectural Elements* – The architectural elements are proportional to the overall home design and balanced on the building elevation.
- *Additions to Existing Homes* – The materials and architectural elements used in the design of the proposed addition are consistent with the existing structure and blend seamlessly into the overall design of the home.
- *Privacy* – The potential impact to the privacy of adjacent homes is negligible given the single-story nature and orientation of the proposed addition.

Zoning Ordinance Standards			
	Standards	Existing	Proposed Addition
Front Setback	20 feet	20' 6"	20' 6"
Side-Yard Setback	5 feet	5 feet	6' 9"
Rear Setback	5 feet	13' 6"	13' 6"
Lot Coverage	Max. 45%	26.7%	31.8%
Parking	4 Covered and Enclosed	2 one-car garages	2 garage spaces 2 uncovered/tandem spaces
Garage Dimensions	11' x 20'	10' x 21'6" 8'6" x 21'6"	10' x 21'6" 8'6" x 21'6"

Zoning Ordinance Consistency

Current requirements of the Morro Bay City Zoning Ordinance (the "Zoning Ordinance") pertaining to interior garage width and parking render the existing structure nonconforming. However, additions to nonconforming structures may be permitted with approval of a conditional use permit, subject to certain findings (Morro Bay Municipal Code (MBMC) section 17.56.

Conditional Use Permit Requirement

The Zoning Ordinance, subsection 17.56.160A, requires approval of a conditional use permit for any structure which is nonconforming with any provision of this title. Also, Subsection 17.56.120B of the Zoning Ordinance requires a Conditional Use Permit for a one-time only expansion of up to 10% to a nonconforming use. The project proposes to add a 198 square-foot (10%) addition to a nonconforming structure occupied by a nonconforming use. As noted above, the structure is nonconforming with regard to the existing parking situation on site. Approval of a Conditional Use Permit requires the following findings to be made:

1. The enlargement, expansion, or alteration is in conformance with all applicable provisions of the Zoning Ordinance.

The proposed addition is consistent with Zoning Ordinance requirements including but not limited to lot coverage, setbacks, and height.

2. The project meets applicable Title 14 (Building and Construction Code) requirements for a conforming use.

The applicant is required to submit a complete building permit application and obtain the required building permit prior to construction.

3. The project is suitable for conforming uses and will not impair the character of the zone in which it exists.

The duplex residential structure was built in 1962, prior to incorporation of the City. The residential use is similar to other parcels in the vicinity, and the mass and scale of the structure is consistent with other development in the neighborhood.

4. It is not feasible to make the structure conforming without major reconstruction of the existing structure.

Major reconstruction would be necessary to meet the required parking standards.

Parking Exception

The Zoning Ordinance, subsection 17.44.050, allows for an exception to the parking standards provided that certain findings are made:

1. The exception will not constitute a grant of special privilege inconsistent with the driveway or parking limitations upon other properties in the vicinity and the reduced parking or alternative to the parking design standards of this chapter will be adequate to accommodate on site all parking needs to be generated by the use.

Multi-family residences are required to provide two covered parking spaces for units with two or more bedrooms and 1.5 covered spaces (rounded up to 2) for units with one bedroom. If tandem uncovered parking is approved, the project will meet that requirement.

2. The exception will not adversely affect the health, safety, or general welfare of person working or residing in the vicinity and that no traffic safety problems will result from the proposed modification of parking standards.

Tandem parking will not result in traffic safety problems at this location because there is adequate space to accommodate two parked cars in the gravel driveway and adequate sight distance for vehicles maneuvering into and out of the driveway.

3. The exception is reasonably necessary for the Applicant's full enjoyment of uses similar to those upon the adjoining real property.

The Applicant's parking proposal is reasonable given similar parking arrangements in the project vicinity and given the footprint and construction of the existing buildings on site.

PUBLIC NOTICE:

Notice of this item was published in the San Luis Obispo Tribune newspaper on March 9, 2018, and all property owners and occupants of record within 500 feet of the subject site were notified of this evening's public hearing and invited to voice any concerns on this application.

ENVIRONMENTAL DETERMINATION:

Environmental review was performed for this project and staff determined it meets the requirements for a Categorical Exemption under CEQA Guidelines Section 15301 Class 1. The exemption applies to an addition of less than 50% to an existing structure. Additionally, none of the Categorical Exemption exceptions, noted under Section 15300.2, apply to the project.

CONCLUSION:

The proposed project would be consistent with all applicable provisions of the General Plan and the Local Coastal Plan and the development standards of the Zoning Ordinance which allows for additions to nonconforming structures and the expansion of nonconforming uses upon the approval of a Conditional Use Permit (MBMC Section 17.56).

RECOMMENDATION:

Staff recommends the Planning Commission approve the requested Conditional Use Permit #UPO-512 and Parking Exception #AD0-130 for the proposed addition to a nonconforming structure occupied by a nonconforming use for the project at 220 Main Street, as shown on plans date stamp received February 26, 2018, by adopting Planning Commission **Resolution 08-18** which includes the Findings and Conditions of Approval for the project.

EXHIBITS:

Exhibit A – Planning Commission Resolution 08-18

Exhibit B – Graphics/Plan Reductions

Exhibit C - Photosimulations

RESOLUTION NO. PC 08-18

A RESOLUTION OF THE MORRO BAY PLANNING COMMISSION APPROVING CONDITIONAL USE PERMIT (UP0-512) TO ALLOW AN ADDITION TO A NONCONFORMING RESIDENTIAL STRUCTURE WITH A NONCONFORMING DUPLEX USE AND PARKING EXCEPTION (AD0-130) AT 220 MAIN STREET

WHEREAS, the Planning Commission of the City of Morro Bay (the “City”) conducted a public hearing at the Morro Bay Veteran’s Hall, 209 Surf Street, Morro Bay, California, on March 20, 2018 for the purpose of considering Conditional Use Permit UPO-512 for a proposed addition to a nonconforming duplex residential structure and parking exception AD0-130 for two open, tandem parking spaces in the driveway at 220 Main Street; and

WHEREAS, notice of the public hearing was provided at the time and in the manner required by law; and

WHEREAS, the Planning Commission has duly considered all evidence, including the testimony of the applicant, interested parties, and the evaluation and recommendations by staff, presented at said hearing.

NOW, THEREFORE, BE IT RESOLVED by the Planning Commission of the City of Morro Bay as follows:

Section 1: Findings. Based upon all the evidence, the Commission makes the following findings:

California Environmental Quality Act (CEQA) Finding

1. Pursuant to the California Environmental Quality Act, the project is categorically exempt pursuant to Class 1, CEQA Guidelines Section 15301 for an addition of less than 50% to an existing residential structure located in a residential area. Additionally, none of the Categorical Exemption exceptions, noted under section 15300.2, apply to the project.

Conditional Use Permit Findings

1. The proposed addition is in conformance with all applicable provisions of the Morro Bay City Zoning Ordinance (the “Zoning Ordinance”), including building height, setbacks, and lot coverage.
2. The project meets applicable Title 14 (Building and Construction Code) requirements for a conforming use since the applicant is required to submit a complete building permit application and obtain the required building permit prior to construction.
3. The project is suitable for conforming uses and will not impair the character of the zone in which it exists because the duplex residential structure was built in 1962, prior to incorporation of the City. The residential use is similar to other parcels in the vicinity, and the mass and scale of the structure is consistent with other development in the neighborhood.

4. It is not feasible to make the structure conforming without major reconstruction of the existing structure to meet the required parking standards.

Parking Exception Findings

1. The exception will not constitute a grant of special privilege inconsistent with the driveway or parking limitations upon other properties in the vicinity. Many dwellings in the neighborhood have nonconforming parking situations. Multi-family residences are required to provide two covered parking spaces for units with two or more bedrooms and 1.5 covered spaces (rounded up to 2) for units with one bedroom. If tandem uncovered parking is approved, the project will meet that requirement.
2. The exception will not adversely affect the health, safety, or general welfare of person working or residing in the vicinity and that no traffic safety problems will result from the proposed modification of parking standards. Tandem parking will not result in traffic safety problems at this location because there is adequate space to accommodate two parked cars in the gravel driveway and adequate sight distance for vehicles maneuvering into and out of the driveway.
3. The exception is reasonably necessary for the applicant's full enjoyment of uses similar to those upon adjoining real property, given the footprint of the existing buildings on site.

