



# CITY OF MORRO BAY PLANNING COMMISSION AGENDA

*The City of Morro Bay provides essential public services and infrastructure to maintain a safe, clean and healthy place for residents and visitors to live, work and play.*

**Regular Meeting -Tuesday, May 21, 2019  
Veteran's Memorial Building – 6:00 P.M.  
209 Surf Street, Morro Bay, CA**

Vice-Chairperson Michael Lucas  
Commissioner Jesse Barron

Chairperson Gerald Luhr

Commissioner Joseph Ingraffia  
Commissioner Susan Stewart

ESTABLISH QUORUM AND CALL TO ORDER  
MOMENT OF SILENCE / PLEDGE OF ALLEGIANCE  
PLANNING COMMISSIONER ANNOUNCEMENTS

## PUBLIC COMMENT PERIOD

Members of the audience wishing to address the Commission on City business matters not on the agenda may do so at this time. For those desiring to speak on items on the agenda, but unable to stay for the item, may also address the Commission at this time.

Public comment is an opportunity for members of the public to provide input to the governing body. To increase the effectiveness of the Public Comment Period, the Commission respectfully requests the following guidelines and expectations be followed:

- When recognized by the Chair, please come forward to the podium to speak. Though not required, it is helpful if you state your name, city of residence and whether you represent a business or group. Unless otherwise established by the Chair, comments are to be limited to three minutes.
- All remarks should be addressed to Commission, as a whole, and not to any individual member thereof.
- The Commission respectfully requests that you refrain from making slanderous, profane or personal remarks against any commission and/or staff.
- Please refrain from public displays or outbursts such as unsolicited applause, comments or cheering.
- Any disruptive activities that substantially interfere with the ability of the Planning Commission to carry out its meeting will not be permitted and offenders will be requested to leave the meeting.
- Your participation in Planning Commission meetings is welcome and your courtesy will be appreciated.
- The Commission in turn agrees to abide by its best practices of civility and civil discourse according to Resolution No. 07-19.

## PRESENTATIONS

### A. CONSENT CALENDAR

**A-1** Current and Advanced Planning Processing List  
**Staff Recommendation:** Receive and file.

**A-2** Approval of Resolution 08-19 reflecting Planning Commissions May 7, 2019 decision to uphold an appeal of MIN19-001 for the project at 3300 Panorama  
**Staff Recommendation:** Approve Resolution 08-19

- A-3** Approval of minutes from the Planning Commission meeting of April 16, 2019.  
**Staff Recommendation:** Approve minutes as submitted.

B. PUBLIC HEARINGS

- B-1** **Case No.:** CUP19-03, CDP 19-006  
**Site Location:** 495 Atascadero Road, Morro Bay, CA  
**Proposal:** Request for Coastal Development Permit and Conditional Use Permit for after-the-fact approval for a 2-story maintenance building that was constructed under the State of California Department of Housing and Community Development building permit authority in 2014. The project required City of Morro Bay approval of a Conditional Use Permit and Coastal Development Permit prior to building permit issuance. The building is a 24 ft. by 33 ft. pre-engineered metal building with a height of approximately 22.5 feet located along the easterly property line. The property is in the C-1/C-2/SP zoning district and is not within the appeals jurisdiction of the California Coastal Commission.  
**CEQA Determination:** Categorically Exempt, Section 15303, Class 3e.  
**Staff Recommendation:** Conditionally approve.  
**Staff Contact:** Nancy Hubbard, Contract Planner, (805) 772-6211
- B-2** **Case No.:** SEP19-001  
**Site Location:** 962 Piney Way, Morro Bay, CA  
**Proposal:** Sign Exception Permit approval request to allow two freestanding monument signs where one monument sign is the maximum per MBMC section 17.68.110. The proposed signs are for St. Timothy's Church at 962 Piney Way, which sits on a 100,218 sq. ft. lot that has two different street frontages, with one monument sign proposed at each entrance. The property is zoned R-2 (Duplex Residential) and is located outside the Coastal Commission Appeals Jurisdiction.  
**CEQA Determination:** Categorically Exempt, Section 15311, Class 11(a).  
**Staff Recommendation:** Conditionally approve.  
**Staff Contact:** Willow Urquidi, Assistant Planner, (805) 772-6270

C. NEW BUSINESS – NONE

D. UNFINISHED BUSINESS - NONE

E. PLANNING COMMISSIONER COMMENTS/FUTURE AGENDA ITEMS

F. COMMUNITY DEVELOPMENT DIRECTOR COMMENTS

G. ADJOURNMENT

Adjourn to the next regular Planning Commission meeting at the Veteran's Memorial Building, 209 Surf Street, on June 4, 2019 at 6:00 p.m.

**PLANNING COMMISSION MEETING PROCEDURES**

This Agenda is subject to amendment up to 72 hours prior to the date and time set for the meeting. Please refer to the Agenda posted at the Community Development Department, 955 Shasta Avenue, for any revisions, or call the Department at 805-772-6264 for further information.

Written testimony is encouraged so it can be distributed in the Agenda packet to the Commission. Material submitted by the public for Commission review prior to a scheduled hearing should be received by the Planning Division at the Community Development Department, 955 Shasta Avenue, no later than 5:00 P.M. the Tuesday (eight days) prior to the scheduled public hearing. Written testimony provided after the Agenda packet is published will be distributed to the Commission but there may not be enough time to fully consider the information. Mail should be directed to the Community Development Department, Planning Division.

Materials related to an item on this Agenda are available for public inspection during normal business hours in the Community Development Department, at Mill's/ASAP, 495 Morro Bay Boulevard, or the Morro Bay Library, 695 Harbor, Morro Bay, CA 93442. Materials related to an item on this Agenda submitted to the Planning Commission after publication of the Agenda packet are available for inspection at the Community Development Department during normal business hours or at the scheduled meeting.

This Agenda may be found on the Internet at: [www.morrobayca.gov/planningcommission](http://www.morrobayca.gov/planningcommission) or you can subscribe to Notify Me for email notification when the Agenda is posted on the City's website. To subscribe, go to [www.morrobayca.gov/notifyme](http://www.morrobayca.gov/notifyme) and follow the instructions.

The Brown Act forbids the Commission from taking action or discussing any item not appearing on the agenda, including those items raised at Public Comment. In response to Public Comment, the Commission is limited to:

1. Responding to statements made or questions posed by members of the public; or
2. Requesting staff to report back on a matter at a subsequent meeting; or
3. Directing staff to place the item on a future agenda. (Government Code Section 54954.2(a))

Commission meetings are conducted under the authority of the Chair who may modify the procedures outlined below. The Chair will announce each item. Thereafter, the hearing will be conducted as follows:

1. The Planning Division staff will present the staff report and recommendation on the proposal being heard and respond to questions from Commissioners.
2. The Chair will open the public hearing by first asking the project applicant/agent to present any points necessary for the Commission, as well as the public, to fully understand the proposal.
3. The Chair will then ask other interested persons to come to the podium to present testimony either in support of or in opposition to the proposal.
4. Finally, the Chair may invite the applicant/agent back to the podium to respond to the public testimony. Thereafter, the Chair will close the public testimony portion of the hearing and limit further discussion to the Commission and staff prior to the Commission taking action on a decision.

## **APPEALS**

If you are dissatisfied with an approval or denial of a project, you have the right to appeal this decision to the City Council up to 10 calendar days after the date of action. Pursuant to Government Code §65009, you may be limited to raising only those issues you or someone else raised at the public hearing described in this notice, or in written correspondence delivered to the Commission, at, or prior to, the public hearing. The appeal form is available at the Community Development Department and on the City's web site. If legitimate coastal resource issues related to our Local Coastal Program are raised in the appeal, there is no fee if the subject property is located within the Coastal Appeal Area. If the property is located outside the Coastal Appeal Area, the fee is a \$277 flat fee. If a fee is required, the appeal will not be considered complete if the fee is not paid. If the City decides in the appellant's favor then the fee will be refunded.

City Council decisions may also be appealed to the California Coastal Commission pursuant to the Coastal Act Section 30603 for those projects that are in their appeals jurisdiction. Exhaustion of appeals at the City is required prior to appealing the matter to the California Coastal Commission. The appeal to the City Council must be made to the City and the appeal to the California Coastal Commission must be made directly to the California Coastal Commission Office. These regulations provide the California Coastal Commission 10 working days following the expiration of the City appeal period to appeal the decision. This means that no construction permit shall be issued until both the City and Coastal Commission appeal period have expired without an appeal being filed. The Coastal Commission's Santa Cruz Office at (831) 427-4863 may be contacted for further information on appeal procedures.

In compliance with the Americans with Disabilities Act, if you need special assistance to participate in this meeting, please contact the Community Development Department at (805) 772-6264. Notification 24 hours prior to the meeting will enable the City to make reasonable arrangements to ensure accessibility to this meeting.



City of Morro Bay  
 Community Development Department  
 Current & Advanced Project Tracking Sheet

This tracking sheet shows the status of the work being processed by the Planning & Building Divisions

New Planning items or items recently updated are highlighted in yellow.

Approved projects are deleted on next version of log.

Agenda No: A-1

Meeting Date May 21, 2019

#	Applicant/ Property Owner	Project Address	Date	Permit Numbers	Project Description/Status	Planning Comments and Notations	Building/Fire Comments and Notations	Engineering Comments and Notations	Harbor/Admin Comments and Notations	Project Planner
<b>Hearing or Action Ready Projects:</b>										
1	Kenney	1130 Scott	9/7/18	CUP 18-06 and CDP 18-008 and PKG 18-01	<b>Conditional Use and Coastal Development permits for 1416 sf commercial garage/shop with 2200 sf caretaker's unit. Parking exception for increased driveway width for small lots</b>	Incomplete letter sent 10/23. Resubmittal received 1/23/19, under review. Disapproval letter sent 2/25/19. Resubmittal March 12, 2019. Deemed complete 3/28/19, however applicant is redesigning and will resubmit revised plans. April 16, 2019 applicant informally submitted a revised design, comment letter returned on April 25, 2019, waiting for applicant decision on moving project forward. Schedule for Planning Commission on June 4, 2019.				nh
2	Bradley	962 Piney	4/3/19		<b>Sign Exception Permit to allow two monument signs where one is the maximum</b>	Incomplete letter sent 4/16/19. Resubmittal 4/29/19. Scheduled for Planning Commission 5/21/19.				wu
4	Griggs	495 Atascadero Ave	2/25/19	CUP19-03 / CDP19-006	<b>Coastal Development Permit and Conditional use permit to approve as-built shed on RV park site.</b>	Under review. Additional information requested 3/14/19. Project deemed complete 3-28-19, scheduled for PC hearing on May 21, 2019				nh
5	Martinez	978 Quintana	3/6/19	MIN19-003	<b>Minor amendment to 2006 CUP/CDP approval for commercial complex</b>	Submittal is under review. Deemed incomplete 3/29/19. Resubmittal received, deemed complete. Preparing for public notice (May 7-17) for administrative decision May 18, 2019. 5/13/19 - Applicant has withdrawn their application.				nh
6	Hobab	982 Carmel	9/19/18	CDP 18-010/MUP 18-04/PKG 18-03	<b>Coastal Development, Minor Use, and Parking Exception for the construction of an Accessory Dwelling Unit</b>	Incomplete letter sent 10/17. Resubmittal rcv'd 11/27. Application deemed incomplete 12-21-18. Applicant to resubmit on or before April 3, 2019. Resubmittal received 3-21-19, under review. Deemed Complete and scheduled for Planning Commission June 4, 2019				nh
8	Wilson	1141 Main Street	1/31/19	CUP19-02	<b>Proposed Change in use; partial commercial retail &amp; partial apartment</b>	Deemed incomplete 3/1/19. Project requires CUP and CDP with Parking Exception, need resubmittal for additional planning permits. Resubmitted March 28, 2019, under review. Project deemed complete 4-16-19 and is scheduled for Planning Commission June 18, 2019 (date requested by applicant)				nh
<b>30 -Day Review, Incomplete or Additional Submittal Review Projects:</b>										
9	Moss Lane Ventures, LLC	839 Morro Bay Blvd	5/6/19	CUP19-04/CDP 19-013	<b>Demo existing carwash, construct new 600 sf single sided drive up coffee shop.</b>	Application received 5-6-19 and is under review.				nh

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10	Ranat	2598 Main	2/19/19	VAR 19-001	<b>Variance request to allow approval of an as-built bathroom partially within the site yard setback.</b>	Submittal is under review. Deemed incomplete 2/4/19. Applicant considering alternative to resolve issues. Resubmittal received April 25, 2019 and is under review.				nh
11	Naran	2172 Main St	4/23/19	MUP19-03	<b>Request for approval for short term rental for residential apartment in MCR/R-4 zone</b>	Submittal is under review				nh
12	Ryan	1170 Marengo	2/26/19	LLA19-001	<b>Lot line adjustment to reconfigure 3 5000 sf residential lots into 2 larger residential lots.</b>	Submittal is under review. Project deemed incomplete 3-21-19. Requires resubmittal . April 18 project deemed incomplete. Resubmittal requires an application for a Lot Merger to be process together with the LLA.				nh
13	Garcia	532 Kings Ave	2/22/19	CDP19-005	<b>New SFR, 2474 sf of living space, 528 sf garage and 190 sf decking with shared driveway</b>	Submittal is under review. Planning deemed incomplete 3/15/19				nh
12	Eisemann	535 Atascadero Road	3/7/19	PAR19-01	<b>Final Parcel map</b>	Submittal is under review. Planning disapproved 3/14/19				nh
14	Brebes	493 Oahu	1/16/19	CDP19-002	<b>Admin. CDP for conversion of existing interior space to create a 561sf accessory dwelling unit.</b>	Incomplete letter sent 2/1/19. Resubmittal 4/19/19. Set for noticing 5/17/19.				wu
15	Najarian	1339 Berwick	11/30/18	CDP 18-014	<b>Admin CDP for new construction of SFR and ADU with attached garage</b>	Application deemed incomplete, comments sent to applicant on 12/27/18.				nh
16	Auerbach	3200 Beachcomber	3/29/19	CDP19-008	Regular CDP for drainage ditch bank stabilization project	Application deemed incomplete, comments sent to applicant on 4/25/19.				nh
17	Kenney	1130 Scott	9/7/18	CUP 18-06 and CDP 18-008 and PKG 18-01	<b>Conditional Use and Coastal Developmetn permits for 1416 sf commercial garage/shop with 2200 sf caretaker's unit. Parking exception for increased driveway width for small lots</b>	Incomplete letter sent 10/23. Resubmittal received 1/23/19, under review. Disapproval letter sent 2/25/19. Resubmittal March 12, 2019. Deemed complete 3/28/19, however applicant is redesigning and will resubmit revised plans. April 16, 2019 applicant informally submitted a revised design, comment letter returned on April 25, 2019, waiting for applicant decision on moving project forward. Schedule for Planning Commission on June 4, 2019.				nh
18	Henry	411 Trinidad	7/5/18	CP0-584	<b>CDP for construction of a new single-family residence on a vacant lot</b>	Under Intial Review. Correction letter sent 7/16/18. Additional review and correspondence with owners on March 7, 2019. Waiting for resubmittal		PN- conditionally Approved 7/19/2018		nh
19	Fields	731 Butte	6/14/18	CP0-582/UP0-534	<b>CDP and CUP for Multi-Family residences. A 1,500 sq. ft. manufactured residence, a 448 sq. ft. studio unit above a 441 sq. ft. garage with an attached 220 sq. ft. carport</b>	Under Initial Review. Correction letter sent 7/11/18. Resubmitted 10/22/18. Correction Letter sent 11/14				nh