Section 2. Action. The Planning Commission does hereby approve Conditional Use Permit UPO-512 and Parking Exception AD0-130 for the property located at 220 Main Street subject to the following conditions:

STANDARD CONDITIONS

1. This permit is granted for the land described in the staff report dated March 15, 2018, for the project at 220 Main Street depicted on plans date stamped received February 26, 2018, on file with the Community Development Department, as modified by these conditions of approval, and more specifically described as follows: Site development, including all buildings and other features, shall be located and designed substantially as shown on plans, unless otherwise specified herein.
2. Inaugurate Within Two Years: Unless the construction or operation of the structure, facility, or use is commenced not later than two (2) years after the effective date of this Resolution and is diligently pursued, thereafter, this approval will automatically become null and void; provided, however, that upon the written request of the applicant, prior to the expiration of this approval, the applicant may request up to two extensions for not more than one (1) additional year each. Any extension may be granted by the City's Community Development Director (the "Director"), upon finding the project complies with all applicable provisions of the Morro Bay Municipal Code (the "MBMC"),

- General Plan and certified Local Coastal Program Land Use Plan (LCP) in effect at the time of the extension request.
3. Changes: Minor changes to the project description and/or conditions of approval shall be subject to review and approval by the Community Development Director. Any changes to this approved permit determined, by the Director, not to be minor shall require the filing of an application for a permit amendment subject to Planning Commission review.
 4. Compliance with the Law: (a) All requirements of any law, ordinance or regulation of the State of California, the City, and any other governmental entity shall be complied with in the exercise of this approval, (b) This project shall meet all applicable requirements under the MBMC, and shall be consistent with all programs and policies contained in the LCP and General Plan for the City.
 5. Hold Harmless: The applicant, as a condition of approval, hereby agrees to defend, indemnify, and hold harmless the City, its agents, officers, and employees, from any claim, action, or proceeding against the City as a result of the action or inaction by the City, or from any claim to attack, set aside, void, or annul this approval by the City of the applicant's project; or applicant's failure to comply with conditions of approval. Applicant understands and acknowledges the City is under no obligation to defend any legal actions challenging the City's actions with respect to the project. This condition and agreement shall be binding on all successors and assigns.
 6. Compliance with Conditions: The applicant's establishment of the use or development of the subject property constitutes acknowledgement and acceptance of all Conditions of Approval. Compliance with and execution of all conditions listed hereon shall be required prior to obtaining final building inspection clearance. Deviation from this requirement shall be permitted only by written consent of the Director or as authorized by the Planning Commission. Failure to comply with any of these conditions shall render this entitlement, at the discretion of the Director, null and void. Continuation of the use without a valid entitlement will constitute a violation of the MBMC and is a misdemeanor.
 7. Compliance with Morro Bay Standards: This project shall meet all applicable requirements under the MBMC, and shall be consistent with all programs and policies contained in the LCP and General Plan of the City.

PLANNING CONDITIONS

1. Archaeology: In the event of the unforeseen encounter of subsurface materials suspected to be of an archaeological or paleontological nature, all grading or excavation shall immediately cease in the immediate area, and the find should be left untouched until a qualified professional archaeologist or paleontologist, whichever is appropriate, is contacted and called in to evaluate and make recommendations as to disposition, mitigation and/or salvage. The developer shall be liable for costs associated with the professional investigation.

2. Construction Hours: Pursuant to MBMC subsection 9.28.030.I, Construction or Repairing of Buildings: The erection (including excavating), demolition, alteration or repair of any building or general land grading and contour activity using equipment in such a manner as to be plainly audible at a distance of fifty feet from the building other than between the hours of seven a.m. and seven p.m. on weekdays and eight a.m. and seven p.m. on weekends except in case of urgent necessity in the interest of public health and safety, and then only with a permit from the Community Development Department, which permit may be granted for a period not to exceed three days or less while the emergency continues and which permit may be renewed for a period of three days or less while the emergency continues.
3. Dust Control: That prior to issuance of a grading permit, a method of control to prevent dust and wind blow earth problems shall be submitted for review and approval by the Building Official.
4. Conditions of Approval: Prior to the issuance of a Building Permit, the final Conditions of Approval shall be attached to the set of approved plans. The sheet containing Conditions of Approval shall be the same size as other plan sheets and shall be the last sheet in the set of Building Plans.
5. Paved Parking and Driveway Approach: The open uncovered parking spaces shall be paved and the paved surface shall extend out to the improved portion of the right-of-way. The paved surface shall also include the portion of the existing driveway that extends to the improved portion of the right of way. Said improvements shall be constructed prior to building final.
6. Encroachment Permit: An encroachment permit shall be required for all work within the public right-of-way.

BUILDING CONDITIONS

A. PRIOR TO ISSUANCE OF A BUILDING PERMIT:

1. Building permit plans shall be submitted by a California licensed architect or engineer when required by the Business & Professions Code, except when otherwise approved by the Chief Building Official.
2. The owner shall designate on the building permit application a registered design professional who shall act as the Registered Design Professional in Responsible Charge. The Registered Design Professional in Responsible Charge shall be responsible for reviewing and coordinating submittal documents prepared by others including phased and staggered submittal items, for compatibility with design of the building.
3. The owner shall comply with the City's Structural Observation Program. The owner shall employ the engineer or architect responsible for the structural design, or

- another engineer or architect designated by the engineer of record or architect responsible for the structural design, to perform structural observation. Observed deficiencies shall be reported in writing to the owner's representative, special inspector, contractor and the building official. The structural observer shall submit to the building official a written statement that the site visits have been made and identify any reported deficiencies that, to the best of the structural observer's knowledge, have not been resolved.
4. The owner shall comply with the City's Special Inspection Program. Special inspections will be required by Section 1704 of the California Building Code. All Special Inspectors shall first be approved by the Building Official to work in the jurisdiction. All field reports shall be provided to the City Building Inspector when requested at specified increments in order for the construction to proceed. All final reports from Special Inspectors shall be provided to the Building Official when they are complete and prior to final inspection.
 5. Mitigation measures for natural occurring asbestos require approval from San Luis Obispo County Air Pollution Control District.
 6. A soils investigation performed by a qualified professional shall be required for this project. All cut and fill slopes shall be provided with subsurface drainage as necessary for stability; details shall be provided
 7. **BUILDING PERMIT APPLICATION.** To apply for building permits submit three (3) sets of construction plans to the Building Division.
 8. The Title sheet of the plans shall include:
 - a. Street address, lot, block, track and Assessor Parcel Number.
 - b. Description of use.
 - c. Type of construction.
 - d. Height of the building.
 - e. Floor area of the building(s).
 - f. Vicinity map.

All construction will conform to the 2016 California Building Code (CBC), 2016 California Residential Code (CRC), 2016 California Fire Code (IFC), 2016 California Mechanical Code (CMC), 2016 California Plumbing Code (CPC), 2016 California Electrical Code (CEC), 2016 California Energy Code, 2016 California Green Code (CGBC), and Accessibility Standards where applicable and all City codes as they apply to this project.

(Code adoption dates are subject to change. The code adoption year is established by application date of plans submitted to the Building Division for plan review.)

9. PLAN REVISIONS: Building plans shall include a revised site plan clearly delineating the difference between the extent of the lower floor addition and new deck addition above.

B. CONDITIONS TO BE MET DURING CONSTRUCTION:

1. SITE MAINTENANCE. During construction, the site shall be maintained so as to not infringe on neighboring property, such as debris and dust.
2. ARCHAEOLOGICAL MATERIALS. In the event unforeseen archaeological resources are unearthed during any construction activities, all grading and or excavation shall cease in the immediate area and the find left untouched. The Building Official shall be notified so that the extent and location of discovered materials may be recorded by a qualified archaeologist, Native American, or paleontologist, whichever is appropriate. The qualified professional shall evaluate the find and make reservations related to the preservation or disposition of artifacts in accordance with applicable laws and ordinances. If discovered archaeological resources are found to include human remains, or in any other case when human remains are discovered during construction, the Building Official shall notify to county coroner. If human remains are found to be of ancient age and of archaeological and spiritual significance, the Building Official shall notify the Native American Heritage Commission. The developer shall be liable for costs associated with the professional investigation.
3. A licensed surveyor or engineer shall verify pad elevations, setbacks, prior to foundation inspection, when determined necessary by the Planning Division.

C. CONDITIONS TO BE MET PRIOR TO FINAL INSPECTION AND ISSUANCE OF CERTIFICATE OF OCCUPANCY:

1. Prior to building division final approval all required inspections from the other various divisions must have been completed and verified by a city inspector. All required final inspection approvals must be obtained from the various departments and documented on the permit card.

PUBLIC WORKS CONDITIONS

1. Sewer Lateral: Perform a video inspection of the lateral and submit to Public Works via flash drive or DVD, prior to building permit issuance. Lateral shall be repaired as necessary and all repairs shall be noted on approved set of plans. A sewer backwater valve and downstream cleanout, extended to grade, shall be installed on the sewer lateral.

2. Sewer Backwater Valve: Indicate and label sewer backwater valve on plan. A sewer backwater valve shall be installed on site to prevent a blockage or maintenance of the municipal sewer main from causing damage to the proposed project (MBMC 14.24.070).
3. Water Lateral: Water lateral shall be sized to provide adequate service to both units per MBMC 13.04.140.
4. Frontage Improvements: Per MBMC14.44.030, frontage improvements are required whenever the value of the proposed onsite improvements is greater than fifty percent of the value of the existing structure as determined by the City Engineer.
5. Utilities: Show all existing and proposed locations of the sewer lateral, water service, and water and sewer mains on the building plans. Include sizes where appropriate. Note the location of all overhead utilities and construction underground service entrances per the CBC.

Add the following Notes to the Plans:

1. Any damage, as a result of construction operations for this project, to City facilities, i.e. curb/berm, street, sewer line, water line, or any public improvements shall be repaired at no cost to the City of Morro Bay.
2. No work shall occur within (or use of) the City's Right of Way without an encroachment permit. Encroachment permits are available at the City of Morro Bay Public Works Department Office located at 955 Shasta Ave. The Encroachment permit shall be issued concurrently with the building permit.

FIRE CONDITIONS

1. Fire Safety during Construction and Demolition shall be in accordance with 2016 California Fire Code, Chapter 33. This chapter prescribes minimum safeguards for construction, alteration and demolition operations to provide reasonable safety to life and property from fire during such operations.
2. Every sleeping room below the fourth story shall have at least one operable window or door approved for emergency escape or rescue that shall open directly into a public way and shall be operable from inside to provide a full, clear opening without tools. Minimum width of opening: 20 in. Minimum height of opening: 24 in. The window sill must not be higher than 44" from ground floor. The net clear openable area shall not be no less than 5.7 SF. (CBC 1029)
3. Carbon monoxide alarms in new dwellings and sleeping units. An approved carbon monoxide alarm shall be installed in dwellings having a fossil fuel-

burning heater or appliance, fireplace or an attached garage. Carbon monoxide alarms shall be listed as complying with UL 2034 and be installed and maintained in accordance with NFPA 720 and the manufacturer's instructions. (CRC R315.2)

- 4. Address identification. All new and existing single-family residence and ADU's shall have their own approved address numbers or building numbers placed in a position to be plainly legible from the street or road fronting the property (CFC 505). Provide approved address numbers 4 inches high with 1/2 inch stroke in contrasting numbers.

PASSED AND ADOPTED by the Morro Bay Planning Commission at a regular meeting thereof held on this 20th day of March, 2018 upon motion of Commissioner _____ and seconded by Commissioner _____ on the following vote:

AYES:

NOES:

ABSENT:

ABSTAIN:

Gerald Luhr, Chairperson

ATTEST

Scot Graham, Planning Secretary

The foregoing resolution was passed and adopted this 20th day of March, 2018.

Morro Bay Remodel

222 Main Street Morro Bay, CA

SHEET INDEX

General	GO COVER
Architectural	A1.1 SITE PLAN
	A2.1 MAIN LEVEL FLOOR & DEMO PLANS
	A3.1 EXTERIOR ELEVATIONS



PO Box 1500, San Luis Obispo, CA 93406
805.457.5440 Phone
Mike@MichaelSmithArchitect.com



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805-457-5440
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Morro Bay:
Remodel - Lower Unit
222 Main St
Morro Bay, CA
APN: 066-027-008

Project No.:	171113	
Issue Dates:		
No.	Description	Date
1	ISSUE FOR TITLE 24	11/14/17
2	ISSUE FOR PERMIT	11/21/17
3	RE-ISSUE FOR CUP SUBMITTAL	02/26/18

Bldg Department Submittal - Revisions

No.	Description	Date
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RECEIVED

FEB 26 2018

City of Morro Bay
Community Development Dept.

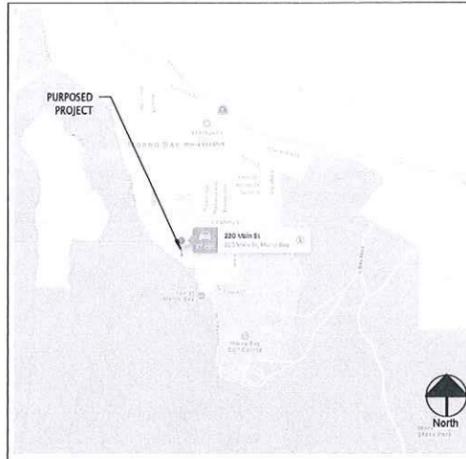
COVER

Sheet Number:

GO

NOT FOR CONSTRUCTION 08/21/17

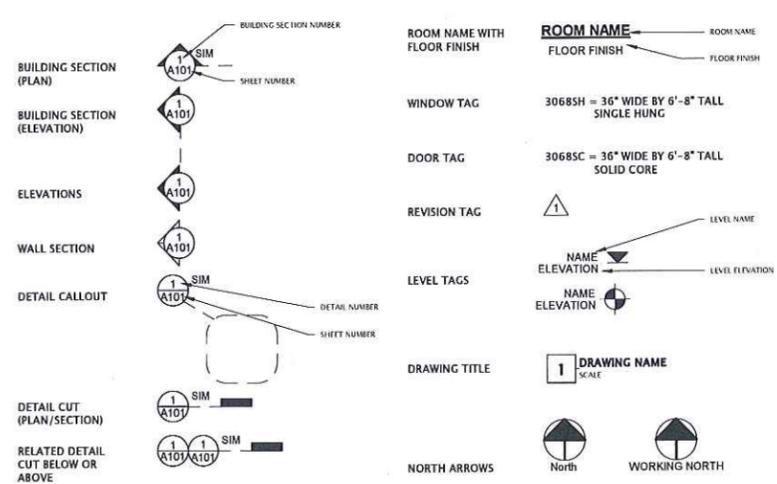
VICINITY MAP



ABBREVIATIONS

AB. ANCHOR BOLT	I.D. INSIDE DIAMETER
ACT. ACOUSTICAL CEILING TILE	INSUL. INSULATION
A.F.F. ABOVE FINISHED FLOOR	JAN. JANITOR
AGGR. AGGREGATE	JNT. JOINT
AL. ALUMINUM	JST. JOIST
ALT. ALTERNATE	KIT. KITCHEN
APPROX. APPROXIMATE	LAB. LABORATORY
ARCH. ARCHITECTURAL	LAM. LAMINATE
BD. BOARD	LAV. LAVATORY
BLDG. BUILDING	LT. LIGHT
BLK. BLOCK	MAX. MAXIMUM
BLKG. BLOCKING	MECH. MECHANICAL
BM. BEAM	MEMB. MEMBRANE
BOT. BOTTOM	MFR. MANUFACTURER
BTWN. BETWEEN	MH. MAN HOLE
B.U.R. BUILT-UP ROOFING	MIN. MINIMUM
B.W. BOTHWAYS	MISC. MISCELLANEOUS
CJ. CONTROL JOINT	MNL. MULLION
CLG. CEILING	N. NORTH
CLKG. CALLKING	NIC. NOT IN CONTRACT
CLR. CLEAR	NO. NUMBER
CMU. CONCRETE MASONRY UNIT	NOM. NOMINAL
COL. COLUMN	N.T.S. NOT TO SCALE
CONC. CONCRETE	OC. ON CENTER
CONN. CONNECTION	OD. OUTSIDE DIAMETER
CONT. CONTINUOUS	OV. OVERHEAD
CT. CERAMIC TILE	OPG. OPENING
	OPP. OPPOSITE
	PCT. PRE-CAST
	P.L. PROPERTY LINE
	PLAM. PLASTIC LAMINATE
	PLAS. PLASTER
	PLYWD. PLYWOOD
	PR. PAIR
	QT. QUARRY TILE
	R. RISER
	RD. ROOF DRAIN
	RE. REFER TO
	REFR. REFRIGERATOR
	REINF. REINFORCED
	RM. ROOM
	RO. ROUGH OPENING
	S. SOUHT
	SC. SOLID CORE
	SCHED. SCHEDULE
	SECT. SECTION
	SF. SQUARE FOOTAGE
	SF. SQUARE FEET
	SHT. SHEET
	SIM. SIMILAR
	SPEC. SPECIFICATION
	SQ. SQUARE
	SS. STAINLESS STEEL
	STAGG. STAGGERED
	STD. STANDARD
	STIFF. STIFFENER
	STL. STEEL
	STRUC. STRUCTURAL
	SUSP. SUSPENDED
	TR. TREAD
	T&B. TOP AND BOTTOM
	TER. TERRAZZO
	T&G. TONGUE & GROVE
	THK. THICK
	TYP. TYPICAL
	U.O.N. UNLESS OTHERWISE NOTED
	VCT. VINYL COMPOSITION
	TILE
	VER. VERIFY
	VERT. VERTICAL
	W. WEST
	w/ WITH
	WC. WATER CLOSET
	WD. WOOD
	w/o WITHOUT
GA. GAUGE	
GALV. GALVANIZED	
GC. GENERAL CONTRACTOR	
GL. GLASS	
GYP. GYPSUM	
GYP. BD. GYPSUM BOARD	
HB. HOSE BIBB	
HC. HOLLOW CORE	
HIC. HANDICAPPED	
HDWD. HARDWOOD	
HDWE. HARDWARE	
H.M. HOLLOW METAL	
HR. HOUR	
HT. HEIGHT	
HVAC. HEATING, VENTILATION & AIR CONDITIONING	

LEGEND



PROJECT DATA

PROJECT NOTES:

- DEFERRED SUBMITTAL TO BE REVIEWED BY PROJECT ARCHITECT OR ENGINEER OF RECORD & CERTIFIED PRIOR TO SUBMITTAL FOR PLAN REVIEW
- SEPARATE PERMITS IS/ARE REQUIRED FOR ACCESSORY BUILDING, LANDSCAPE, PATIO COVERS, FENCES, SWIMMING POOL, RETAINING WALL, DEMOLITION, ETC

DEFERRED SUBMITTALS:

N/A

PROJECT DESCRIPTION:

PROPOSED USE: MULTI-FAMILY ATTACHED
NUMBER OF STORIES: 2
CONSTRUCTION TYPE: V-B
OCCUPANCY: R-3; DWELLING,
FIRE SPRINKLERS: YES

STRUCTURAL DESIGN CRITERIA:

FLOOR LOAD = 10PSF DEAD & 40 PSF LIVE
ROOF LOAD = 1.8PSF DEAD & 20PSF LIVE
BASIC WIND SPEED 80MPH
WIND EXPOSURE = B
SEISMIC DESIGN CATEGORY = SITE CLASS C

CODE COMPLIANCE:

- 2016 CBC
- 2016 CRC
- 2016 CPC
- 2016 CMC
- 2016 CEC
- 2016 CFC
- 2016 CA GREEN BLDG STDS
- 2016 CA ENERGY STDS

GENERAL NOTES:

- THE CONTRACTOR SHALL VISIT PROJECT SITE PRIOR TO BIDDING AND VERIFY ALL EXISTING CONDITIONS. FIELD VERIFY ALL DIMENSIONS PRIOR TO FABRICATION OR ORDERING OF ANY ITEMS. VERIFY ALL WORK TO BE DONE WITH THE OWNER PRIOR TO CONSTRUCTION.
- VERIFY WHICH ITEMS, FIXTURES OR APPLIANCES SHALL BE SUPPLIED OR RE-USED BY THE OWNER AND THE EXACT LOCATION OF SAID ITEMS.
- THE CONTRACTOR SHALL TAKE CARE DURING DEMOLITION AND CONSTRUCTION NOT TO DAMAGE ANY EXISTING CONSTRUCTION AND PLANTING WHICH IS TO REMAIN. ANY DAMAGE OF EXISTING CONDITIONS SHALL BE REPLACED AT NO COST TO THE OWNER.
- ALL MATERIALS TO BE REMOVED SHALL BE DISPOSED OF AT AN APPROPRIATE LOCATION AWAY FROM THE SITE.
- ALL WORK SHALL BE PREFORMED SO THAT THERE SHALL BE MINIMUM INTERFERENCE WITH OTHER TENANTS AND NEIGHBORS.
- PROVIDE ALL NECESSARY TEMPORARY SUPPORTS, SHORING AND BRACING REQUIRED DURING CONSTRUCTION. CONTRACTOR SHALL BE RESPONSIBLE FOR MAINTAINING STRUCTURAL INTEGRITY AND SAFETY.
- PATH ALL FLOORS, WALLS & CEILINGS AS REQUIRED IN ALL AREAS WHERE REMODELING IS OCCURRING. MATCH EXISTING EXISTING FINISH MATERIALS, TEXTURES AND FINISHES UNLESS OTHERWISE NOTED.
- NEW WALLS, CEILING AND FLOORS INTERSECTING EXISTING WALLS, CEILINGS AND FLOORS SHALL BE FLUSH, CLEAN AND LEVEL. ALL TEINS SHALL BE ADEQUATELY SECURE FOR STRUCTURAL INTEGRITY AND SAFETY.
- ANY GLAZING REPLACED FOR RECONSTRUCTION OR TENANT IMPROVEMENTS LOCATED WITHIN 24" OF DOORS OR WITHIN 18" OF THE FLOOR SHALL BE TEMPERED GLAZING.
- CLEAN UP AND REMOVE FROM SITE ALL DEBRIS AND WASTE CREATED BY DEMOLITION AND CONSTRUCTION.
- PROVIDE CASING BEADS AT ALL EXPOSED DRYWALL EDGES. PROVIDE ALL OTHER MISC. METAL TRIM AS REQUIRED FOR A COMPLETE AND PROPER INSTALLATION.
- ALL SIGNAGE OUTSIDE OF TENANT SPACE REQUIRES A SEPARATE SIGN PERMIT.
- THESE PLANS ARE FOR GENERAL CONSTRUCTION PURPOSES ONLY. THEY ARE NOT EXHAUSTIVELY DETAILS NOR FULLY SPECIFIED. IT IS THE RESPONSIBILITY OF THE CONTRACTOR TO SELECT, VERIFY, RESOLVE, AND INSTALL ALL MATERIALS AND EQUIPMENT.
- CONTRACTOR SHALL USE WRITTEN DIMENSIONS ONLY. ALL DIMENSIONS ARE TO BE FACE OF STUDS U.O.N.
- STREET NUMBER OR ADDRESS SHALL BE PLAINLY VISIBLE AND LEGIBLE FROM THE STREET OR ROAD FRONTING THE PROPERLY.

DIRECTORY

Owner

Maia Kinsinger
1230 Deventer Dr
La Verne, CA 91750
p 909.598.2442
e MKinsinger2@gmail.com
contact Maia Kinsinger

General Contractor

Eisemann Design Build
4875 Shadow Canyon Rd
Templeton, CA 93465
p 805.748.5625
e Marcismit@aol.com
contact Marc Eisemann

ARCHITECT

Michael Smith, Architect
P.O. Box 1500
San Luis Obispo, CA 93406
p 209.534.9286
e Mike@MichaelSmithArchitect.com
contact Michael Smith

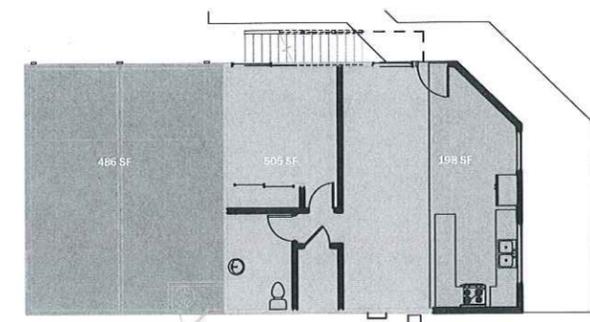
Structural Engineer

M. E. Designs
610 10th Street, Suite D
Paso Robles, CA 93446
p 805-610-9545
e John@MEDesigns.us
contact John Maggi

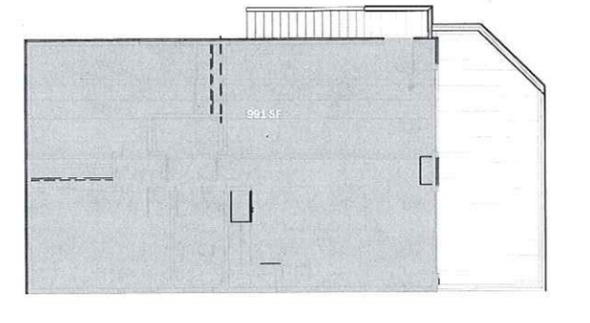
REMODELING PRE-1978 STRUCTURES WITHOUT USING LEAD SAFE WORK PRACTICES IS A VIOLATION OF THE CALIFORNIA HEALTH AND SAFETY CODE SECTION 105256. CONTRACTORS, REMODELERS AND PAINTERS ARE REQUIRED TO USE "LEAD-SAFE" WORK PRACTICES PURSUANT TO TITLE 17, CALIFORNIA CODE OF REGULATIONS SECTION 26050

NOTES:
ANY DAMAGE, AS A RESULT OF CONSTRUCTION OPERATIONS FOR THIS PROJECT, TO CITY FACILITIES, I.E. CURB/BERM, STREET, SEWER LINE, WATER LINE OR ANY PUBLIC IMPROVEMENTS SHALL BE REPAIRED AT NO COST TO THE CITY OF MORRO BAY

NO WORK SHALL OCCUR WITHIN (OR USE OF) THE CITY'S RIGHT OF WAY OR PUBLIC UTILITY EASEMENT WITHOUT AN ENCROACHMENT PERMIT. ENCROACHMENT PERMITS ARE AVAILABLE AT THE CITY OF MORRO BAY PUBLIC WORKS OFFICE LOCATED AT 955 SHASTA AVE. THE ENCROACHMENT PERMIT SHALL BE ISSUED CONCURRENTLY WITH THE BUILDING PERMIT.



1 AREA PLAN - LOWER LEVEL



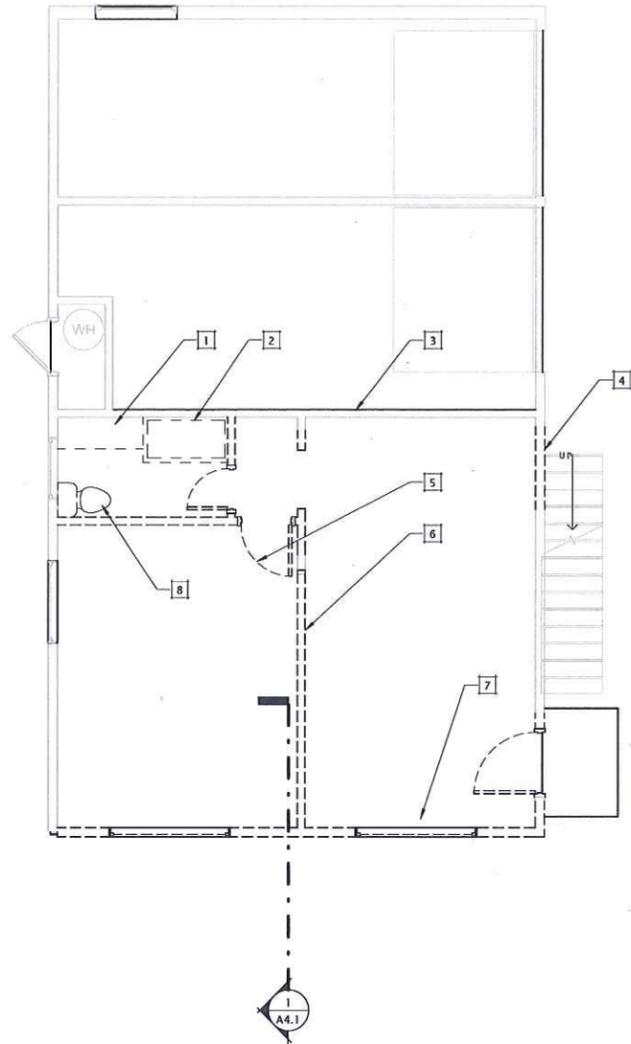
2 AREA PLAN - UPPER LEVEL
1/8" = 1'-0"