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20	Patel	233 Atascadero	6/13/18	CP0-581/UP0-533	<b>CDP and CUP for New 83 room hotel on vacant 2 acre lot</b>	Under Initial Review. Incomplete letter sent 7/13/18. Resubmitted 9/11/18. Comment letter sent 10/19/18. Environmental review required. Cj. Met with Applicant's Agents 11-8-18 to review flood plain and height requirements. Project currently overheight and does not meet parking requirements. Story poles erected on 1/3/19 and scheduled for Conceptual Review by PC to evaluate height, parking, and findings of significant public benefit as allowed under the Planned Development (PD) overlay zone. PC comments provided to Applicant after 1-15-19 meeting. Applicant considering project revisions. Environmental review in progress.				cj
21	Held	205-215 Harbor St	5/4/18	CP0-578/ UP0-527	<b>Coastal Development Permit &amp; Conditional Use Permit for New construction of new 30 unit hotel, Merge existing 6 lots</b>	Under initial review. Incomplete letter sent 6/4/18. Resubmittal received 7/3/18. Additional comments sent to Applicant's Agent 8/3/18, and 8/22/18. Proposals received for environmental review. Reimbursement agreement sent to applicant for environmental review on 10/15/18. Awaiting resubmittal.		PN- Conditionally Approved 7/17/2018		cj
22	Wood	361 Main	4/6/18	AD0-134 / UP0-526	<b>Conditional Use Permit and Parking Exception for Addition to existing residence; 2nd floor addition 386 sq. ft.; 2nd floor deck 329 sq. ft. with variance AD0-134</b>	Under Initial Review. Correction letter sent 5/1. Applicant notified 1-4-19 that Project requires a CUP and CDP, needs new application, fees and resubmittal for processing. Project resubmitted 4-29-19, under review.				nh
23	T-Mobile	1478 Quintana	2/26/18	A00-056	<b>Modification to UP0-052/CP0-073 for upgrade to existing wireless site</b>	Under initial review. Correction Letter sent 3/30. Unauthorized work completed by owner. Spoke with the agent 11/5 about process moving forward. Spoke with agent again 2/7. Resubmittal 2/26. Correction letter sent 3/13. Awaiting resubmittal.		JW approved		wu
24	Morgan	101 Fig St.	4/12/17	UP0-476	<b>Conceptual Review of New SFR with accessory unit. Existing historical structure on lower level.</b>	PC Conceptual Review 5/16/17. Applicant evaluating whether to pursue project. Project Inactive as of 10/2018		PN-Conditionally approved 5/11/17		nh
25	Kurz	2720 Elm Ave.	5/3/19	CDP19-012	<b>New detached ADU</b>	Set for noticing 5/17/19.				wu
26	Scott	2940 Hemlock Ave.	4/19/19	MIN19-004	<b>Minor modification to existing GDP to allow minor design changes and an increase in building height</b>	Correspondence with Applicant via phone and email. Noticing began 5/14/19.				wu
27	Gambriel	405 Atascadero Rd.	5/13/15	CP0-475 / UP0-417	<b>New construction of 10,000sf commercial retail on vacant lot</b>	WM. Under review. Will need Arch and Traffic reports. Resubmittal received 8/11/15. Incomplete letter sent 9/4/15. Resubmitted 2/13/18. Under Review. Incomplete letter sent 3/13/18. Resubmittal received 3/26/18. Under Review. RFP for environmental consultant concluded. Consultant selected, preparing contract documentation. Consultant engaged and has begun work on initial study. Draft MND in staff review. Applicant reviewing site work changes to minimize site disturbance. Application withdrawn.		PN-Conditionally Approved 2/28/2018		nh

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<b>Projects Appealed to Planning Commission or PC Continued projects:</b>										
28	State Parks - Mike Walgren	11 State Park Road	8/20/18	CDP 18-004, CUP18-04	<b>Coastal Development Permit &amp; Conditional Use Permit to install modular building for office space, parking and landscape improvements at Morro Bay State Park</b>	Submitted on 8-20-18. Deemed incomplete 9.10.18. Applicant to resubmit plans. Plans resubmitted with additional information on 10-26-18. Project deemed complete. Scheduled for PC on December 18, 2018. Continued to date uncertain by PC on 12/18/18. Applicant to provide additional information.		PN- Approved 9/4/2018		nh
29	City of Morro Bay	End of Nutmeg	1/18/12	UP0-344	<b>Environmental documents for Nutmeg Tanks.</b> Permit number for tracking purposes only County issuing permit. Demo existing and replace with two larger reservoirs. City handling environmental review	KW--Environmental contracted out to SWCA estimated to be complete on 4/27/2012. SWCA submitted draft I.S. to City on May 1, 2012. MR-Reviewed MND and met with SWCA to make corrections. In contact with County Environmental Division for their review. MND received by SWCA on 10/7/12. MND out for public notice and 30 day review as of 11/19/12. 30 day review ends on 12/25/12. No comments received. Scheduled for 1/16/13 Planning Commission meeting and then to be referred back to SLO County. Planning Commission continued this item to address concerns regarding traffic generated from the removal of soil. In applicant's court, they are addressing issues brought up by neighbors during initial P.C. meeting. Project has been redesigned and will be going forward with concrete tanks. Modifications to the MND are in process. Neighborhood meeting conducted with Engineering on 9/27/2013. Revising project description and MND.	No review performed.	BCR- Needs new MND for concrete tank, less truck trips. Neighborhood mtg held 9/27. Neighbors generally support new design that reduces truck trips by 80%. Concrete batch plant set up on site will further reduce impact. 5/5/14 - Cannon contract signed to finish permit phase. Construction will be delayed to FY15/16		cj
<b>Projects Appealed or Forwarded to City Council:</b>										
30	City of Morro Bay	Citywide	6/19/13	A00-015	<b>Sign Ordinance Update.</b> Text Amendment Modifying Section 17.68 "Signs"	Text Amendment Modifying Section 17.68 "Signs". Planning Commission reviewed 5/17/2010. Item heard at 5/24/11 City Council Meeting. Interim Urgency Ordinance approved to allow projecting signs. PC reviewed 2/7/2011. Workshops scheduled 9/29/11 & 10/6/11. City Council 12/13/11. Continued to 1/10/12 CC meeting. PC reviewed 5/2/2012. Update due to City Council in June 2013. Draft Sign Ordinance reviewed by PC on 6/19/13 & 7/3/13. PC has reviewed Downtown, Embarcadero, and Quintana Districts as well as the Tourist-Oriented Directional Sign Plan. 8/21/13 Final Draft of Sign Ordinance approved at 9/4/13 PC meeting with recommendation to forward to City Council. Council directed staff to do further research with local businesses. Business workshops held fall/winter 13/14. Result of sign workshops discussed at 11-3-15 PC mtg. Revised Public Draft of Sign Ordinance posted to City website on July 6, 2017	No review performed.	N/R		sg
<b>Environmental Review</b>										

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31	City of Morro Bay	N/A		UP0-423	<b>MND for Chorro Creek Stream Gauges</b>	Applicant requesting meeting for week of 9/9/13. SWCA performing the environmental review. Received completed MND from Water Systems Consulting (WSC) on 4/1/15. Routed to State Clearinghouse for required 30 day review period. Tentative hearing 8/4/15. No recent activity.	No review performed.	MND complete. Cut permit checks to RWQCB and CDFW on 2/27/15		cj
<b>Final Map Under Review Projects - No pending applications currently.</b>										
<b>Projects requiring coordination with another jurisdiction:</b>										
32	City of Morro Bay	Outfall			<b>Original jurisdiction CDP for the outfall and for the associated wells</b>	Coastal staff is working with staff. Coastal letter received 4/29/2013. Discussed project with Coastal staff in meeting 11-18-14.	No review performed.	City provided response to CCC on 7/12/13. Per Qtrly Conference Call CCC will take 30days to respond		
33	City of Morro Bay Desal Plant	170 Atascadero			<b>Project requires a Coastal Development Permit for upgrades at the Plant. Final action taken Sent to CCC but pursuant to their request the City has rescinded the action.</b>	Waiting for outcome from the CDP application for the outfall. Discussed project with Coastal staff in meeting 11-18-14.	No review performed.	BCR- Phase 1 Maint and Repair project is underway. Desal plant start-up scheduled for 10/15/13. Phase 1 complete and finalized. Phase 2 on hold as of 7/22/14.		
<b>Projects going forward to Coastal Commission for review (Pending LCP Amendments) / or State Department of Housing:</b>										
34	City of Morro Bay	Citywide			<b>Plan Morro Bay: General Plan / Local Coastal Program / Zoning Code Update project</b>	Comprehensive overall update to the City's 1988 General Plan, 1984 Local Coastal Program, and 1997 Zoning Code. General Plan Advisory Committee meetings ongoing. For more information or to get involved, visit <a href="http://www.morrobayca.gov/planmb">www.morrobayca.gov/planmb</a> . Project to be complete with documents ready for adoption and certification by end of 2018. Public draft of combined General Plan/ LCP released May 2018 for review.				

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35	City of Morro Bay	Citywide	10/16/13	A00-013. A00-029: Ordinance 601	<b>Zoning Text Amendment - Second Unit</b>	Secondary Unit Ordinance Amendment. Ordinance 576 passed by City Council in 2012. 6-11-13 City Council direction to staff to bring back to Planning Commission for review of ordinance. At 10-16-13 PC meeting, Commission recommended changes to maximum unit size and tandem parking design where units over 900 sf and/or tandem parking design of second unit triggers a CUP process. Council accepted PC recommendation at 2-11-14 meeting and directed staff to bring back revised ordinance for a first reading and introduction. Item continued to 4/22/14 Council meeting to allow time for Coastal staff comment regarding proposed changes. Council approved into and First Reading on 4/22/14. Final Adoption of Ord. 585 at 5/13/14 Council meeting. Ordinance to be sent as an LCP Amendment for certification by Coastal Commission. <b>New language for PC and Council review. Second reading going to council on April 12, 2016. PC reviewed change 5-3-16. CC second First Reading 6-28-16.. Application submitted to Coastal Commission August 2016. Coastal objected to ban on use as vacation rentals. New State legislation will force additional changes.</b>	No review performed.			wm
<b>Projects Continued Indefinitely, No Response to Date on Incomplete Letter or inactive:</b>										
36	Verizon / Knight	184 Main new location, Corner of Main and Cabrillo	11/19/14	UP0-394 and CP0-512	<b>Coastal Development Permit and Conditional Use Permit for installation of new Wireless Facility/Verizon antennas on existing pole.</b>	Under Review. JG. Incomplete. Waiting on response from Tricia Knight. Wants to keep project open and figure out the parking situation or move location. 1/26. JG. Applicant looking to move location to pole across the street. resubmittal rcv'd 5/26. Deemed Complete, waiting for Applicant to confirm PC meeting date. PC hearing held on 9/6/16 and continued for further review to 11-1-16 PC hearing. Continuance requested. Continued to a date uncertain		PN- Conditionally approved 6/14/16		jg
<b>Grants</b>										
37	California Coastal Commission, California Ocean Protection Council	City-wide	4/6/16		<b>\$400,000 Grant for LCP update to address sea-level rise and climate change impacts. Round 3 Grant award of \$200,000 for Lateral Access Plan, and ESHA delineation.</b>	Grant agreements for both the grants are in place and grant administration has been turned over to Michael Baker International, per terms of the GP/LCP update contract. Received signed grant agreement for \$200,000 LCP Planning grant by CCC for Round 3 awards 2-27-17.	No review performed.	N/A		sg
38	City of Morro Bay	City-wide			<b>Community Development Block Grant/HOME Program - Urban County Consortium</b>	Staff has ongoing responsibilities for contract management in coordination with County staff administration. Final 2016 funding recommendations reviewed by Council on 3-8-16. 2016 Subrecipient Agreement executed and Council approved 2018-2020 Cooperation Agreement with County on 6-13-17.	No review performed.	N/R		cj
39	City of Morro Bay	City-wide			<b>Climate Action Plan - Implementation</b>	Staff has ongoing responsibilities for implementation of Climate Action Plan as adopted by City Council January 2014. Staff coordinating activities with other Cities and County of SLO via APCD.				cj

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<b>Projects in Building Plan Check:</b>										
1	AJ Wright and Phil Davis	2996	Alder	9/28/18	B18-0033	New 3 story 3-unit apartment building, 2 story housing over ground level garage	Submitted 9-28-18. Not approved, comments sent on 10-11-18. Resubmitted March 6, 2019, under review. Planning disapproved submittal 3/19/19.	Bldg - Disapproved on 4/8/19		nh
2	Guesno	220	Atascadero Rd.	11/26/18	B18-0085	Commercial Alteration- parking lot reconfig, kitchen remod, install non bearing walls, add 2 restrms.	Submitted 11-26-18. Planning disapproved submittal 12/14/18.	BLDG - Disapproved 12/27/18		nh
3	Carter	2035	Bayview Ave	4/30/19	B19-0082	Demolish a 920 sf SFR and 303 sf detached garage. This is a Demo/reconstruct that is being submitted seperately, new SFR plans to follow	Approved 5/9/19 - wu			wu
4	Kudla	399	Beach	9/13/18	B18-0021	Commercial tenant improvement to Hungry Fisherman. Remodel, correct plumbing in bathroom and kitchen		Ready to issue		
5	LaPlante	3093	Beachcomber	4/24/17	B-31487	New SFR: 3,495sf w/ 500 sf garage on vacant land. No activity on this project. Remains in plan check.	Approved 8-9-18. cj.	Ready to issue	PN - Approved 6/21/2018	Emailed comments on 10-20-17.
6	Thayer	458	Bernardo Ave	4/17/19	B19-0070	Demo 1072 sf SFR and 460 sf garage and construct new single story SFR & detached garage - 1295 sf living, 462 sf garage, and 280 sf covered porch. Also 214 sf detached ADU (See B19-0071 for ADU permit).	Approved by planning 4/18/19.	Bldg - Plancheck		wu
7	Thayer	458-A	Bernardo Ave	4/17/19	B19-0071	New detached 214 sf ADU at rear of property.	Approved by planning 4/18/19.	Plancheck		wu
8	Borchard	508	Blanca	9/5/18	B18-0015	New Single Family Residence-1800sq. Ft living, 453 sf garage + 364 decking	Approved by planning 10-4-18	Bldg - Disapproved on 9/20/18.		nh
9	Hobab	982-A	Carmel St.	3/22/19	B19-0049	409 sf attached ADU and 137 sf addition at rear of existing SFR. 112 sf second story deck at front of SFR, and new front door at entry.	No planning review before approval of CUP and Parking Exception - See CUP18-07 and PKG18-03.	Bldg - Disapproved 4/17/19		nh
10	Lew	660	Elena	5/6/19	B19-0085	Demo existing non-conditioned laundry area and reconstruct as conditioned habitable area adding an additional 62 sf. Also, remodeling interior, and adding 54 sf to second level increasing existing	Under review			
12	Redican	725	Embarcadero	11/29/18	B18-0086	Remodel existing two story commercial building, creating a 10 room hotel on upper floor with lobby on lower floor (adding 837 sf). Also repair/extension of the existing Harborwalk	Corrections sent 1-3-19. Resubmittal under review. Cj.	Bldg - 3/27/19		
13	Branch	885	Embarcadero	3/12/19	B19-0043	Addendum #1 to B18-0043 - Minor framing alterations (interior), confirm slopes per ADA requirements, and install siding at west elevation (previously stone).	Plng approved - cj.	Bldg - Disapproved 4/16/19		cj