COVER

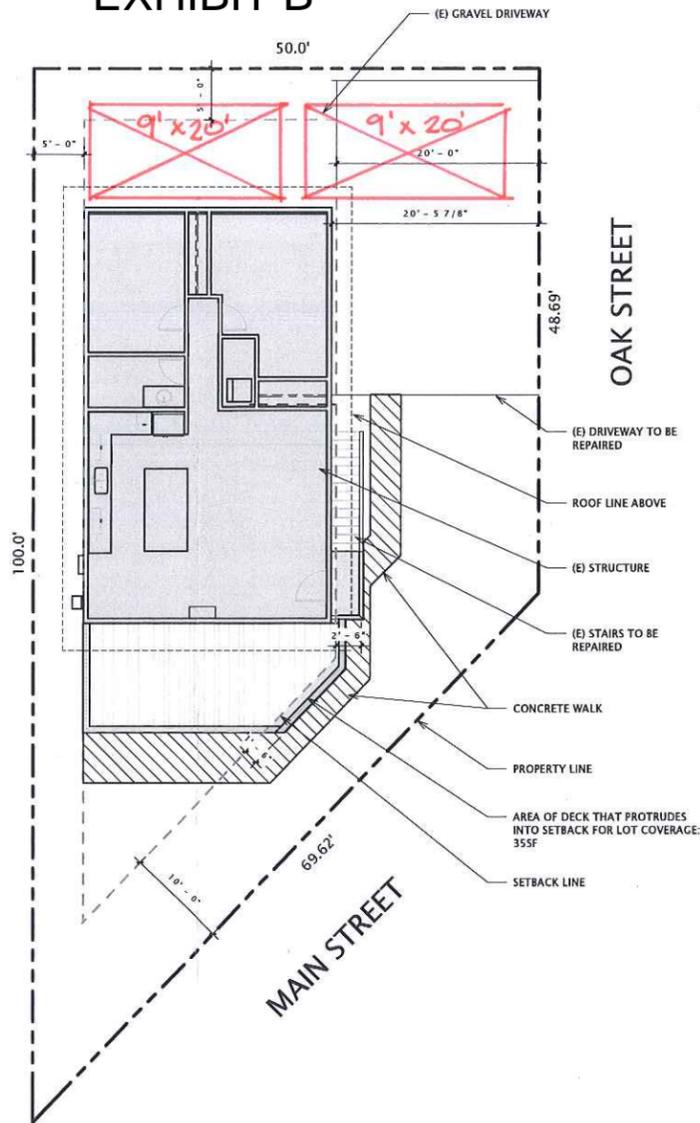
Morro Bay Remodel - Lower Unit

Schematic Design

EXHIBIT B



2 01 - MAIN LEVEL DEMO PLAN
1/4" = 1'-0"



1 SITE PLAN - NEW
1/8" = 1'-0"

GENERAL SITE NOTES

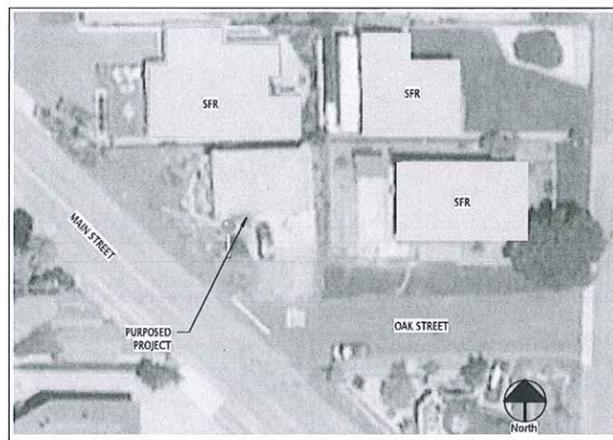
- GRADE ADJACENT TO THE FOUNDATION SHALL BE SLOPED AWAY FROM THE BUILDING AT A SLOPE OF NOT LESS THAN 5% FOR A MINIMUM DISTANCE OF 10 FEET MEASURED PERPENDICULAR TO THE FACE OF THE WALL. IF PHYSICAL OBSTRUCTIONS OR LOT LINES PROHIBIT 10 FEET OF HORIZONTAL DISTANCE, 5% SLOPE SHALL BE PROVIDED TO AN APPROVED ALTERNATIVE METHOD OF DIVERTING WATER AWAY FROM THE FOUNDATION. SWALES USED FOR THIS PURPOSE SHALL SLOPE A MINIMUM OF 2%.
- EXTERIOR LANDINGS SHALL BE PERMITTED TO HAVE A SLOPE NOT TO EXCEED 1/4" PER 12" HORIZONTAL (2%). THE LANDING OR FLOOR ON THE EXTERIOR SIDE SHALL NOT BE MORE THAN 7-3/4" BELOW THE TOP OF THE THRESHOLD PROVIDED THE DOOR DOES NOT SWING OVER THE LANDING OR FLOOR.
- CLEANOUTS SHALL BE PLACED INSIDE THE BUILDING NEAR THE CONNECTION BETWEEN THE BUILDING DRAIN AND THE BUILDING SEWER OR INSTALLED OUTSIDE THE BUILDING AT THE LOWER END OF THE BUILDING DRAIN AND EXTENDED TO GRADE. ADDITIONAL CLEANOUTS SHALL BE INSTALLED AT INTERVALS NOT TO EXCEED 100 FEET IN STRAIGHT RUNS AND FOR EACH HORIZONTAL CHANGE IN DIRECTION EXCEEDING 135 DEGREES. CPC 719.1
- DRAINAGE PIPING SERVING FIXTURES WHICH HAVE A FLOOD LEVEL RIMS LOCATED BELOW THE ELEVATION OF THE NEXT UPSTREAM MANHOLE COVER OF THE PUBLIC OR PRIVATE SEWER SERVING SUCH DRAINAGE PIPING SHALL BE PROTECTED BACKFLOW OF SEWAGE BY INSTALLING AN APPROVED BACKWATER VALVE.

GENERAL ROOF NOTES

- CONTRACTOR SHALL VERIFY AREA OF ALL ATTIC VENTS WITH MANUFACTURER
- ALL ROOF SHEATHING EDGES SHALL BE BLOCKED AND NAILED PER STRUCTURAL PALMS. IN ADDITION CONTRACTOR SHALL PROVIDE MIN BLOCKING AND NAILING AS REQUIRED BY THE ROOFING MFR
- PROVIDE SHEET METAL FLASHING AT ALL VALLEYS AND ROOF TO WALL CONDITIONS
- ROOF GUTTERS SHALL BE PROVIDED WITH THE MEANS TO PREVENT ACCUMULATION OF LEAVES AND DEBRIS
- ATTIC VENTS SHALL MEET THE FOLLOWING REQUIREMENTS, CBC 1203.2

DEMO PLAN NOTES

No	Description
1	REMOVE & REPLACE (E) VANITY
2	REMOVE (E) TUB, SEE FLOOR PLAN FOR REPLACEMENT
3	(E) WALL CONSTRUCTION TO REMAIN, TYP
4	(E) WINDOW REMOVED & REPLACED TO PROVIDE EGRESS FROM FUTURE BEDROOM, SEE FLOOR PLAN
5	REMOVE (E) DOOR
6	REMOVE (E) INTERIOR WALL CONSTRUCTION, TYP
7	REMOVE (E) EXTERIOR WALL CONSTRUCTION, SEE FLOOR PLAN
8	REPLACE (E) TOILET WITH LOW-FLOW TOILET



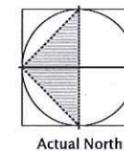
SURROUNDING PROPERTIES
1/2" = 1'-0"

- JURISDICTION: CITY OF MORRO BAY
- ZONING: R1
- HEIGHT RESTRICTIONS: 25FT ABOVE AVERAGE GRADE
- SETBACKS:
 - a. 20'-0" FRONT SETBACK
 - b. 5'-0" INTERIOR SIDE SETBACKS
 - c. 20% Lot Width EXTERIOR SIDE SETBACKS
 - Min 5'-0" - Max 10'0"
 - d. 5'-0" REAR SETBACK
- FOR CLIMATE ZONE 3 PER 2016 IRC
 - a. MAXIMUM GLAZING U-FACTOR .30
 - b. CEILINGS R-30
 - c. WALLS R-13
 - d. FLOORS R-10
 - e. BASEMENT WALLS N/A
 - f. SLAB PERIMETER R-VALUE AND DEPTH N/A
 - g. CRAWL SPACE WALLS N/A

CODE INFORMATION
1/2" = 1'-0"

AREA TABULATIONS

SITE AREA:	3,842 SF
EXISTING STRUCTURE:	
1. UPPER LEVEL - UNIT A	991 SF
2. LOWER LEVEL - UNIT B	991 SF
TOTAL	1,982 SF
ADDITION:	
1. LOWER LEVEL ADDITION	198 SF OK
- MAX ADD: 1982 X 10% = 198.25F	
PROPOSED STRUCTURE:	
1. UPPER LEVEL - UNIT A	991 SF
2. LOWER LEVEL - UNIT B	1,189 SF
TOTAL	1,982 SF
LOT COVERAGE	
1. EXISTING	1,026/3,842 = 26.7
2. PROPOSED ADDITION	1,224/3,842 = 31.8%
LOT AREAS	
1. LOWER LEVEL	1,189 SF 31%
2. IMPERMEABLE SURFACE	907 SF 24%
3. LANDSCAPE AREA	1,746 SF 45%



Actual North

MICHAEL D SMITH
ARCHITECT

PO Box 1500, San Luis Obispo, CA 93406
805.457.5440 Phone
Mike@MichaelSmithArchitect.com



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Morro Bay:
Remodel - Lower Unit
222 Main St
Morro Bay, CA
APN: 066-027-008

Project No.: 171113

Issue Dates:

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Bldg Department Submittal - Revisions