#	Applicant/ Property Owner	Project Address		Date	Permit Numbers	Project Description/Status	Planning Comments and Notations	Building/Fire Comments and Notations	Engineering Comments and Notations	Harbor/Admin Comments and Notations	Project Planner
14	Fowler	1215	Embarcadero	12/27/18	B18-0113	Tenant Improvement to new retail/office space in commercial bldg. T.I. will be completed during construction of new building. Business is Oyster depuration/ wet storage facility with retail sales and food facility (oyster bar).	Plng disapproved 1-14-19 - cj	Bldg - Disapproved on 2/4/19 Fire - Apporved on 2/5/19	Approved by pn on 1/17/19		cj
15	Mathias	2515 & 2525	Greenwood	2/16/18	B-31888	New SFR with ADU- 1384 sq. ft. living, 405 sq. ft. garage, 126 sf porch	Conditionally approved 2/27/18. Need COA attached to plan set	BLDG -Approved by co 1-2-19. mf	PN- Disapproved per memo dated 3/5/18		cg
16	Krull	2575	Greenwood	4/25/19	B19-0076	Remove existing non-conforming 261 sf shed, convert existing attached two-car garage into an accessory dwelling unit (ADU).	Planning approved 5/2/19.	Bldg - Plancheck			wu
17	Hoefner	125	Hatteras	4/11/19	B19-0065	SF Addition - 316 sf addition to existing SFR, 194 sf addition to existing attached garage, reduce size of entry porch to 22 sf (from 91 sf). Replace deck boards with composite decking on existing rear deck.		Bldg - Disapproved on 4/17/19			nh
18	Scott	2940	Hemlock	8/28/18	B18-0006	New Single Family Residence-1626sq. Ft living, 462 sf garage +500 decking	Disapproved 9/18/18. Resubmittal received 12/21/18. Under review. Disapproved 1/14/19. Awaiting resubmittal. Minor amendment to CDP under review.	Approved by co 1-7-19.			wu
19	Scott	2940-A	Hemlock	8/29/18	B18-0008	235 sq. ft attached ADU	Disapproved 9/18/18. Resubmittal received 12/21/18. Under review. Disapproved 1/14/19. Awaiting resubmittal. Minor amendment to CDP under review.	Approved by co 1/17/2019			wu
20	Gelman	2784	Indigo Circle	5/15/18	B - 32002	New SFR 2110 sq. ft., 663 sq. ft. garage, 275 sq. ft. patio	Approved 6/6/18	Ready to issue			
21	Truran	498	Island	5/7/19	B19-0093	Foundation Repair					
22	Bariel	491	Jamaica	4/25/19	B19-0080	Demo remnants of 1560 sf SFR after loss from fire. Includes removal of the foundation. Approved as Demo/Reconstruct, submitting separately for express approval to start demo, house plans to follow.	Under review.	Bldg - Approved on 4/26/19			wu
23	Barbis	440	Kings	4/4/19	B19-0059	Demo existing 204 sf detached garage and construct new 441 sf detached garage at rear of property	Planning disapproved 4/17/19. Resubmittal 5/3/19. Planning approved 5/10/19.	Bldg - Disapproved on 4/15/19			wu
24	Smothers	570	Kings	2/5/19	B19-0019	Demo 988sfSFR, build 1000sf SFR	Disapproved 2/19/19.	Bldg - Disapproved 2/20/19			wu
25	Smothers	570-a	Kings Ave.	2/7/19	B19-0021	Add attached 430sq. Ft ADU	Disapproved 2/19/19.				wu
26	Linker	594	Kings Ave.	4/16/19	B19-0068	New two story SFR - 2996 sf living, 491 sf attached garage, 304 sf deck at front and 85 sf deck at rear.		Bldg - Ready to issue			nh

#	Applicant/ Property Owner	Project Address		Date	Permit Numbers	Project Description/Status	Planning Comments and Notations	Building/Fire Comments and Notations	Engineering Comments and Notations	Harbor/Admin Comments and Notations	Project Planner
27	Hilton -Limited Partnership	430-A	LA Jolla	1/24/19	B19-0013	Enclose interior stairs to create ADU. Add closet on upper level, new french doors, new exterior door and new kitchen on lower level.	Planning approval 2/4/19.	BLDG- Disapproved by co on 1/30/19.			wu
28	Richardson	441	LA Jolla	3/8/19	B19-0040	Kitchen, bathroom and laundry room remodel in existing dwelling.	Submittal under review. Approved 3/19/19	Bldg - Disapproved 3/15/19			nh
29	Rogers	1127-A	Las Tunas	1/9/19	B19-0002	Demo garage and replace w/473 sq. ft ADU	Disapproved 2/4/19. Resubmittal 3/5/19. Disapproved 3/21/19. Resubmittal 4/3 Under review. Approved 4/10/19.	BLDG- Disapproved by co on 1/31/2019			wu
30	Vogal	948	Marina	9/5/18	B18-0014	Addition / construct new 400sf gargage demo & replaced existing driveway.	Correction letter sent 10/15.	Bldg - Disapproved 9/20/18			yg
31	Henderson	958	Marina	10/18/17	B-31732	Replace interior finish, repair & reinforce existing structure & replace electrical mechan.& plumbing systems on 2ndary unit	Under review Disapproved by rr on 11-1-17. Project requires planning entitlements.	Ready to issue	Approved by jb on 10-23-17.		
32	Verma	316-A	Main St.	3/22/49	B19-0051	Construct 724 sf ADU (attached addition) creating new upper level above existing SFR. Add 121 sf bathroom on main level and install elevator in existing garage.	Conditionally approved 4/23/19.	Bldg - Disapproved 4/22/19			nh
33	Peter	890	Main St.	2/13/19	B19-0026	ADA and parking lot improvements. ADA stall to be relocated closer to street and make van accessible.	Approved on 3/1/19 - sg	Bldg - Approved 2/27/19 Fire - Approved 2/26/19	Disapproved on 3/14/19		
34	Dillon	1387	Main St.	4/25/19	B19-0079	Interior repairs to the Seabird room, in the Pacific Wildlife Care Clinic Building. Remove & replace plywood subfloor, spray foam insulation under floor, waterproof coating over new floors, replace floor drains, electrical, replace radiant wall heaters.		Bldg - Plancheck			sg
35	Sonic	1840	Main	10/17/17	B-31730	Sonic Drive-in Restaurant, 1395 sf building, 1020 sf covered patio, 2646 sf covered parking	Corrections sent 12-8-17. Resubmitted 3-2-18. Application incomplete and corrections sent 4-5-18. Resubmittal received and unaddressed corrections sent back 7-19-18. Project required to underground utilities. Utility plan and coordination with public utilities in process. cj.	BLDG - Disapproved by California Code Check (contract building inspection services (see memo) on 7-23-18. PB	Disapproved by jb on 11-21-17.	1-2-18 - Emailed BLDG (code ck) comments to architect. PB	
36	Kaishar	2460	Main	8/2/18	B32117	Comm. Alteration Remove Wall and expand lobby.		BLDG - Emailed comments to owner 12-28-18			nh
37	Birch	565	Mimosa	4/24/19	B19-0075	Installation of 13x27 foot Absolute Steel detached RV carport structure	Under review. Disapproved 5/2/19	Bldg - Plancheck			nh
38	Ogle	770	Morro Bay Blvd	12/17/18	B18-0102	Remove & replace 4,307 sf roof, remove and reconstruct a 541 sf vaulted roof, add three (3) new skylights, and replace existing skylights with dual glazed tempered glass skylights.	Approved on 12/26/18 - sg	Bldg - Approved 4/22/19- co Fire - approved 1/16/19 - mv	Disapproved by he on 12/26/18.		
39	Najarian	479	Nevis St.	3/22/19	B19-0050	New two story SFR, 1686 sf living, 507 sf garage, and 192 sf decking.	Disapproved 4/9. Awaiting resubmittal.	Bldg - Disapproved 4/15/19			wu
40	Jerkovich	2584	Nutmeg	4/25/19	B19-0077	Installation of stairs and concrete planters at front of lot. (Partially in ROW, will require an encroachment permit).	Under review.		Bldg - Plancheck		wu

#	Applicant/ Property Owner	Project Address		Date	Permit Numbers	Project Description/Status	Planning Comments and Notations	Building/Fire Comments and Notations	Engineering Comments and Notations	Harbor/Admin Comments and Notations	Project Planner
41	Erb	2630	Nutmeg	2/14/19	B19-0029	Demo 195 sf third story deck at front of home and rebuild with 80 sf extension to allow for deck beam and column support. Remove 152 sf deck on south side of home, misc. construction to repair water damage.	Dissapproved 3/6/19. Disapproved 4/9.	Bldg - Approved 3/27/19			wu
42	Freisen	196	Panay St.	3/15/19	B19-0045	Additional 1000 sf to SFR	Disapproved 4/3/19. Awaiting resubmittal.	Bldg - Disapproved 4/10/19			wu
43	Morro94 LP	3300	Panorama	2/11/19	B19-0023	Additional scope to remove small sheds and fire hydrants	Work was done without a permit. Post demo conditions applied. Project appealed - see MIN19-001.	Bldg - Disapproved 2/11/19			nh
44	Lewis	290	Piney Ln.	9/26/18	B32-151	Addendum - Adding stucco finish in lieu of ledgestone		Ready to issue			
45	Osborne	450	Piney Way	3/22/19	B-32176	Addendum to: B00-031-905 - Install elevator where approved plans only show the elevator shaft for a future elevator.	Planning approval 3/26	BLDG - Approved 3/13/19			wu
46	Johnson	128	Rennell	3/8/19	B9-0041	Demo existing home, build new SFR 1344 sf living space and 456 sf garage with covered front porch and roof top deck.	Submittal under review. Planning conditionally approved on 3/14/19	Bldg - Disapproved 4/22/19			nh
47	ABS-CA-O, LLC	730	Qintana Rd.	10/22/18	B18-0055	Remove & replace parking lot light poles and light fixtures on existing concrete bases. This permit includes 6 parcels in the Cypress Plaza, (600-780 Quintana Rd).		Ready to issue			
48	Erlendson	299-A	Sienna St.	1/22/19	B19-0005	Convert Garage to 435 sq. Ft. ADU	Planning approval 2/4/19	BLDG- Approve 4/15/19			nh
49	Coogan	175	Tahiti St.	3/21/19	B19-0048	Reconfigure existing floor plan & garage. Reduce 29 sf of garage and add to SFR.	Submittal under review. Approved 4/4.	Bldg -Disapproved 3/27/19			wu
50	Kenney	321	Trinidad	10/25/18	B18-0058	362 sf single story addition to existing SFR	Resubmittal disapproved 3/21/19. Awaiting resubmittal.	Bldg - Resubmittal approved 3/21/19	Resubmittal disapproved 3/21/19		wu
51	Stanton	351	Trinidad	3/26/19	B19-0054	Repairs to existing 200 sf rooftop deck. Replace all dry-rot structural members, install new waterproof membrane,, new copper drip edge flashing, replace plaster, replace guardrail if needed.	Disapproved 4/11/19. Awaiting resubmittal.	Bldg - Approved 3/27/19			wu
<b>Planning Projects &amp; Permits with Final Action:</b>											
1	U.S. Coast Guard	1279 Embarcadero		12/17/18	CUP18-10	<b>Conditional Use Permit for 800sf addition to existing US Coast Guard Station</b>	Incomplete letter sent 1/17/19. Resubmittal on 2/19/19. Project under review. PC reviewed on 4-16-19 and forwarded favorable recommendation to City Council. City Council approved 5-14-19.				cj
2	Patel	2790 Indigo		1/31/19	CDP19-004 and CUP19-01	<b>CDP / CUP for new 2,424 SFR, 420 sf garage</b>	Under review. Incomplete letter sent 2/19/19. Resubmittal 3/6 currently under review. Correction letter sent 3/27. Resubmittal 4/8. Scheduled for PC May 7, 2019.				wu
3	Tench	1001 Front St.		3/15/19	MUP19-02	Annual Waterfront Market	Submittal is under review. Deemed complete and noticing begins 4/30/19.				wu

#	Applicant/ Property Owner	Project Address	Date	Permit Numbers	Project Description/Status	Planning Comments and Notations	Building/Fire Comments and Notations	Engineering Comments and Notations	Harbor/Admin Comments and Notations	Project Planner
4	Morro94, LLC and Rhine, L.P.	3300 Panorama	2/24/19	MIN19-001	<b>Minor modification of existing permit to remove small sheds and fire hydrants from the site.</b>	Administratively reviewed, noticed and approved. Permit issued on 2/14/19. Project appealed to PC on 2/24/19. Pending hearing date - Appellant and applicant agreed to PC hearing date of May 7, 2019. PC upheld the Appeal related only to the cancellation of the existing MIN19-001 permit.				nh



AGENDA NO: A-2

MEETING DATE: May 21, 2019

## Staff Report

**TO:** Planning Commissioners

**DATE:** May 14, 2019

**FROM:** Nancy Hubbard, Contract Planner

**SUBJECT:** Revised Resolution to Uphold Appeal of a Minor Modification (MIN19-001) to existing CPO-500 and UPO-440 to remove 3 small sheds and 3 fire hydrants from the property located at 3300 Panorama. One shed, and fire hydrant are in the ESH Buffer area. The site is zoned R-1/PD. A portion of the project is located within the Coastal Commission appeals jurisdiction.

**RECOMMENDATION:**

*Approve Planning Commission Resolution 08-19 that upholds the Appeal of MIN19-001 withdrawing the MIN19-001 permit approval and requiring the Applicant submit for a Major Modification to the existing CUP/CDP to memorialize the work completed.*

**APPELLANTS:** Carole Truesdale, Kristen Headland and Dan Sedley

**APPLICANTS:** Rhine LP and Morro94, LLC

**LEGAL DESCRIPTION/APN:** 065-038-001

**SUMMARY:**

On May 7, 2019, Planning Commission upheld the Appeal of an Administrative approval of a Minor Modification (MIN19-001) to an existing permit (CPO-500 and UPO-440) that was granted on February 14, 2019 which included several conditions of approval and pre-requisite requirements for the removal of the 3 small sheds and 3 fire hydrants. A resolution had not been prepared at the time of the decision to reflect the Planning Commission's action.