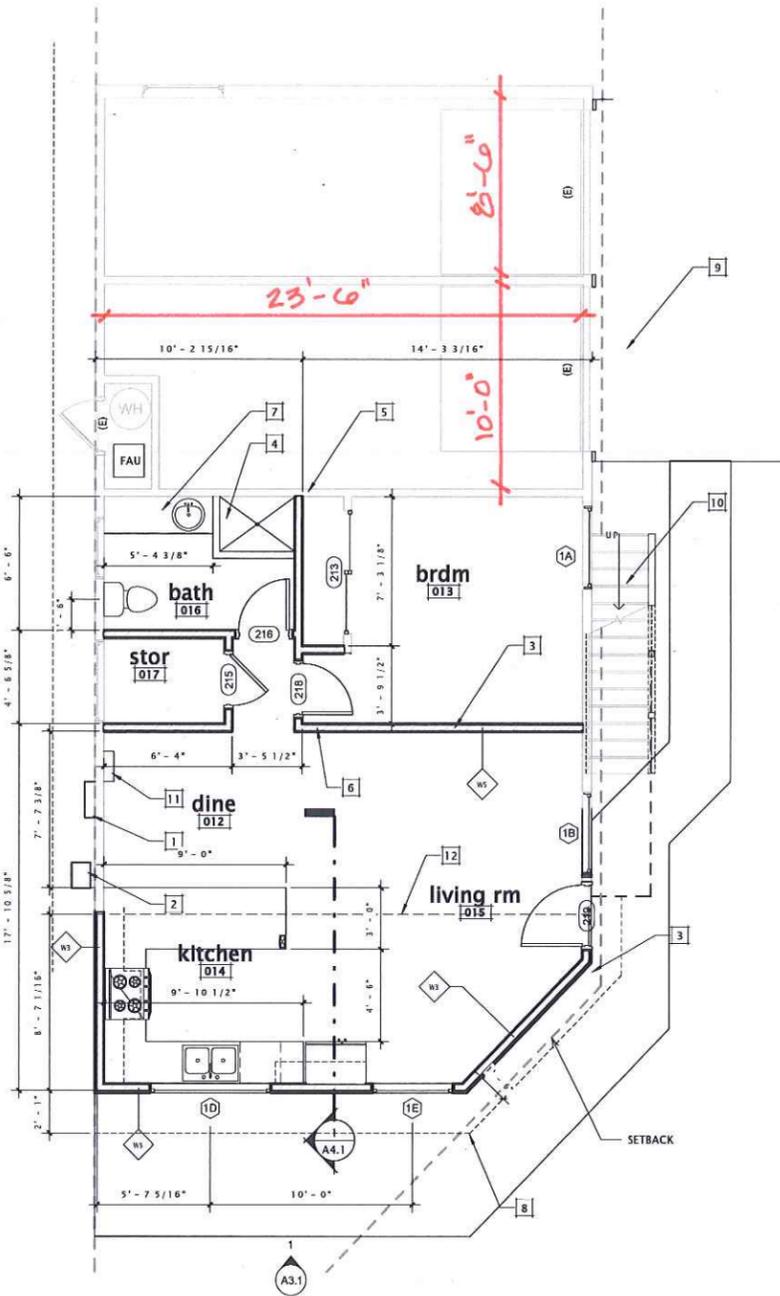
No.	Description	Date
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SITE PLAN

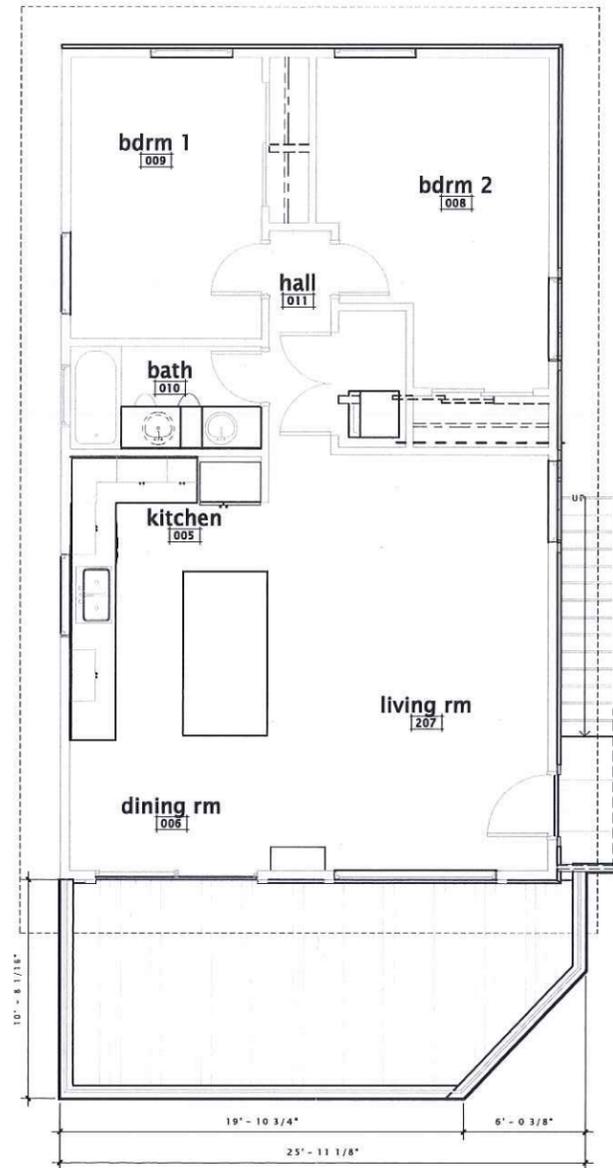
Sheet Number:

FOR CONSTRUCTION 08/21/17

EXHIBIT B



1 MAIN LEVEL FLOOR PLAN - PROPOSED
1/4" = 1'-0"



2 02 - UPPER LEVEL FLOOR PLAN - REFERENCE
1/4" = 1'-0"

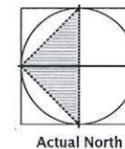
Wall Schedule						
Type Mark	Type	Description	Fire Rating	STC	Width	Comments
W2	Exterior - 3 1/2" WS - Smooth Stucco Ext + 1/2" GWB Int	2x4 WD STUDS AT 16" O.C. w/ 7/8" CEMENT PLASTER OVER WEATHER BARRIER AND 7/16" OSB PLYWOOD ON EXTERIOR & (1) LAYER OF 1/2" GWB ON INTERIOR		40	5 7/16"	
W3	Exterior - 3 1/2" WS - Shiplap Ext + 1/2" GWB Int 2	2x4 WD STUDS AT 16" O.C. w/ 7/8" CEMENT PLASTER OVER WEATHER BARRIER AND 7/16" OSB PLYWOOD ON EXTERIOR & (1) LAYER OF 1/2" GWB ON INTERIOR		40	5 7/16"	
WS	Interior - 3 1/2" Wood Framing - Double 1/2" Gyp	2x4 WD STUDS AT 16" O.C. w/ 1/2" GWB ON EACH SIDE & R11 BATT INSULATION BTWN STUDS	N/A		4 1/2"	
W22	Exterior - 5 1/2" WS - 6" Shiplap Ext Both Side	2x6 WD STUDS AT 16" O.C. w/ 1X8 TRUWOOD FIBER CEMENT HORIZONTAL SIDING WITH 6" EXPOSURE OVER WEATHER BARRIER AND 7/16" OSB PLYWOOD		40	7 9/16"	

MAIN FLOOR DOOR SCHEDULE								
Mark	CONSTRUCTION TYPE	DOOR SIZE		DETAILS			Fire Rating	COMMENTS
		WIDTH	HEIGHT	Head	Jamb	Sill		
215	Single Flush SC Wood Door - Interior	2'-6"	6'-8"					
216	Single Flush Solid Core Wood Door	2'-6"	6'-8"					
218	Single Flush Solid Core Wood Door	2'-6"	6'-8"					
219	Sliding - 2 panel	3'-0"	6'-8"					
213	6068 SLIDER	6'-0"	6'-8"					
Grand total: 5								

MAIN FLOOR WINDOW SCHEDULE											
Mark	Type	WINDOW SIZE		DETAILS			GLASS				COMMENTS
		Width	Height	Head	Jamb	Sill	Low-E	Glazing	U-Value	SHSG	
1A	Slider 4'-0" x 3'-0"	4'-0"	3'-0"				YES	DUAL	0.95	0.7	
1D	Slider 6'-0" x 3'-6"	6'-0"	3'-6"				YES	DUAL	0.95	0.7	
1B	Slider 4'-0" x 3'-0"	4'-0"	3'-0"				YES	DUAL	0.95	0.7	
1E	Slider 4'-0" x 3'-6"	4'-0"	3'-6"				YES	DUAL	0.95	0.7	
Grand total: 4											