**EXHIBITS:**

Exhibit A – Planning Commission Resolution 08-19

RESOLUTION NO. PC 08-19

A RESOLUTION OF THE MORRO BAY PLANNING COMMISSION  
UPHOLDING THE APPEAL  
OF MINOR MODIFICATION (MIN19-001) OF UPO-440 AND CPO-500  
PERMITS ALLOWING REMOVAL OF SHEDS, FIRE HYDRANTS AND  
RELATED TERMINATION OF WATER LINES  
AT 3300 PANORAMA DRIVE

**WHEREAS**, Rhine LP and Morro94, LLC applied for a minor modification of the existing CPO-500 and UPO-440 permit on January 14, 2019 for removal of 3 small sheds, 3 fire hydrants, and termination of related waterlines; and

**WHEREAS**, the City of Morro Bay administratively approved the minor modification (MIN19-001) on February 14, 2019, following the end of the 10-day public notification period; and

**WHEREAS**, Carole Truesdale, Kristen Headland and Dan Sedley submitted an appeal of the City's approval of MIN19-001 on February 25, 2019 (Appeal); and

**WHEREAS**, the Planning Commission of the City of Morro Bay (the "City") conducted a public hearing at the Morro Bay Veteran's Hall, 209 Surf Street, Morro Bay, California, on May 7, 2019, for the purpose of considering the Appeal; and

**WHEREAS**, notice of the public hearing was provided at the time and in the manner required by law; and

**WHEREAS**, the Planning Commission has duly considered all evidence, including the testimony of the appellant, applicant, interested parties, and the evaluation and recommendations by staff, presented at said hearing.

**NOW, THEREFORE, BE IT RESOLVED** by the Planning Commission of the City of Morro Bay as follows:

**Section 1: Findings.** Based upon all the evidence, the Commission makes the following findings:

A. The fire hydrant removal, which was part of the scope of MIN19-001, was performed several months prior to the approval of MIN19-001 and was therefore performed without a valid permit.

B. Morro Bay Municipal Code section 17.58.090 states that decisions on coastal development permits do not become effective until after the 10-day appeal period has passed and that the effective date of a permit is suspended if an appeal is filed. Because an appeal was filed regarding the approval of MIN19-001 within the 10-day appeal period, MIN19-001 has not yet become effective.

Nonetheless, applicant has already removed the sheds from the site. As with the fire hydrant removal, this work was performed without a valid permit.

C. MIN19-001 was properly issued by the Director and was consistent with the originally approved permit considering the information submitted in the minor modification application and in light of Condition of Approval No. 3 of Resolution No. PC 15-18, which states that “Minor changes to the project description and/or conditions of approval shall be subject to review and approval by the Community Development Director.”

D. However, the Commission finds that, unbeknownst to the City, information submitted in the minor modification application was incomplete insofar as it did not indicate that some of the proposed work had already been performed. Moreover, since the applicant performed all of the proposed work without valid permits, approval of the modification may require additional environmental review and additional conditions of approval not included in MIN19-001.

E. In light of findings (A) through (D), the scope of the requested modification is not properly categorized as a “minor change” and therefore an administrative Minor Modification permit is not the appropriate vehicle for consideration of the additional scope of work.

**Section 2: Action.** The Planning Commission does hereby uphold the appeal of MIN19-001 for the property located at 3300 Panorama Drive and revokes MIN19-001 effective immediately. Pursuant to Condition of Approval No. 3 of Resolution No. PC 15-18, and Morro Bay Municipal Code section 17.58.120, the Planning Commission recommends that the applicant should reapply to the Planning Commission for an amendment to the existing CUP/CDP for the work completed without a valid permit within 30 days from the date of action on this Resolution.

PASSED AND ADOPTED by the Morro Bay Planning Commission at a regular meeting thereof held on this 21st day of May 2019 on the following vote:

AYES:

NOES:

ABSENT:

ABSTAIN:

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Chairperson Gerald Luhr

ATTEST

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Scot Graham, Planning Secretary

The foregoing resolution was passed and adopted on this 21st day of May 2019.



COMMISSIONERS DISCLOSURE OF EX PARTE COMMUNICATIONS –  
Commissioner Ingraffia spoke to one of the ground keepers while looking at the property.

Hubbard presented the staff report.

The Commissioners presented their questions to staff.

Chairperson Luhr opened the Public Comment period.  
[https://youtu.be/DnbGQV\\_VxX0?t=6m50s](https://youtu.be/DnbGQV_VxX0?t=6m50s)

Terence Johnson, AM Sun Solar, stated he would be available for questions.

The Commissioners presented their questions to the applicant.

Chairperson Luhr closed the Public Comment period.  
[https://youtu.be/DnbGQV\\_VxX0?t=10m57s](https://youtu.be/DnbGQV_VxX0?t=10m57s)

The Commissioners presented their questions for staff.

Discussion between the Commissioners and staff.

**MOTION:** Commissioner Barron moved to adopt approved major modification MAJ19-002 to CUP09-90 and CDP13-90 to allow the proposed structure of a 197-foot-long solar carport. Vice-Chair Lucas seconded, and the motion passed 5-0.

- B-2 Case No.:** CUP18-10 (Concept/Precise Plan)  
**Site Location:** 1279 Embarcadero, Morro Bay, CA  
**Proposal:** Conditional Use Permit (Concept/Precise Plan) for 806sf addition to the US Coast Guard Station building located at 1279 Embarcadero. The addition will include berthing rooms for search and rescue crews and a laundry/wet room to support mission requirements. The proposed addition is sited on the parking area immediately east of the 3,057sf building which will result in impact to 5 parking spaces. The parcel is located within the C-F/PD zoning district and is within the Coastal Commission Original Jurisdiction.  
**CEQA Determination:** Categorically Exempt, Section 15301, Class 1.  
**Staff Recommendation:** Forward favorable recommendation to City Council.  
**Staff Contact:** Cindy Jacinth, Senior Planner, (805) 772-6577  
[https://youtu.be/DnbGQV\\_VxX0?t=14m20s](https://youtu.be/DnbGQV_VxX0?t=14m20s)

COMMISSIONERS DISCLOSURE OF EX PARTE COMMUNICATIONS –  
NONE

Jacinth presented the staff report.

Chairperson Luhr opened the Public Comment period.  
[https://youtu.be/DnbGQV\\_VxX0?t=24m47s](https://youtu.be/DnbGQV_VxX0?t=24m47s)

Lt. Commander, Jared England, USCG, made a brief statement about the project.

Mark Tognazzini, commercial fisherman and owner of Dockside and Dockside 2 stated he was in favor of the Coast Guard addition. Tognazzini also stated his concern regarding the construction staging areas and impacts to neighboring businesses.

The Commissioners presented their questions to the applicant.

The applicants answered the Commissioners questions.

Chairperson Luhr closed the Public Comment period.

[https://youtu.be/DnbGQV\\_VxX0?t=40m14s](https://youtu.be/DnbGQV_VxX0?t=40m14s)

Discussion between the Commissioners and staff.

Chairperson Luhr opened the Public Comment period.

[https://youtu.be/DnbGQV\\_VxX0?t=1h2m14s](https://youtu.be/DnbGQV_VxX0?t=1h2m14s)

England responded to the Commissioners questions.

Tognazzini spoke again about the issues regarding his business being affected by the construction staging.

Chairperson Luhr closed the Public Comment period.

[https://youtu.be/DnbGQV\\_VxX0?t=1h11m2s](https://youtu.be/DnbGQV_VxX0?t=1h11m2s)

**MOTION:** Commissioner Barron moved to approve CUP18-10, Conditional Use Permit (Concept/Precise Plan) at 1279 Embarcadero and adopt PC Resolution 07-19 adding Planning condition 4 and forwarding a favorable recommendation to City Council with the added recommendation to Council mentioned for an Electric Vehicle Charging (EVC) station using the in-lieu fees. Commissioner Stewart seconded.

**Planning condition 4:**

Applicant shall submit a construction staging and traffic control plan that minimizes impact to neighbouring business and pedestrian traffic to the greatest extent feasible. Said plan shall be submitted for review and approval by the Community Development Director prior to issuance of a building permit

The Commissioners discussed the motion. Motion passed 4-1 with Vice-Chair Lucas voting no.

- C. NEW BUSINESS - NONE
- D. UNFINISHED BUSINESS - NONE
- E. PLANNING COMMISSIONER COMMENTS/FUTURE AGENDA ITEMS - NONE
- F. COMMUNITY DEVELOPMENT DIRECTOR COMMENT - NONE
- G. ADJOURNMENT

The meeting adjourned at 7:17 p.m. to the next special scheduled Planning Commission meeting at the Veteran's Memorial Building, 209 Surf Street, on May 7, 2019 at 6:00 p.m.

\_\_\_\_\_  
Gerald Luhr, Chairperson

ATTEST:

\_\_\_\_\_  
Scot Graham, Secretary



AGENDA NO: B-1

MEETING DATE: May 21, 2019

## Staff Report

**TO:** Planning Commissioners

**DATE:** May 14, 2019

**FROM:** Nancy Hubbard, Contract Planner

**SUBJECT:** Application for a Conditional Use Permit (CUP 19-03) and Coastal Development Permit (CDP19-006) to request after-the-fact planning approval for a 2-story maintenance building that was constructed under the State of California Department of Housing and Community Development building permit authority in 2014, but without necessary planning approval. The site is located at 495 Atascadero Road and is in the C-1/C-2/SP Zoning district and is not located within the Coastal Commission Appeal Jurisdiction.

**RECOMMENDATION:**

*CONDITIONALLY APPROVE THE PROJECT* by approving Planning Commission **Resolution 10-19** that includes Findings and Conditions of Approval for the above noted project, as depicted on site development plans submitted to the City on February 25, 2019.

**LEGAL DESCRIPTION/APN:**

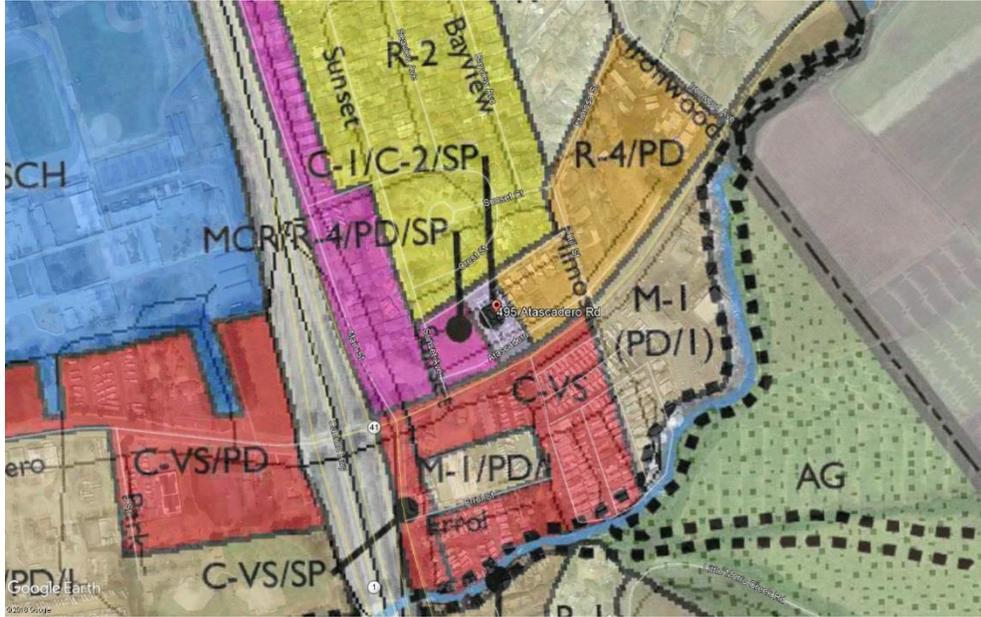
068-323-024,  
LOTS 6-8, 16-18,  
BLOCK 7, CY-BM-TR-52

**PROJECT DESCRIPTION:** The Applicant is requesting after-the-fact Conditional Use Permit and Coastal Development Permit approval for a two-story maintenance building that was constructed under the State of California Department of Housing and Community Development building permit authority in 2014. The project required approval of a Conditional Use Permit and Coastal Development Permit prior to building permit issuance. The building is a 24-foot wide by 33-foot long pre-engineered metal building with a height of approximately 22.5 feet located along the easterly property line. See also 'Project Analysis' section.

**PROJECT ZONING:**

The project, located in the North Main Specific Plan - area C, and is in the Del Mar Planning Area 3 with a Mixed Use 'F' land use designation in the Local Coastal Plan. The site has been operating as a Mobile Home Park prior to the incorporation of the City of Morro Bay. The site was previously zoned R-4 and was rezoned to the current C-1/C-2 zoning designation in 2001/2002. Mobile Home Parks are not an allowed use in the current

Commercial Zoning District. The site zoning of C-1/C-2 is only on this site, surrounded by MCR, R-2 and R-4. The site is not located within the Coastal Commission Appeals Jurisdiction.



Adjacent Zoning/Land Use			
<b>North:</b>	R-2 – Moderate density Residential	<b>South:</b>	C-VS – Visitor Serving Commercial
<b>East:</b>	R-4/PD – High density Residential, Hotel, Professional Office with Planned Development overlay	<b>West:</b>	MCR/R-4/PD/SP – Mixed Use, High Density residential, planned development, specific plan overlay

Site Characteristics	
<b>Site Area</b>	30,588 square feet
<b>Existing Use</b>	Mobile Home Park
<b>Terrain</b>	Sloped
<b>Vegetation/Wildlife</b>	Primarily impervious surfaces
<b>Archaeological Resources</b>	N/A
<b>Access</b>	Atascadero Road

General Plan, Zoning Ordinance, & Local Coastal Plan Designations	
<b>General Plan/Coastal Plan Land Use Designation</b>	Planning Area 3, Mixed Use “F”
<b>Base Zone District</b>	C-1/C-2
<b>Zoning Overlay District</b>	None
<b>Special Treatment Area</b>	None
<b>Combining District</b>	n/a
<b>Specific Plan Area</b>	North Main
<b>Coastal Zone</b>	Not within the Coastal Commission Appeal Jurisdiction

**PROJECT ANALYSIS:**

**Background**

In 2014, the applicant obtained a permit to construct a 24 foot by 33 foot, 2-story maintenance shed through the Department of Housing and Community Development (HCD). HCD has jurisdiction over mobile home parks related to the placement and setbacks for mobile homes and building permits for permanent structures on the site. However, most permanent structures proposed for mobile home parks also require a planning permits, such as a manager’s dwelling unit or storage shed. The City of Morro Bay has jurisdiction over the site density, site use and development standards related to permanent structures built on the site. The applicant built the maintenance building pursuant to the HCD requirements for the building permit and did not know that they needed a Planning Permit. HCD told the applicant that the building could be 3 feet from the side property line – which is what HCD allows for placement of mobile homes. The building was constructed and is being used for storage and a maintenance work area. In 2018, there was a code enforcement case related to this maintenance building on the site that was not permitted through the Planning Permit process. The applicant is trying to resolve that by applying for an after-the-fact permit.

	<b>C-1 Standards</b>	<b>C-2 Standards</b>	<b>Shed Placement</b>
<b>Front Setback</b>	0 feet (Avg 2 feet)	0 feet (Avg 2 feet)	N/A
<b>Side-Yard Setback</b>	0 feet, unless adjacent to a residential district	0 feet, or 10 feet if adjacent to a residential district	<b>3 feet, 2 inches</b>
<b>Rear Setback</b>	0 feet, unless adjacent to a residential district	0 feet (10 feet if adjacent to residential district)	N/A
<b>Height (from ANG)</b>	30 Feet, or 25 feet if within 20 feet of a residential district other than R-4	30 Feet, or 25 feet if within 20 feet of a residential district other than R-4	22 feet, 8 inches

**Development Standard Consistency – Dual Zoning Districts**

As noted in the above chart, the only development standard that has not been met, is the side yard setback. The zoning districts allow a zero-foot setback for C-1 unless adjacent to a residential district. The C-2 zone also has a zero-foot setback unless adjacent to a residential district, in which case the setback is 10 feet. In this case, the site is adjacent to an R-4 zoned property, which allows multifamily, hotel and professional offices, essentially a commercial use. In other commercial zones, changes in the development standards for commercial development adjacent to residential, specifically exclude R-4 residential zoned properties. Staff’s opinion, since the zoning standards for the C-1 and C-2 zone do not provide a complete statement of the alternative setback standard, the existing setback of 3 feet, 2 inches meets the requirements and intent of the C-1 and C-2 side yard setback standard.



**AFTER THE FACT PLANNING PERMIT:**

The applicant has submitted for a conditional use permit and coastal development permit specifically related to this maintenance building to obtain an after-the-fact planning permit to correct the fact that HCD told them they did not need any other permits. The maintenance building meets the development standards for the zone. Because of the inconsistency in the wording for the C-1 and C-2 side yard setback requirements when adjacent to a residential district, staff believes the R-4 zoning district that allows high density residential, hotel and professional office allows a more intense use than the mobile home park and as such the standard setback of zero feet should apply. It seems reasonable to believe that the intent was to protect a lower density residential project from a more active commercial use and the development standards should have clarified that the exception to the standard setback for residential excludes R-4 zone properties (as is the case in other sections of the zoning code). In this case, the use on the site is residential and the maintenance building is primary for storage, and as such is a very passive use. The condo immediately adjacent to the maintenance building was sold in 2016 after the construction of the maintenance building.

**PUBLIC NOTICE:**

Notice of this item was published in the San Luis Obispo Tribune newspaper on May 10, 2019, and all property owners and occupants of record within 500 feet of the subject site were notified of this evening's public hearing and invited to voice any concerns on this application.

**ENVIRONMENTAL DETERMINATION:**

Environmental review was performed for this project and staff determined it meets the requirements for a Categorical Exemption under CEQA Guidelines Section 15303 Class 3e. The exemption applies to new construction of small structures that are accessory structures such as garages. Additionally, none of the Categorical Exemption exceptions, noted under Section 15300.2, apply to the project.

**CONCLUSION:**

The project is consistent with the General Plan and Local Coastal Plan, which provides for a mix of uses with an evaluation of the use proposed for a specific site. The project is consistent with the Zoning Ordinance because accessory structures are allowed within the zone upon approval of a conditional use permit (MBMC section 17.56.160).

**RECOMMENDATION:**

Staff recommends the Planning Commission approve the requested Conditional Use Permit #CUP19-03 and Coastal Development Permit #CDP19-006 to allow the maintenance building constructed in 2015 at 495 Atascadero Road for the project, as shown on plans submitted to the City on February 25, 2019, by adopting Planning Commission **Resolution 10-19** which includes the Findings and Conditions of Approval for the project.

**EXHIBITS:**

Exhibit A – Planning Commission Resolution 10-19

Exhibit B – Graphics/Plans

## RESOLUTION NO. PC 10-19

### A RESOLUTION OF THE MORRO BAY PLANNING COMMISSION APPROVING CONDITIONAL USE PERMIT CUP19-03 AND COASTAL DEVELOPMENT PERMIT CDP19-006 APPROVING THE MAINTENANCE BUILDING AT 495 ATASCADERO ROAD

**WHEREAS**, Daryl Griggs applied for a Conditional Use Permit (CUP19-03) and a Coastal Development Permit (CDP19-006) on February 25, 2019 for after-the-fact approval of a 792 square foot maintenance building accessory to an existing mobile home park; and

**WHEREAS**, the Planning Commission of the City of Morro Bay (the "City") conducted a public hearing at the Morro Bay Veteran's Hall, 209 Surf Street, Morro Bay, California, on May 21, 2019, for the purpose of considering the approval of the CUP and CDP for an existing maintenance building built on the site under the Department of Housing and Community Development permit authority, but without City of Morro Bay planning permits; and

**WHEREAS**, notice of the public hearing was provided at the time and in the manner required by law; and

**WHEREAS**, the Planning Commission has duly considered all evidence, including the testimony of the appellant, applicant, interested parties, and the evaluation and recommendations by staff, presented at said hearing.

**NOW, THEREFORE, BE IT RESOLVED** by the Planning Commission of the City of Morro Bay as follows:

**Section 1: Findings.** Based upon all the evidence, the Commission makes the following findings:

#### California Environmental Quality Act (CEQA)

Pursuant to the California Environmental Quality Act, the project meets the requirements for a Categorical Exemption under CEQA Guidelines Section 15303 Class 3e. The exemption applies to new construction of small structures that are accessory structures such as garages. Additionally, none of the Categorical Exemption exceptions, noted under Section 15300.2, apply to the project.

#### Conditional Use Permit and Coastal Development Permit findings

1. The project is accessory to a primary use consistent with the Zoning Ordinance. The project is consistent with applicable provisions of the Local Coastal Program (LCP) that allows a mix of uses with evaluation on a site-specific basis. The project will not have any substantial adverse impacts on the environment or coastal resources.
2. The project is in compliance with the General Plan and certified Local Coastal Program and will not be detrimental to the health, safety, and

general welfare of persons residing or working in the surrounding neighborhood.

3. The project is consistent with the C-1/C-2 development setbacks, specifically related to the 3-foot, 2-inch setback along the easterly property line due to a discrepancy in the development standards and a finding that the project is consistent with the intent of the development standards.

**Section 2: Action.** The Planning Commission does hereby approve Conditional Use Permit (CUP19-03) and a Coastal Development Permit (CDP19-006) subject to the following conditions:

**STANDARD CONDITIONS:**

1. Permit: Conditional Use Permit (CUP19-03) and a Coastal Development Permit (CDP19-006) approve a maintenance building on the existing mobile home site located at 495 Atascadero Road. The site is zoned C-1/C-2/SP. The project is not located within the Coastal Commission appeals jurisdiction.
2. Inaugurate Within Two Year: Unless the construction or operation of the structure, facility, or use is commenced not later than two (2) years after the effective date of this approval and is diligently pursued thereafter, this approval will automatically become null and void; provided, however, that upon the written request of the applicant, prior to the expiration of this approval, the applicant may request up to two extensions for not more than one (1) additional year each. Said extensions may be granted by the Director, upon finding that the project complies with all applicable provisions of the Morro Bay Municipal Code, General Plan and Local Coastal Program Land Use Plan (LCP) in effect at the time of the extension request.
3. Changes: Any minor change may be approved by the Community Development Director. Any substantial change will require the filing of an application for an amendment.
4. Compliance with the Law: All requirements of any law, ordinance or regulation of the State of California, City of Morro Bay, and any other governmental entity shall be complied with in the exercise of this approval.
5. Hold Harmless: The applicant, as a condition of approval, hereby agrees to defend, indemnify, and hold harmless the City, its agents, officers, and employees, from any claim, action, or proceeding against the City as a result of the action or inaction by the City, or from any claim to attack, set aside, void, or annul this approval by the City of the applicant's project; or applicant's failure to comply with conditions of approval. This condition and agreement shall be binding on all successors and assigns.
6. Compliance with Conditions: Compliance with and execution of all conditions listed hereon shall be necessary, unless otherwise specified, prior to obtaining final building inspection clearance. Deviation from this requirement shall be permitted only by written consent of the Planning and

Building Director and/or as authorized by the Planning Commission. Failure to comply with these conditions shall render this entitlement, at the discretion of the Director, null and void. Continuation of the use without a valid entitlement will constitute a violation of the Morro Bay Municipal Code and is a misdemeanor.

7. Archaeology: In the event of the unforeseen encounter of subsurface materials suspected to be of an archaeological or paleontological nature, all grading or excavation shall immediately cease in the immediate area, and the find should be left untouched until a qualified professional archaeologist or paleontologist, whichever is appropriate, is contacted and called in to evaluate and make recommendations as to disposition, mitigation and/or salvage. The developer shall be liable for costs associated with the professional investigation.
8. Compliance with Morro Bay Standards: This project shall meet all applicable requirements under the Morro Bay Municipal Code and shall be consistent with all programs and policies contained in the certified Coastal Land Use plan and General Plan for the City of Morro Bay.

### **PUBLIC WORKS CONDITIONS:**

1. Stormwater Management: The City has adopted Low Impact Development (LID) and Post Construction requirements to protect water quality and control runoff flow from new and redevelopment projects. The requirements can be found in the Stormwater management guidance manual on the City's website [www.morro-bay.ca.us/mainmanual](http://www.morro-bay.ca.us/mainmanual). Projects with more than 2,500sf of new or redeveloped impervious area are subject to these requirements. All proposed projects must complete the "SFR Performance Requirement Determination Form" to prove compliance.
2. Frontage Improvements: Per MBMC 14.44, the installation of frontage improvements (Public Improvements) is required. Show the installation and extension of Rockview Street using City Standard Detail A-7 with a 20-foot width (two 10-foot lanes) paved street. Show the installation and extension of the curb, gutter and sidewalk along the project frontage of Rockview Street.
3. Deferral of Public Improvements: Frontage Improvements can be deferred until such time that the adjacent property is developed. Civil Engineered Public Improvement construction plans are still required to be submitted. To defer, pay deferral fee and request an "Agreement for Deferral of Improvements" document. Document must be accompanied by a current copy of preliminary title report (to verify all property owners) and an attach 8.5"x11" exhibit of deferred frontage improvements, per SLO County Recorder's Office requirements. Property owner(s) shall sign and notarized document and the submit document to City for City Engineer's signature

and notarization. A check for the recordation fee is required and shall be made out to the SLO County Recorder's Office.

Add the following Notes to the Plans:

1. Any damage, as a result of construction operations for this project, to City facilities, i.e. curb/berm, street, sewer line, water line, or any public improvements shall be repaired at no cost to the City of Morro Bay.
2. No work shall occur within (or use of) the City's Right of Way without an encroachment permit. Encroachment permits are available at the City of Morro Bay Public Works Office located at 955 Shasta Ave. A standard encroachment permit shall be required for the proposed driveway; the driveway shall comply with B-9 (Driveway Ramps: Size & Location). A sewer encroachment permit shall be required for any repairs or installation of a sewer lateral within the City right-of-way or within a utility easement. If a construction dumpster is used, the dumpster location shall be on private property, unless allowed by an encroachment permit within the City right-of-way.

PASSED AND ADOPTED by the Morro Bay Planning Commission at a regular meeting thereof held on this 21st day of May 2019 on the following vote:

AYES:

NOES:

ABSENT:

ABSTAIN:

\_\_\_\_\_  
Chairperson Gerald Luhr

ATTEST

\_\_\_\_\_  
Scot Graham, Planning Secretary

The foregoing resolution was passed and adopted on this 21st day of May 2019.



5290 Orcutt Road San Luis Obispo, CA 93401
Phone (805) 547-8797 Fax (805) 549-8469
Toll Free (888) 547-8797
www.pwsmetalbuildings.com
License B-850705

RECEIVED
FEB 25 2019
City of Morro Bay
Community Development Dept.



ARTISAN ENGINEERING INCORPORATED
170 MARKET DRIVE MORRO BAY, CA 93426
PHONE: 805.547.9500 FAX: 805.547.9500



THESE DRAWINGS ARE SOLELY THE PROPERTY OF ARTISAN ENGINEERING, INC. ANY REUSE OF THE DRAWINGS, IN WHOLE OR IN PART, IS UNLAWFUL UNLESS THE PARTY HAS RECEIVED WRITTEN PERMISSION FROM ARTISAN ENGINEERING, INC.

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THE INFORMATION CONTAINED HEREIN IS STRUCTURAL ONLY IN NATURE. ALL OTHER INFORMATION AND PROJECT REQUIREMENTS SHALL BE SPECIFIED BY OTHERS.

VISUAL CONTACT WITH THESE DRAWINGS CONSTITUTES PRIMA FACIE EVIDENCE OF, AND ACCEPTANCE OF, THESE TERMS.

PROJECT: GRIGGS STRUCTURE

495 ATASCADERO ROAD MORRO BAY, CA 93442

APN: 000-000-000

OWNER: Mr. Daryl Griggs 495 ATASCADERO ROAD MORRO BAY, CA 93442

CONTRACTOR: P.W.S. Inc. B-850705 5290 ORCUTT ROAD SAN LUIS OBISPO, CA 93401

PHONE: 805.547.8797

WWW.PWSSTEELBUILDINGS.COM

DRAWING TITLE: COVER SHEET

Table with 2 columns: REVISIONS, Description, Date. Includes PWS/OWNER REVIEW 2014.2.10 and SUBMITTAL FOR PC 2014.3.3

- APPLICABLE BUILDING CODES
ALL WORK SHALL CONFORM TO THE FOLLOWING CODES AS ADOPTED BY BUILDING OFFICIAL WHERE CONFLICTS OCCUR, THE MOST STRINGENT REQUIREMENTS SHALL GOVERN.
- 2013 CALIFORNIA BUILDING CODE (BASED ON 2009 IBC)
- 2013 CALIFORNIA ELECTRIC CODE (BASED ON 2008 NEC)
- 2013 CALIFORNIA MECHANICAL CODE (BASED ON 2009 UMC)
- 2013 CALIFORNIA PLUMBING CODE (BASED ON 2009 UPC)
- 2013 CALIFORNIA FIRE CODE (BASED ON 2009 IFCC)
- 2013 CALIFORNIA GREEN BUILDING CODE
- 2013 CALIFORNIA ENERGY CODE
- 2013 CALIFORNIA RESIDENTIAL CODE (2009 IRC)
- TITLE 24 - CALIFORNIA STATE ENERGY & ACCESSIBILITY STANDARDS

DISCLAIMER
1. THESE DRAWINGS, AS SEALED/SIGNED BY CHARLES RICHARDS SE 4436, ARE FOR STRUCTURAL ITEMS/ISSUES ONLY. EXPLICITLY EXCLUDED ARE ANY/ALL ISSUES RELATING TO:
- SET BACKS FROM PROPERTY LINES, HEIGHT LIMITS, ETC.
- FIRE RISKING, FIRE PROOFING, FIRE SPRINKLERS, ETC.
- AMERICANS W/ DISABILITIES ACT, ACCESS, EGRESS, ETC.
- WATER PROOFING, WEATHERZATION, VENTING, ETC.
- SECURITY, SERVICABILITY, FINISH, ETC.
- GRADING, DRAINAGE, CUTTERS/DOWNSPOUTS, ETC.

2. PRESENCE/LOCATION OF ANY/ALL UTILITIES HAVE NOT BEEN INDICATED BY PWS STEEL BUILDINGS, INC. OR THE OWNER. NO UTILITIES HAVE BEEN FIELD LOCATED, SURVEYED, ETC.
3. VISUAL CONTACT WITH THE DRAWINGS CONSTITUTES PRIMA FACIE EVIDENCE OF, AND ACCEPTANCE OF, THESE TERMS.