GENERAL PLAN NOTES

- ROOMS CONTAINING BATHTUBS, SHOWERS, SPAS AND SIMILAR FIXTURES SHALL BE PROVIDED WITH AN EXHAUST FAN WITH A MIN CAPACITY OF 50 CFM CBC 1203.4.2.1
 - SHOWERS AND TUB/SHOWERS SHALL BE PROVIDED WITH PRESSURE BALANCE OR THERMOSTATIC MIXING VALVE CONTROLS AS PER CPC
 - BATH COMPARTMENTS EQUIPPED WITH A SHOWER HEAD SHALL BE FINISHED WITH A NONABSORBENT SURFACE THAT SHALL EXTEND TO A HEIGHT OF NOT LESS THAN 6 FEET ABOVE THE FLOOR, SEC R307.2
 - WATER CLOSET SHALL USE NO MORE THAN 1.28 GALLONS OF WATER PER FLUSH - SEE CHART BELOW
 - PROVIDE FIRE BLOCKS AND DRAFT STOPS IN THE WOOD FRAME FLOOR CONSTRUCTION CONTAINING CONCEALED SPACE WHERE THERE IS USABLE SPACE ABOVE AND BELOW THE CONCEALED SPACE. SUCH DRAFT STOPS SHOULD BE INSTALLED SO THAT THE AREA OF THE CONCEALED SPACE DOES NOT EXCEED 1000 SQ. FT. DRAFTSTOPPING SHOULD DIVIDE THE CONCEALED SPACE INTO APPROXIMATELY EQUAL AREAS PER CBC
 - WHEN A SHOWER IS SERVED BY MORE THAN ONE SHOWERHEAD, THE COMBINED FLOW RATE OF ALL SHOWERHEADS AND/OR OTHER SHOWER OUTLETS CONTROLLED BY A SINGLE VALVE SHALL NOT EXCEED 2.0 GALLONS PER MINUTE AT 80psi, OR THE SHOWER SHALL BE DESIGNED TO ALLOW ONLY ONE SHOWER OUTLET TO BE OPERATIONAL AT A TIME. NOTE: A HAND-HELD SHOWER SHALL BE CONSIDERED A SHOWERHEAD. CGBC SEC 4.303.1.3.2
 - A MINIMUM OF 65% OF CONSTRUCTION WASTE IS TO BE RECYCLED, CGBC SEC 4.408.1 & 4.408.2. SEE SHEET G2 FOR ADDITIONAL INFORMATION
 - THE BUILDER IS TO PROVIDE AN OPERATION MANUAL (CONTAINING INFORMATION FOR MAINTAINING APPLIANCES, ETC) SEE CGBC NOTES #7 ON SHEET G2
 - DURING CONSTRUCTION, ENDS OF DUCT OPENINGS ARE TO BE SEALED, AND MECHANICAL EQUIPMENT IS TO BE COVERED, SEE CGBC NOTES #8 ON SHEET G2
 - VOC'S MUST COMPLY WITH THE LIMITATIONS LISTED IN CGBC, SEE CGBC NOTES #9 & 10 ON SHEET G2
 - BATHROOM FANS SHALL BE ENERGY STAR RATED, VENTED DIRECTLY TO THE OUTSIDE AND CONTROLLED BY A HUMIDISTAT. SEE CGBC NOTES #21 ON SHEET G2
 - PROVIDE NON-REMOVABLE BACKFLOW PREVENTION DEVICES AT ALL EXTERIOR HOSE BIBBS PER CPC
 - PROVIDE PRESSURE RELIEF VALVE WITH DRAIN DRAIN TO OUTSIDE AT WATER HEATERS PER CPC
 - PRIOR TO FINAL APPROVAL OF THE BUILDING, THE LICENSED CONTRACTOR IN CHARGE OF THE OVERALL CONSTRUCTION MUST COMPLETE AND SIGN THE GREEN BUILDING STANDARDS CERTIFICATION FORM AND GIVEN TO THE BUILDING DEPARTMENT OFFICIAL TO BE FILED WITH THE APPROVED PLANS
 - PROVIDE SMOOTH METAL DUCT FOR DRYER EXHAUST EXTENDING TO OUTSIDE WITH BACKDRAFT DAMPER PER CMC
 - FACTORY-BUILT FIREPLACES, CHIMNEYS AND ALL OTHER COMPONENTS SHALL BE LISTED AND INSTALLED IN ACCORDANCE WITH THEIR LISTING AND MANUFACTURER'S INSTRUCTIONS
 - DECORATIVE SHROUDS SHALL NOT BE INSTALLED AT THE TERMINATIONS OF THE FACTORY-BUILT CHIMNEYS EXCEPT WHERE SUCH SHROUDS ARE LISTED AND LABELED FOR USE WITH THE SPECIFIC FACTORY-BUILT CHIMNEY SYSTEM AND ARE INSTALLED IN ACCORDANCE WITH MANUFACTURER'S INSTALLATION INSTRUCTION, CMC 802.4.2.4
 - ALL NON-COMPLIANT PLUMBING FIXTURES IN THE EXISTING DWELLING SHALL BE REPLACED WITH WATER CONSERVING FIXTURES AS FOLLOWS: CGBC SEC 4.303.1
 - ALL WATER CLOSETS GREATER THAN 1.6 GALLONS PER FLUSH (gpf) SHALL BE REPLACED WITH NEW WATER CLOSETS WITH 1.28 gpf MAX
 - SHOWERHEADS USING MORE THAN 2.0 GALLONS PER MINUTE (gpm) SHALL BE REPLACED WITH NEW HAVING NO MORE THAN 2.0 gpm AT 80 psi
 - RESIDENTIAL LAVATORY FAUCETS USING MORE THAN 1.5 gpm AT 60 psi OR LESS THAN 0.8 gpm AT 60 psi
 - KITCHEN FAUCETS EXCEEDING 1.8 gpm SHALL BE REPLACED WITH NEW FAUCETS NOT EXCEEDING 1.8 gpm AT 60 psi. KITCHEN FAUCETS MAY TEMPORARILY INCREASE FLOW TO MORE THAN 2.2 gpm AT 60 psi, AND MUST DEFAULT TO A MAXIMUM FLOW RATE OF 1.8 gpm AT 60 psi.
 - THE WATER SUPPLY RIDER FROM THE SHOWER VALVE TO THE SHOWER HEAD OUTLET, WHETHER EXPOSED OR NOT, SHALL BE SECURELY ATTACHED TO THE STRUCTURE, SEC CPC 408.10
 - SHOWER DOOR GLAZING, IF INSTALLED, SHALL BE SAFETY TYPE GLAZING, SEC CRC R308.1 & R308.4
- CALIFORNIA PLUMBING CODE REQUIRES THAT ALL NEW WATER FIXTURE MEET THE FOLLOWING MINIMUM WATER USE REQUIREMENTS FOR FIXTURES
- | FIXTURE TYPE | MAXIMUM FLOW RATE |
|--------------------------------|--------------------|
| SHOWERHEADS | 2.0 gpm @ 80 psi |
| LAVATORY FAUCETS - RESIDENTIAL | 1.5 gpm @ 60 psi |
| KITCHEN FAUCETS | 1.8 gpm @ 60 psi |
| WATER CLOSETS | 1.28 gallons/flush |



FLOOR PLAN NOTES	
No	Description
1	(E) 100 AMP ELECTRICAL PANELS
2	(E) GAS METER TO REMAIN
3	(N) WALL CONSTRUCTION, SEE WALL LEGEND
4	(N) SHOWER
5	(E) WALL CONSTRUCTION TO REMAIN, TYP
6	(N) DOOR, SEE DOOR LEGEND
7	(N) VANITY
8	(E) DECK ABOVE
9	SETBACK LINE FOR REFERENCE, SEE SITE PLAN
10	(E) STAIR TO REMAIN
11	(N) GAS HEATER
12	(LINE OF (E) CONCRETE SLAB

DEMO PLAN NOTES	
No	Description
1	REMOVE & REPLACE (E) VANITY
2	REMOVE (E) TUB, SEE FLOOR PLAN FOR REPLACEMENT
3	(E) WALL CONSTRUCTION TO REMAIN, TYP
4	(E) WINDOW REMOVED & REPLACED TO PROVIDE EGRESS FROM FUTURE BEDROOM, SEE FLOOR PLAN
5	REMOVE (E) DOOR
6	REMOVE (E) INTERIOR WALL CONSTRUCTION, TYP
7	REMOVE (E) EXTERIOR WALL CONSTRUCTION, SEE FLOOR PLAN
8	REPLACE (E) TOILET WITH LOW-FLOW TOILET

MICHAEL D SMITH
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**Morro Bay:
Remodel - Lower
Unit**

222 Main St
Morro Bay, CA
APN: 066-027-008

Project No.: 171113

Issue Dates:

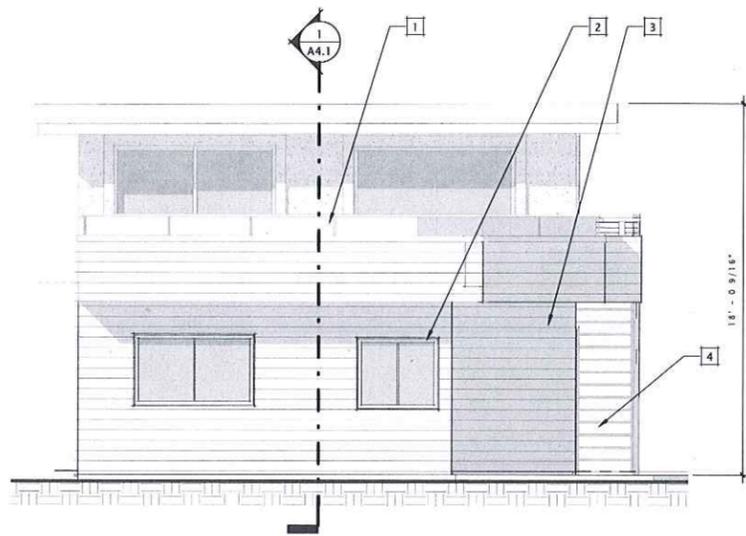
No.	Description	Date
1	ISSUE FOR TITLE 24	11/14/17
2	ISSUE FOR PERMIT	11/21/17
3	RE-ISSUE FOR CUP SUBMITTAL	02/26/18

Bldg Department Submittal - Revisions

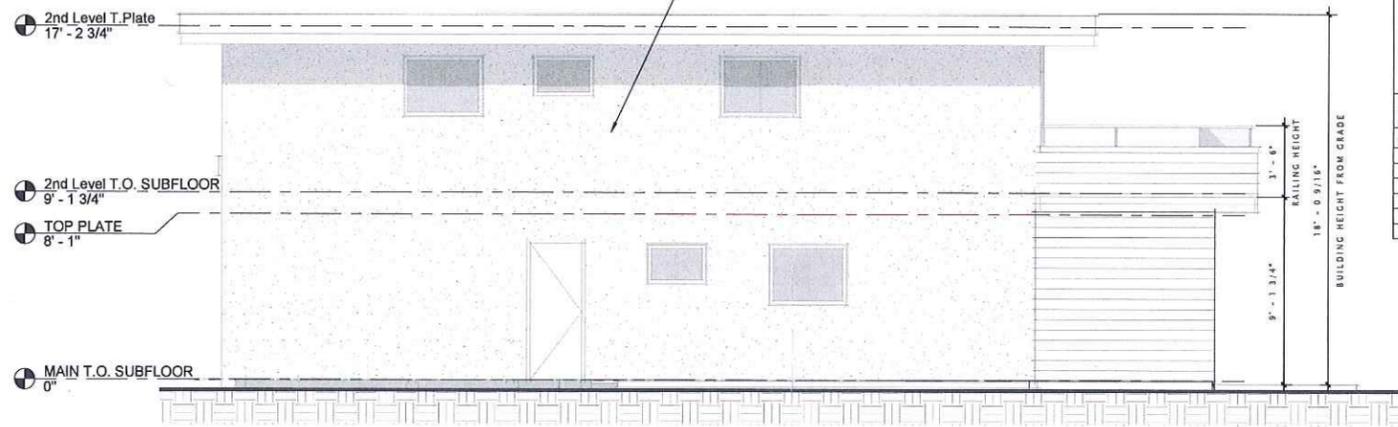
No.	Description	Date
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FOR CONSTRUCTION 08/21/17