DRAWN BY: CR
PRINT DATE: 2014.3.3
PERMIT NO:
AEI NO: 14.06

1.1

CONCRETE

- 1. ALL CONCRETE WORK SHALL CONFORM WITH THE 2011 ACI 318 & THE LATEST EDITIONS OF THE ACI MANUALS OF CONCRETE PRACTICE, AND
2. CONCRETE:
A. MINIMUM COMPRESSIVE STRENGTH: 2500 psi WITHIN 28 DAYS
B. MINIMUM CEMENT CONTENT: 8.0 BAGS (94 LB) PER YARD
C. WATER/CEMENT RATIO: 0.60 MAX, INCLUDING WATER ADDED AT THE SITE
D. MAXIMUM WATER CONTENT: 34 GALLONS PER YARD
E. MAXIMUM SLUMP: 4" +/-
F. MAXIMUM AGGREGATE SIZE: 1"
G. FINES (SAND) NOT TO EXCEED 45% OF THE TOTAL AGGREGATE. A 50/50 MIX MAY BE USED WITH 25% OF THE TOTAL AGGREGATE BEING "A" PEA-GRAVEL WITH FINES NOT TO EXCEED 40% OF THE TOTAL AGGREGATE.
H. ADJUSTURES AS DESIRED BY CONTRACTOR WITH THE WRITTEN APPROVAL OF STRUCTURAL ENGINEER
I. SPECIAL INSPECTION IS NOT REQUIRED.
3. REINFORCING:
A. #3 & SMALLER: ASTM A615 GRD 40 OR GRD 60
B. #4 & LARGER: ASTM A615 GRD 60
4. REINFORCING LAP SPLICES (644 UNF):
A. #3 BARS: 24"
B. #4 BARS: 32"
C. #5 BARS: 40"
D. STRIPPER ALL ADJACENT LAP SPLICES 5'-0" MINIMUM
5. COLD FORM ALL REBAR BENDS. WELDING OF REINFORCING STEEL IS NOT ALLOWED.
6. CONCRETE COVER TO REINFORCING (UNF):
A. CONCRETE PLACED AGAINST FORMS, BUT IN CONTACT WITH GROUND AFTER FORM REMOVAL: 2"
B. ALL OTHERS: 1 1/2"
7. OPENING, POCKETS, ETC. SHALL NOT BE PLACED IN FOUNDATIONS, SLABS, WALLS, ETC. UNLESS SPECIFICALLY DETAILD ON THE STRUCTURAL DRAWINGS. CONTRACTOR SHALL NOTIFY STRUCTURAL ENGINEER IMMEDIATELY OF THE CONFLICT DRAWINGS BY OTHERS SHOW OR NOTE SUCH OPENINGS, POCKETS, ETC. THAT ARE NOT ALSO SHOWN ON THE STRUCTURAL DRAWINGS. HOLES 4" MAXIMUM, ROUND OR SQUARE, SPACED 24" MINIMUM IN FOUNDATION, SLABS & WALLS ARE EXEMPT FROM THIS REQUIREMENT.
8. WET SETTING ANCHOR BOLTS IS NOT ALLOWED. ALL EMBEDDED ITEMS, INCLUDING HOLDDOWN ANCHOR BOLTS & SILL & BOLTS, MUST BE SECURELY TIED INTO PLACE BEFORE FOUNDATION INSPECTION BY THE BUILDING OFFICIAL OR STRUCTURAL OBSERVATION VISIT BY THE STRUCTURAL ENGINEER.
9. FINISH THE TOPS OF ALL WALLS, ETC. TO BE SMOOTH & FLAT FOR UNIFORM BEARING FOR WOOD WALL/FLOOR FRAMING. FINISH ALL SLABS AS IS APPROPRIATE TO RECEIVE FINISHING & TO BE NON-SLIP AS DIRECTED BY OWNER OWNER.
10. CONCRETE FOUNDATIONS ARE ONE MONOLITHIC POUR, NO CONSTRUCTION JOINTS.
11. DO NOT PLACE CONCRETE BELOW 50' F OR IF AMBIENT TEMPERATURE IS NEAR 50' F & FALLING.
12. FOR EXPOSED CONCRETE, VERIFY WITH OWNER THE LOCATION & EXTENT OF SCORE LINES, FELT JOINTS, STAMPING, COLOR, SURFACE FINISH, ETC.
13. MECHANICALLY VIBRATE ALL FOOTINGS

DESIGN LOADS

Table with columns: BUILDING CODE, PROJECT LOCATION, WIND LOADS, SEISMIC LOADS, ROOF LOADS, FLOOR LOADS, SOIL BRNG.

FOUNDATIONS & SOILS

- 1. NO SOIL REPORT HAS BEEN PROVIDED. FOUNDATION DESIGN PARAMETERS ARE BASED UPON UNIFORM SOIL CONDITIONS WHICH CAN SUPPORT THE INTENDED LOADS. SOIL CONDITIONS THAT DEVIATE APPRECIABLY FROM THOSE SHOWN IN THE LIST BODIES (SOFT SPOTS, PUMPING, SURFACE WATER, EXPANSION, ETC.) SHALL BE REPORTED TO THE STRUCTURAL ENGINEER IMMEDIATELY. WORK IN THE AFFECTED AREA SHALL CEASE UNTIL SUCH CONFLICT IS RESOLVED.
- FIRM, WELL CONSOLIDATED NATIVE SOILS
- LOW EXPANSION INDEX (NATIVE SANDY SOIL)
- DRY, NO STANDING WATER
\*\* IF ADVERSE SOIL CONDITIONS ARE ENCOUNTERED, A SOILS INVESTIGATION REPORT MAY BE REQUIRED. \*\*
2. MINIMUM FOOTING DEPTH SHALL EXCEED 1'-6" INTO UNDISTURBED SOIL OR AS MEASURED FROM LOWEST ADJACENT GRADE, WHICHEVER CREATES DEEPER FOOTINGS (MINIMUM 2'-0" FROM TOP OF SLAB). MINIMUM WIDTH IS 12". NO FOOTING SHALL BEAR IN FILL SOIL UNLESS SUCH SOIL IS PART OF AN ENGINEERED BUILDING PAD IN ACCORDANCE W/ PROVISIONS PROVIDED BY A LICENSED SOILS ENGINEER.
3. SOIL COMPACTION:
A. MOISTEN & COMPACT VIA MECHANICAL MEANS ("BACKHOE" OR "JUMPING JACK") THE BOTTOMS OF ALL FOOTING EXCAVATIONS
B. MOISTEN & COMPACT VIA MECHANICAL MEANS THE BUILDING PAD UNDER THE INTERIOR & EXTERIOR SLABS.
C. ALL FILL DEEPS OVER 12" REQUIRE SPECIAL ATTENTION FROM A SOILS ENGINEER. FILL IS ONLY PERMITTED UNDER SLABS, FOOTINGS SHALL BEAR ON NATIVE, UNDISTURBED SOIL.
4. DE-WATER FOOTINGS & BUILDING EXCAVATIONS AS REQUIRED TO MAINTAIN DRY WORKING CONDITIONS.
5. ALL FOOTINGS SHALL BE CLEAN & FREE OF DEBRIS & LOOSE MATERIAL BEFORE PLACING CONCRETE. ANY LOOSE SOIL IN FOOTINGS SHALL BE REMOVED.
6. ALL FOOTINGS SHALL BEAR ON A UNIFORM TYPE OF SOIL OF A UNIFORM COMPACTION. IF ANY NEW FOOTINGS BEAR ON DECOMPOSING GRANITE OR OTHER SIMILAR, HARDER MATERIAL, THEN ALL FOOTING EXCAVATIONS SHALL BE DEEPENED TO BEAR ON SIMILAR MATERIAL.
7. EXCAVATIONS SHALL BE ROUGHLY SQUARE. THE SIDES OF THE EXCAVATIONS SHALL BE SUPPORTED DURING WORK & CONCRETE PLACEMENT SUCH THAT SOIL WILL NOT SLUFF OFF INTO THE FOOTING EXCAVATIONS.
8. BACKFILL SOIL SHALL BE MOISTENED & COMPACTED BY MECHANICAL MEANS.

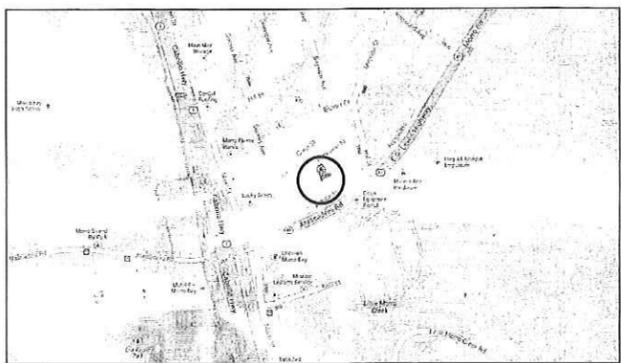
SPECIAL INSPECTION

- 1. SPECIAL INSPECTION SHALL BE PROVIDED BY AN APPROPRIATELY CERTIFIED SPECIAL INSPECTOR. SPECIAL INSPECTOR SHALL BE DIRECTLY PAID BY OWNER.
2. THE SPECIAL INSPECTION PER THE 2013 CBC (CHAPTER 17) IS REQUIRED FOR THE FOLLOWING CONSTRUCTION OPERATIONS:
ITEM ITEM NOTES
POST INSTALLED ANCHORS
1. WEDGE / MECHANICAL ANCHORS CONTINUOUS AS MAY BE REQUIRED
2. EPOXY / ADHESIVE ANCHORS CONTINUOUS AS MAY BE REQUIRED
STRUCTURAL STEEL
1. STEEL MATERIAL PERIODIC SEE AISC 350
2. WELD MATERIAL PERIODIC SEE AISC 350
3. WELDING INSPECTION PERIODIC/CONT SEE AISC 350
4. JOINT DETAILS PERIODIC SEE AISC 350
5. ALL FIELD WELDING CONTINUOUS NOT ANTICIPATED
3. STRUCTURAL OBSERVATION VISITS BY STRUCTURAL ENGINEER IN NO WAY CONSTITUTE INSPECTION, TO BE PERFORMED BY BUILDING OFFICIAL, OR SPECIAL INSPECTION TO BE PERFORMED BY SPECIAL INSPECTOR.
4. A FINAL/COMPLETE SPECIAL INSPECTION REPORT SHALL BE PREPARED BY SPECIAL INSPECTOR & DELIVERED TO THE BUILDING OFFICIAL. SUCH REPORT SHALL NOTE ALL WORK NOT PERFORMED IN ACCORDANCE W/ THE APPROVED DRAWINGS.

GENERAL NOTES

- 1. THE CONTRACTOR SHALL KEEP ON THE JOB SITE A COPY OF THE 2013 CALIFORNIA BUILDING CODE (CBC), AS AMENDED BY LOCAL BUILDING OFFICIAL. CONSTRUCTION SHALL CONFORM TO THE APPLICABLE SECTIONS OF THE CBC, TITLE 24 OF THE CALIFORNIA CODE OF REGULATIONS, TO LOCAL ORDINANCES & TO THE CONSTRUCTION DOCUMENTS. WHEREVER THERE IS A CONFLICT BETWEEN REQUIREMENTS, THE MOST STRINGENT REQUIREMENTS SHALL GOVERN.
2. CONTRACTOR SHALL VERIFY ALL EXISTING CONDITIONS PERTAINING TO THE SITE &/OR BUILDING BEFORE STARTING WORK. DISCREPANCIES SHALL BE REPORTED TO STRUCTURAL ENGINEER IMMEDIATELY. WORK IN THE AFFECTED AREA SHALL CEASE UNTIL SUCH CONFLICT IS RESOLVED.
3. DIMENSIONS SHOWN SHALL TAKE PRECEDENCE OVER SCALE ON PLANS, SECTIONS & DETAILS. DISCREPANCIES SHALL BE REPORTED TO STRUCTURAL ENGINEER IMMEDIATELY. WORK IN THE AFFECTED AREA SHALL CEASE UNTIL SUCH CONFLICT IS RESOLVED.
4. DETAILS SHOWN ON THE DRAWINGS ARE TYPICAL. SIMILAR DETAILS APPLY TO SIMILAR CONDITIONS. CONDITIONS REQUIRING CONSTRUCTION DIFFERING FROM THAT SHOWN SHALL BE REPORTED BY CONTRACTOR IN WRITING TO STRUCTURAL ENGINEER IMMEDIATELY. WORK IN THE AFFECTED AREA SHALL CEASE UNTIL SUCH CONFLICT IS RESOLVED.
5. DRAWINGS REPRESENT THE FINISHED STRUCTURE. UNLESS NOTED OTHERWISE, THEY DO NOT INDICATE THE METHOD OF CONSTRUCTION. CONTRACTOR SHALL PROVIDE ALL MEASURES NECESSARY TO PROTECT THE STRUCTURE, WORKERS, OTHER PERSONS, OTHER IMPROVEMENTS (ON THIS PROPERTY, IN THE CITY RIGHT-OF-WAY & ON NEIGHBORING PROPERTY) DURING CONSTRUCTION. SUCH MEASURES SHALL BE SOLELY THE RESPONSIBILITY OF CONTRACTOR THROUGHOUT THE DURATION OF THE PROJECT & SHALL NOT BE LIMITED TO WORKING HOURS. SUCH MEASURES SHALL INCLUDE, BUT SHALL NOT BE LIMITED TO, TEMPORARY BRACING, FORMS, SCAFFOLDING, SUPPORT OF EXCAVATIONS, ETC. TEMPORARY BRACING OF SUFFICIENT STRENGTH & STIFFNESS TO RESIST ALL IMPROVED LOADS, INCLUDING WIND & SEISMIC LOADS, SHALL BE PROVIDED FOR ALL BEARING COMPONENTS. CONTRACTOR SHALL ENGAGE & PAY FOR PROPERLY QUALIFIED PERSONS TO DETERMINE WHERE & HOW TEMPORARY PRECAUTIONARY MEASURES SHALL BE USED & TO INSPECT SAID ITEMS IN THE FIELD.
6. THE CONTRACTOR SHALL NOT STACK &/OR STORE MATERIALS IN THE PUBLIC RIGHT-OF-WAY. CONTRACTOR SHALL PROVIDE DUST CONTROL DURING ALL PHASES OF THE PROJECT, NOT LIMITED TO WORKING HOURS.
7. CONSTRUCTION MATERIALS & EQUIPMENT SHALL BE SPREAD OUT IF PLACED ON FRAID FLOORS OR ROOFS. LOADS CAUSED BY CONSTRUCTION MATERIALS & EQUIPMENT SHALL NOT EXCEED THE DESIGN LIVE LOAD FOR EACH PARTICULAR LEVEL.
8. ALL WORK SHALL BE COMPLETED IN A COMPETENT & QUALITY MANNER. OWNER & STRUCTURAL ENGINEER SHALL BE THE JUDGES OF ACCEPTABLE WORKMANSHIP.
9. IT IS SOLELY THE RESPONSIBILITY OF CONTRACTOR TO SCHEDULE & COORDINATE ALL WORK INCLUDING THAT OF SUBCONTRACTORS & TRADESMEN & TO COORDINATE INSPECTIONS BY BUILDING OFFICIAL & SPECIAL INSPECTIONS BY SPECIAL INSPECTOR.
10. ALL DRAWINGS & THE IDEAS & DESIGNS EXPRESSED THEREIN ARE SOLELY THE PROPERTY OF ARTISAN ENGINEERING. ANY REUSE OF DRAWINGS, IN WHOLE OR IN PART, IS UNLAWFUL UNLESS THE PARTY HAS RECEIVED EXPRESS WRITTEN PERMISSION FROM ARTISAN ENGINEERING.
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12. VISUAL CONTACT WITH THE DRAWINGS CONSTITUTES PRIMA FACIE EVIDENCE OF, AND ACCEPTANCE OF, THESE TERMS.