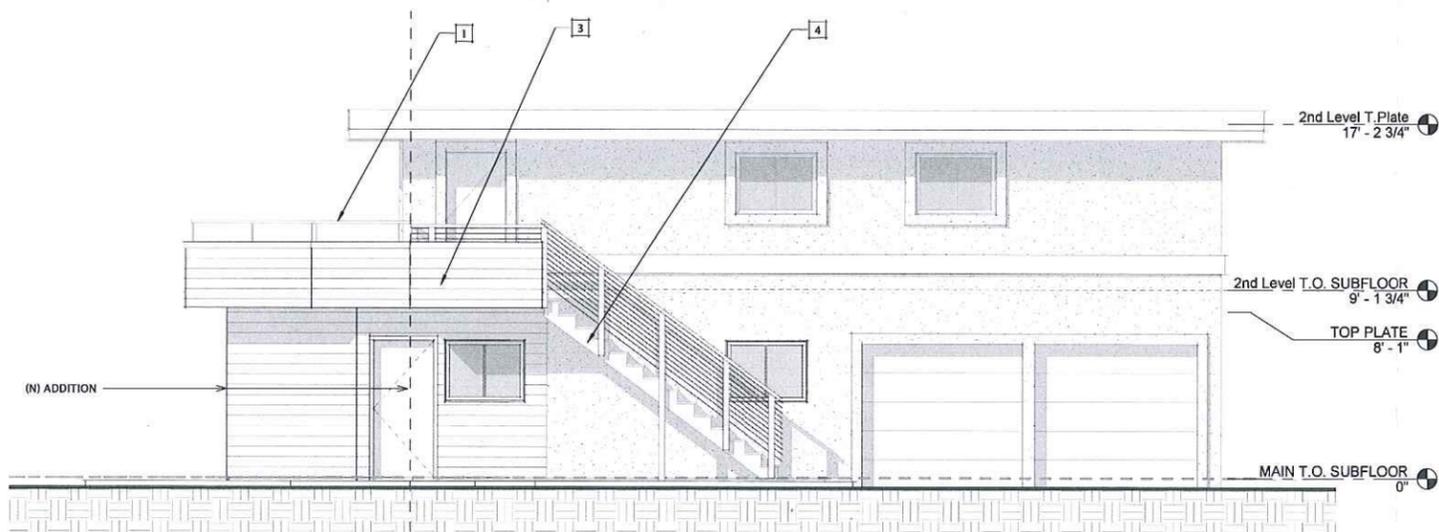
EXHIBIT B



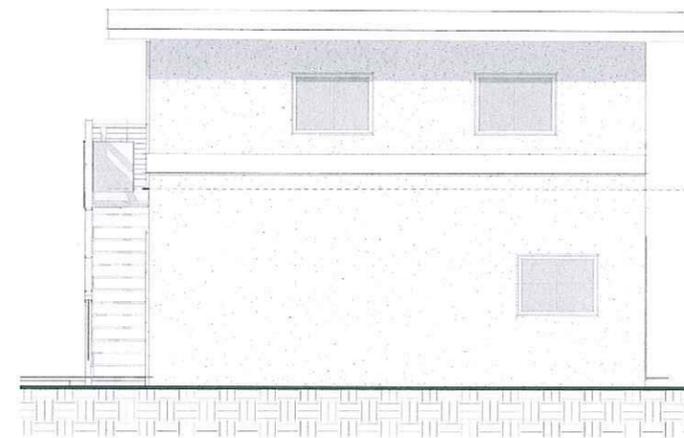
1 EXTERIOR ELEVATION - WEST
1/4" = 1'-0"



2 EXTERIOR ELEVATION - NORTH
1/4" = 1'-0"



3 EXTERIOR ELEVATION - SOUTH
1/4" = 1'-0"



4 EXTERIOR ELEVATION - EAST
1/4" = 1'-0"

GENERAL ELEVATIONS NOTES

- ROOFING MATERIAL: ROLLED ASPHALT ROOF
- BUILDING PAPER: PROVIDE A MINIMUM OF TWO PLYERS OF GRADE "D" PAPER OVER ALL WOOD BASED SHEATHING AND UNDER ALL GROUT BASE MASONRY VENEERS CBC SEC 1402.1
- VAPOR BARRIER: PROVIDE VAPOR BARRIER AROUND ALL WALL PENETRATIONS INCLUDING DOORS, WINDOWS AND VENTS PER DETAILS
- EXTERIOR FINISH: STUCCO TO MATCH EXISTING HARDI PLANK SHIPLAP SIDING
- EXTERIOR DOORS/WINDOWS: FIBERGLAS DOOR/WINDOW
- INTERIOR DOORS: FLUSH PANEL WD DOORS

EXTERIOR ELEVATION NOTES	
No	Description
1	(E) DECK & RAILING
2	(N) WINDOW, SEE FLOOR PLAN
3	(N) SHIPLAP SIDING
4	(E) STAIRS TO REMAIN
5	(E) STUCCO TO REMAIN, PATCH & REPAIR AS REQUIRED

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ARCHITECT

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Bldg Department Submittal - Revisions

No.	Description	Date
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FOR CONSTRUCTION 10/05/17



Photo Legend

**Main St Addition
Conditional Use Permit
220-222 Main St
Morro Bay, CA**





Photo Position 1



Photo Position 2



Photo Position 3



Photo from Main St



Photo from Main St



Photo from Main St

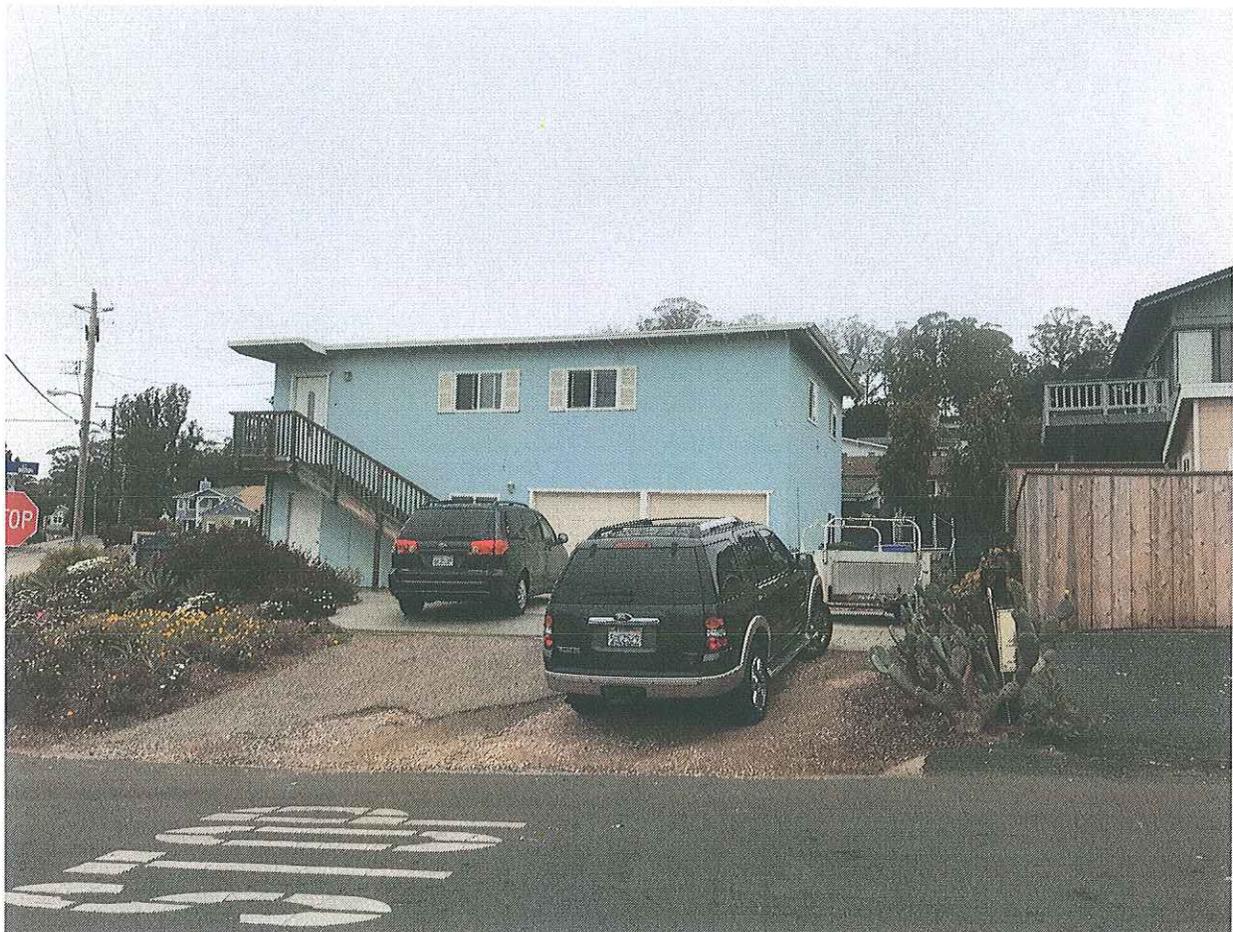


Photo from Oak St