VICINITY MAP



STRUCTURAL STEEL

- 1. ALL WORK SHALL CONFORM TO THE 19TH EDITION OF THE AISC MANUAL OF STEEL CONSTRUCTION & APPLICABLE PROVISIONS OF THE AMERICAN WELDING SOCIETY (AWS), UNF.
2. MATERIALS:
A. RECTANGULAR HOLLOW STEEL SECTIONS (HSS/THS): ASTM A500 B/C, Fy = 50 ksi
B. PLATE STEEL (P): ASTM A588 DUAL USE Fy = 52 ksi OR ASTM A572 Fy = 50 ksi
C. WAC-COR: 80 ksi, MIN 18 ga AS MANUFACTURED HELDLOY METALS. SEE 7/21.
D. IN-PANEL SHEETING: GRADE E / 60 ksi, MIN 26 ga. SEE 7/21.
E. ALL OTHER MISCELLANEOUS METALS: ASTM A36, Fy = 36 ksi, UNF.
3. WELDING:
A. WELD MATERIAL: E70, LOW HYDROGEN ELECTRODES, CONFORMING TO AWS SPECIFICATIONS FOR ARC WELDING ELECTRODES
B. CHARPY V-NOTCH (CVN) TOUGHNESS OF 20 ft-lb AT 0F
C. MINIMUM YIELD STRENGTH Fy = 58 ksi
4. UNLESS NOTED OTHERWISE, SHOP WELD ALL JOINTS ALL SIDES USING A MINIMUM 1/4" FILLET OR FLARE-BEVEL WELD FOR THE FULL LENGTH OF EACH CONTACT.
5. BOLTING: ASTM A307 GRD A (NO GRADE B) OR ASTM A36
6. DRILL OR PUNCH ALL BOLT HOLES AT 1/16" OVER, CUTTING OF HOLES IS NOT ALLOWED.
7. STEEL FINISH:
A. ALL LIGHT GAGE STEEL FRAMING SHALL BE GALVANIZED. TOUCH-UP DAMAGED AREAS & WELDS. GALVANIZING SHALL COMPLY WITH ALL APPLICABLE ENVIRONMENTAL REGULATIONS.
B. THOROUGHLY CLEAN ALL STEEL ELEMENTS THAT ARE NEITHER EMBEDDED IN CONCRETE NOR GALVANIZED & APPLY ONE COAT OF RUST INHIBITING SHOP PRIMER. TOUCH-UP DAMAGED AREAS. PRIMER SHALL COMPLY WITH ALL APPLICABLE ENVIRONMENTAL REGULATIONS.
10. ALL FRAMING SHALL BE LEVEL, PLUMB, TRUE TO LINE, ACCURATE, SQUARE, ETC.
11. SPECIAL INSPECTION: ALL SHOP & FIELD WELDING SHALL BE DONE VIA PROPERLY LICENSED WELDERS & UNDER THE APPROPRIATE SUPERVISION OF A PROPERLY CERTIFIED SPECIAL INSPECTOR.
12. ALL FIELD WELDING REQUIRES SPECIAL INSPECTION.

APPROVED
MAR 19 2014
Charles K. Richards
Professional Engineer
No. 4836
Exp. 2015.12.30
State of California
Seal of Charles K. Richards
Professional Engineer
No. 4836
Exp. 2015.12.30
State of California

ABBREVIATIONS

Table with columns: AB, ANCHOR BOLT, FAB(F), FABRICATED, PERP, PERPENDICULAR, etc.



**ARTISAN ENGINEERING**  
 4836  
 137 2015.9.30  
 STATE OF CALIFORNIA



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PROJECT: GRIGGS AUCTION  
 495 ATASCADERO ROAD  
 MORRO BAY, CA 93442  
 APN: 000 850 000

OWNER:  
**MR. DARYL GRIGGS**  
 495 ATASCADERO ROAD  
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CONTRACTOR:  
**P. W. S. INC.** B-850705  
 5290 ORCUTT ROAD  
 SAN LUIS OBISPO, CA 93401

PHONE: 805.547.8797  
 WWW.PWSSTEELBUILDINGS.COM

DRAWING TITLE:  
**SITE PLAN**

REVISIONS	
△ PWS/OWNER REVIEW	2014.2.10
△ SUBMITTAL FOR PC	2014.3.3

SUBMITTAL FOR PLAN CHECK

DRAWN BY: CR  
 PRINT DATE: 2014.3.3  
 PERMIT NO:  
 AEI No: 14.06

**1.2**

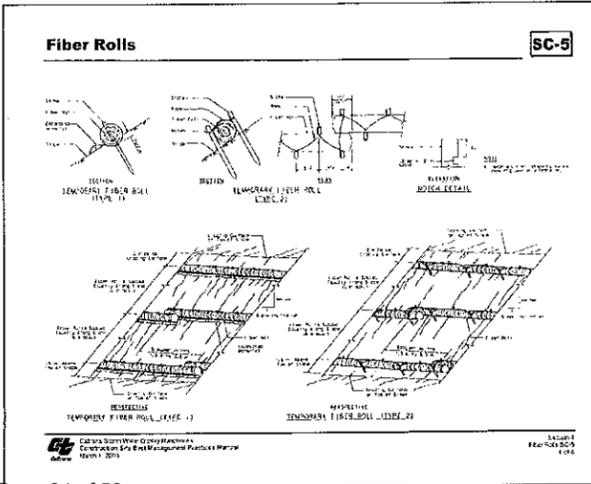
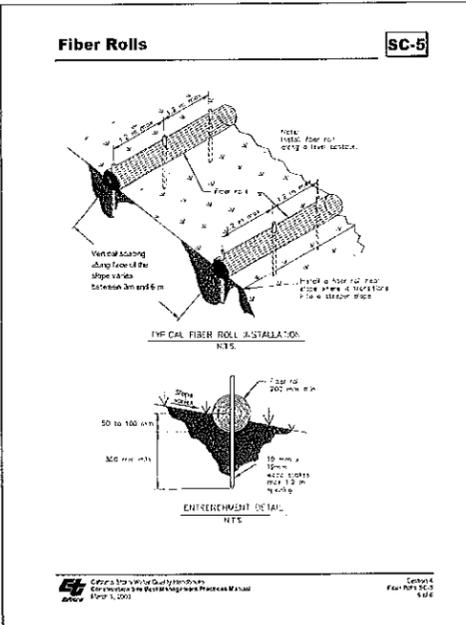
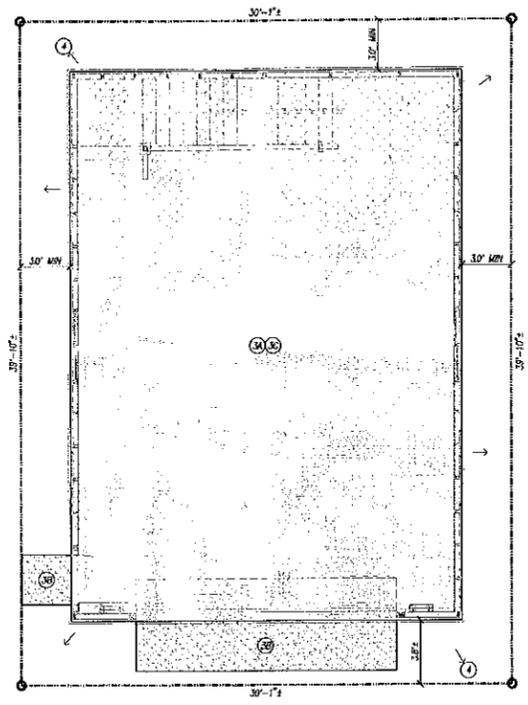
**SITE PLAN KEY NOTES**

1. EXISTING SITE FEATURES:  
 A. NONE REPORTED
2. EXISTING UTILITIES:  
 A. NONE REPORTED
3. NEW WORK:  
 A. DETACHED BUILDING: 792 sq  
 CONG LANDING @ ALL DOORS MATCH WIDTH OF DOOR x MIN 3" OUT FROM BLDG x MIN 4" THICK MAX 1" BEW T-O CONG  
 C. ANY/ALL ISSUES RELATING TO FIRE RATING ISSUES, SET BACK, HEIGHT LIMITS, ACCESS, EGRESS, ETC. SHALL BE ADDRESSED BY OWNER &/OR PWS. STEEL BUILDINGS, INC.
4. DRAINAGE AWAY FROM BUILDING: MIN 5% SLOPE (MIN 2% AT P.C.C. CONG & AC. PAVING) SEE CSC §1804.3 FOR EXCEPTIONS.

**SITE PLAN**  
 1" = 3'

**SITE PLAN NOTES**

1. A SEPARATE ENCROACHMENT PERMIT IS REQUIRED FOR ALL WORK IN THE PUBLIC RIGHT-OF-WAY.
2. NO MATERIALS SHALL BE STORED OR TEMPORARILY STOCKPILED IN THE PUBLIC RIGHT-OF-WAY.
3. ESTIMATE EARTHWORK QUANTITIES:  
 • CUT: < 50 CY  
 • FILL: < 50 CY
4. EROSION & SEDIMENT CONTROL: THE CONTRACTOR SHALL IMPLEMENT EROSION CONTROL MEASURES AS NECESSARY THROUGHOUT THE COURSE OF THE PROJECT, NOT LIMITED TO WORKING HOURS. AS A MINIMUM, THE CONTRACTOR SHALL:  
 A. INSTALL FIBER ROLLS (OR STRAW MATS) SURROUNDING EACH AREA OF SOIL FOLLOWING INITIAL DISTURBANCE.  
 B. FIBER ROLLS ARE 6" MIN & SHALL BE STAKED EVERY 4'.  
 C. FIBER ROLLS SHALL BE IN PLACE @ THE END OF EACH WORK DAY & DURING THE WEEKEND.  
 D. FIBER ROLLS SHALL STAY IN PLACE UNTIL GRASS SEEDING IS ESTABLISHED SUFFICIENTLY TO MITIGATE POSSIBLE EROSION.  
 E. EROSION CONTROL MEASURES ARE MANDATORY FROM NOVEMBER 1 - APRIL 15, BUT ALSO REQUIRED DURING THE REMAINDER OF THE YEAR AS WEATHER REQUIRES.  
 F. ADDITIONAL EROSION CONTROL FEATURES MAY BE REQUIRED, AS DIRECTED BY BUILDING OFFICIAL IF ACTUAL SITE CONDITIONS &/OR WEATHER CONDITIONS PROVE SUCH ANALYSIS SHOWN TO BE INSUFFICIENT.  
 G. REFER TO LOCAL REGIONAL WATER QUALITY CONTROL BOARD (RWQCB) GUIDELINES FOR ADDITIONAL INFORMATION.
5. DUST CONTROL: THE CONTRACTOR SHALL IMPLEMENT DUST CONTROL MEASURES AS NECESSARY THROUGHOUT THE COURSE OF THE PROJECT, NOT LIMITED TO WORKING HOURS. AS A MINIMUM, THE CONTRACTOR SHALL:  
 A. KEEP MOST ALL EXPOSED SOIL W/ A TENDENCY TO BECOME WIND BLOWN.  
 B. COVER ALL TRUCKS TRANSPORTING PARTICULATE MATERIAL GOING TO & FROM THE SITE.  
 C. ADDITIONAL DUST CONTROL MEASURES MAY BE REQUIRED, AS DIRECTED BY BUILDING OFFICIAL, IF ACTUAL SITE CONDITIONS &/OR WEATHER CONDITIONS PROVE SUCH ANALYSIS &/OR PROCEDURES USED ARE SHOWN TO BE INSUFFICIENT.  
 D. REFER TO LOCAL AIR POLLUTION CONTROL DISTRICT (APCD) GUIDELINES FOR ADDITIONAL INFORMATION.
6. IMPLEMENTING & MAINTAINING OF EROSION & SEDIMENT & DUST CONTROL IS THE RESPONSIBILITY OF:  
 • JOHN HUNTER - PWS STEEL BUILDINGS  
 • (805) 547-8797 OFFICE  
 • (805) 712-2092 CELL
7. LAYOUT OF SITE & ASSOCIATED FEATURES PROVIDED BY STEVE GRIFFIN & JOHN HUNTER AT PWS STEEL BUILDINGS. SUCH CONDITIONS HAVE BEEN FIELD VERIFIED.



APPROVED  
 I, Steve Griffin, Professional Engineer, No. 4836, State of California, do hereby certify that the above is a true and correct copy of the original drawings as submitted to me for review and approval.  
 DATE: MAR 15 2014  
 Steve Griffin  
 Professional Engineer  
 No. 4836  
 State of California



**ARTISAN ENGINEERING**  
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**OWNER**  
 MR. DARYL GRIGGS  
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**CONTRACTOR**  
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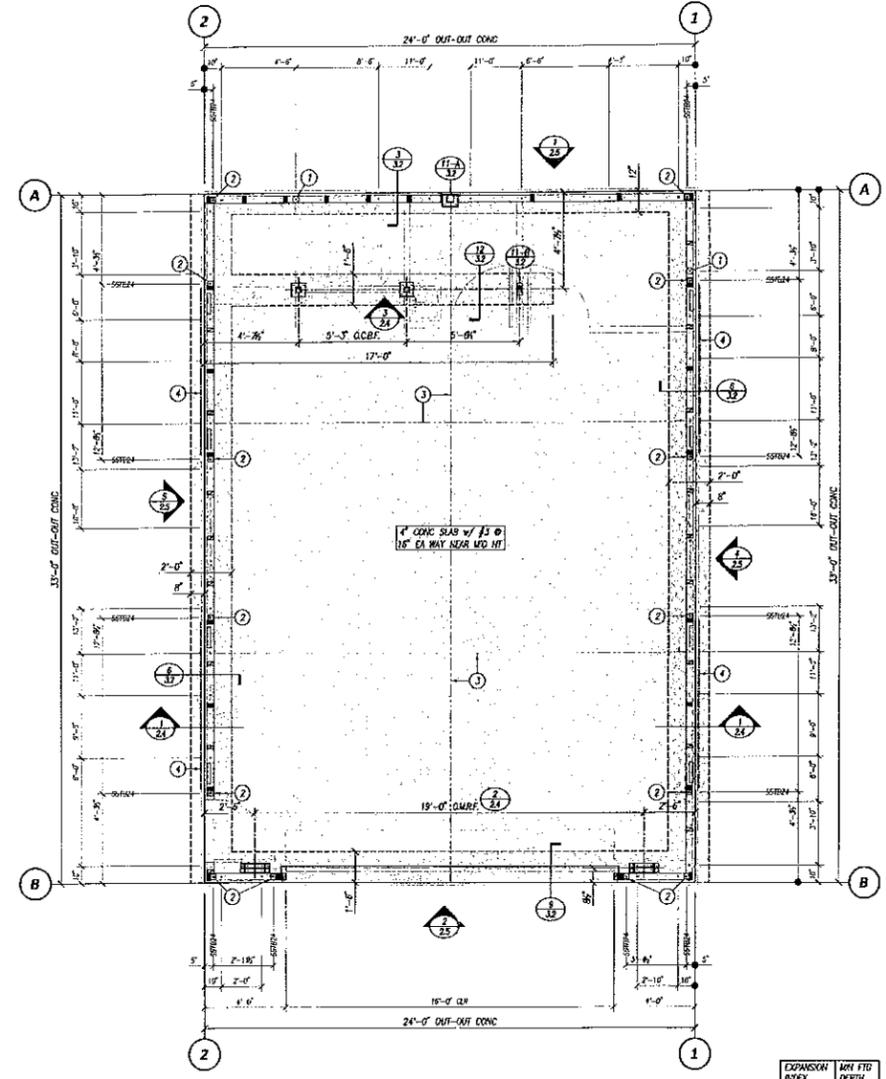
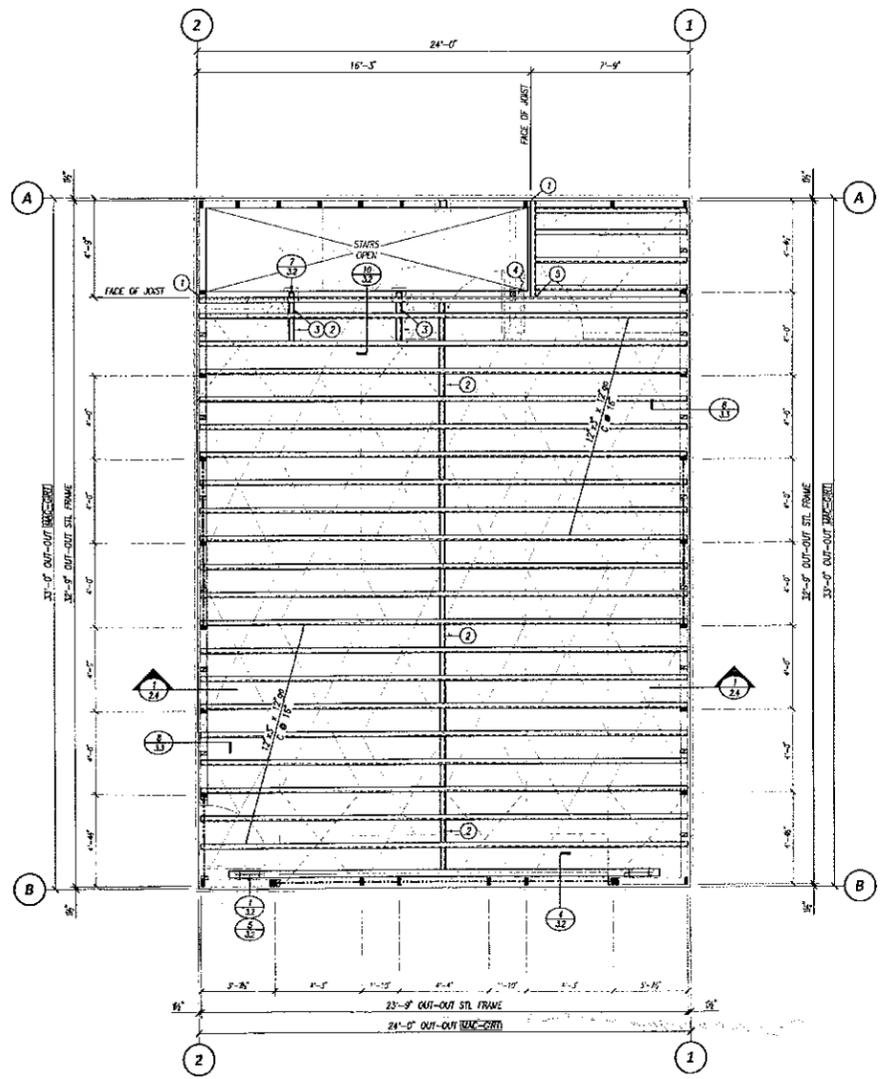
**DRAWING TITLE**  
 FOUNDATION PLAN  
 FLOOR FRAMING PLAN

**REVISIONS**

△ PWS/OWNER REVIEW	2014.2.10
△ SUBMITTAL FOR PC	2014.3.3

SUBMITTAL FOR PLAN CHECK

**DRAWN BY** CR  
**PRINT DATE** 2014.3.3  
**PERMIT NO**  
**AEI No** 14.06



**FLOOR FRAMING PLAN KEY NOTES**

1. 154x2 x 12" FILLER
2. 12" JOIST BRG w/ 12x20x120 x 10" CLP EA END w/ (6) 2x4x8 EA END
3. STRAP ON BOT OF JOISTS FROM BRACKED FRAME. SEE 7/12 & 10/12
4. (6) 2x4x8 FROM JOIST TO EA END
5. 1.5x3.0x120 x 10" w/ (10) 2x4x8 EA END

**FLOOR FRAMING PLAN**

**FLOOR FRAMING PLAN NOTES**

1. REFER TO SHEETS 1.1 & 3.1 - 3.3 FOR GENERAL NOTES & TYPICAL DETAILS.
2. THE CONTRACTOR SHALL COORDINATE THE WORK CONTAINED HEREIN WITH ALL OTHER WORK FOR THE PROJECT INCLUDING ARCHITECTURAL, CIVIL, MECHANICAL, PLUMBING, ELECTRICAL & LANDSCAPE.
3. THE CONTRACTOR TO VERIFY ALL DIMENSIONS & EXISTING CONDITIONS. REPORT ANY DISCREPANCIES IN WRITING TO THE STRUCTURAL ENGINEER.
4. FLOOR FRAMING:
  - A. 12"x5" x 12" on 1 @ 16" (GRD 55)
  - B. MIN 1" TAG CDX PLYWOOD (SPAN RATING 48/24) w/ 2x4x8 @ 6-12
5. DETERMINATION OF NEED FOR TEMPORARY SUPPORTS, INCLUDING DESIGN & INSTALLATION OF SUCH SUPPORTS, IS SOLELY THE RESPONSIBILITY OF THE CONTRACTOR.
6. CONTRACTOR TO ADDRESS ALL NON-STRUCTURAL ISSUES WHERE NON-STRUCTURAL ISSUES ARE COMMENTED ON IN THESE DRAWINGS, SUCH COMMENTS ARE FOR GENERAL INFORMATION ONLY. CONTRACTOR SHALL VERIFY & APPROVE ALL NON-STRUCTURAL ISSUES INCLUDING, BUT NOT LIMITED TO:
  - WATER PROOFING
  - VENTING
  - SITE DRAINAGE
  - NON-SLIP SURFACES
  - FINISHES, COLORS, TEXTURES
  - MECHANICAL, PLUMBING & ELECTRICAL SYSTEMS

**FOUNDATION KEY**

154x2 COLUMN	B	(22)	(12/16)	ALL QUANTITIES NOTED SHALL BE VERIFIED BY CONTRACTOR.
12x12 COLUMN & BEAMER	DB	(2)	(8/12)	
4" x 4" SLL ANCHOR BOLT	-	(36)	(8/12)	
2x4x8 HOLD DOWN	B	(14)	(12/16) (8/12)	

**FOUNDATION PLAN KEY NOTES**

1. 4" x 4" SLL ANCHOR BOLT - TOP SLL PER DETAIL 3/21 & 3/12
2. 2x4x8 PER 12/31, TOP AS SHOWN
3. SLAB JOINT, SEE 4/31
4. DAG STRAP BRACING:
  - MIN 5"x10"x8" STRAP w/ (16) 2x4x8 EA END
  - MIN 16"x16" DUBBS GUSSET @ FEM SLL w/ (12) 2x4x8 TO COL & BULK

**FOUNDATION PLAN**

**FOUNDATION PLAN NOTES**

1. REFER TO SHEETS 1.1 & 3.1 - 3.3 FOR GENERAL NOTES & TYPICAL DETAILS.
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3. THE CONTRACTOR TO VERIFY ALL DIMENSIONS & EXISTING CONDITIONS. REPORT ANY DISCREPANCIES IN WRITING TO THE STRUCTURAL ENGINEER.
4. FOOTINGS:
  - A. MIN DEPTH IS 1'-6" BELOW LOWEST ADJACENT GRADE, MIN 2'-0" FROM TOP OF SLAB. SEE 1/21 & 3/12. VERIFY FTG DEPTH w/ EXPANSION INDEX PER SCHEDULE ON FOUNDATION PLAN.
  - B. MIN WIDTH IS 12", 14" OR 2'-0" AS NOTED.
  - C. REINFORCE w/ MINIMUM (1) #6 CONT TOP & BOT @ 12" FTG, MIN 3" CLR TO SOL. ADM. REIN PER DETAILS.
  - D. MIN 2500 psi CONCRETE, SPECIAL INSPECTION IS NOT REQUIRED.
5. SLABS:
  - A. MIN 4" NET THICKNESS w/ #3 @ 16" EA WAY NEAR MD HT.
  - B. A VAPOR BARRIER IS RECOMMENDED UNDER THE SLAB. CONSIDER 6015' STEGO GLASS "A" w/ ALL EDGES & PENETRATIONS SEALED PER MANUFACTURER'S SPECIFICATIONS.
6. EMBEDDED ITEMS:
  - A. COORDINATE THE LOCATION OF ALL EMBEDDED ITEMS WITH THE FRAMING PLANS & APPROPRIATE DETAILS TO ALLOW FOR PROPER INSTALLATION.
  - B. ALL EMBEDDED ITEMS MUST BE SECURELY TIED INTO PLACE BEFORE FOUNDATION INSPECTION BY THE BUILDING OFFICIAL OR STRUCTURAL OBSERVATION BY THE STRUCTURAL ENGINEER.
  - C. UNO, ALL ANCHOR BOLTS IN NEW CONCRETE ARE CAST IN PLACE.
7. DETERMINATION OF NEED FOR TEMPORARY SUPPORTS, INCLUDING DESIGN & INSTALLATION OF SUCH SUPPORTS, IS SOLELY THE RESPONSIBILITY OF THE CONTRACTOR.
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  - FINISHES, COLORS, TEXTURES
  - MECHANICAL, PLUMBING & ELECTRICAL SYSTEMS

APPROVED  
 [Signature]  
 MAR 19 2014  
 [Signature]



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**GRIGGS STRUCTURE**  
 435 ATASCADERO ROAD  
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 APN: 000-000-000

**OWNER**  
 MR. DARYL GRIGGS  
 495 ATASCADERO ROAD  
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**CONTRACTOR**  
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**DRAWING TITLE**  
 ROOF FRAMING PLAN  
 BUILDING SECTION  
 FRAME ELEVATIONS

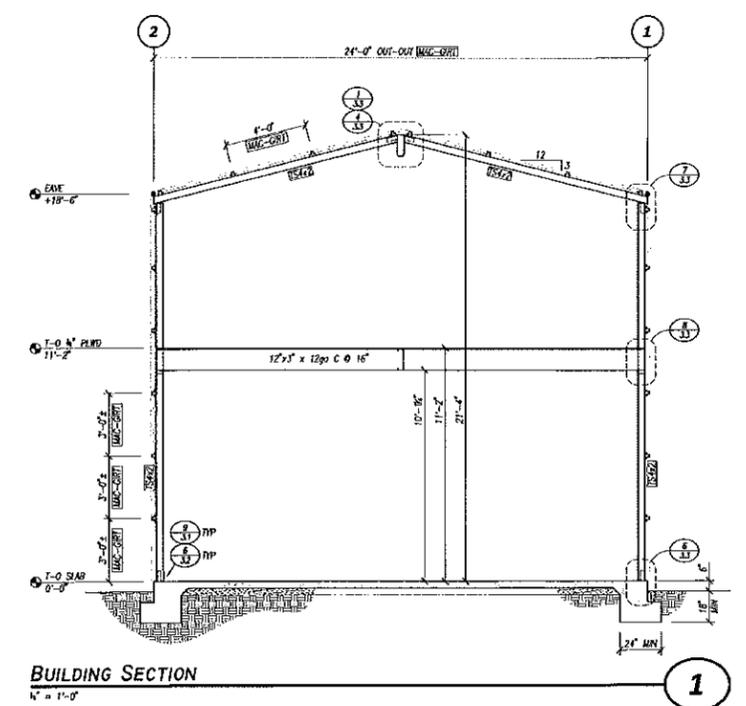
**REVISIONS**

△ PWS/OWNER REVIEW	2014.2.10
△ SUBMITTAL FOR PC	2014.3.3

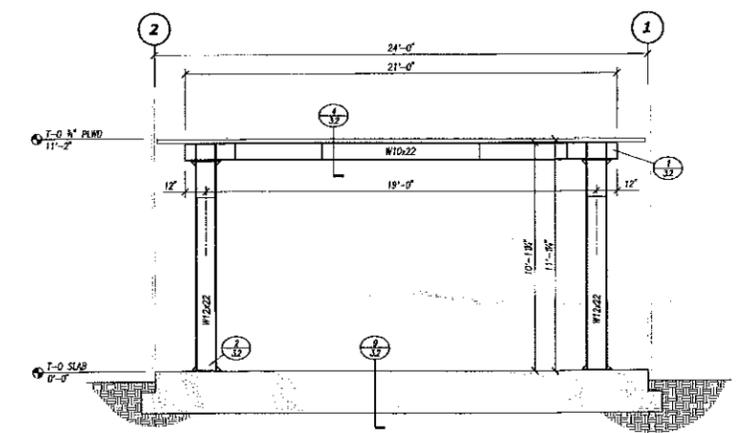
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**DRAWN BY** CR  
**PRINT DATE** 2014.3.3  
**PERMIT No**  
**AEI No** 14.06

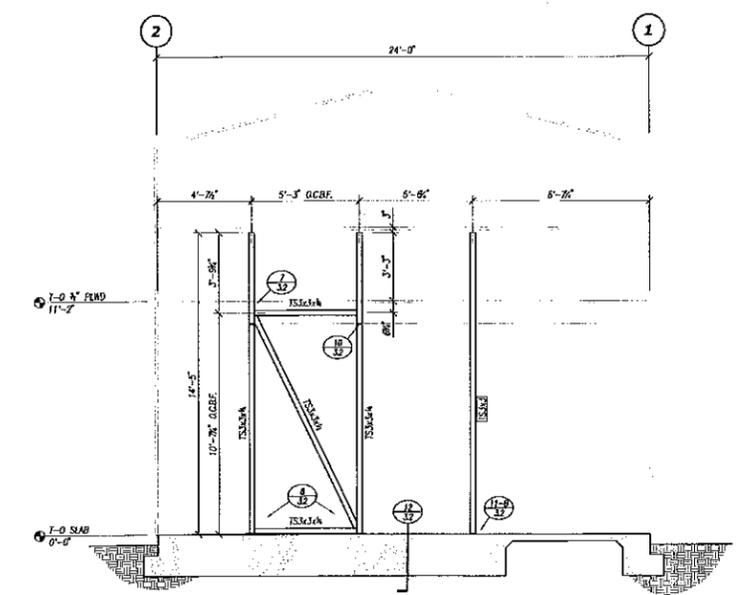
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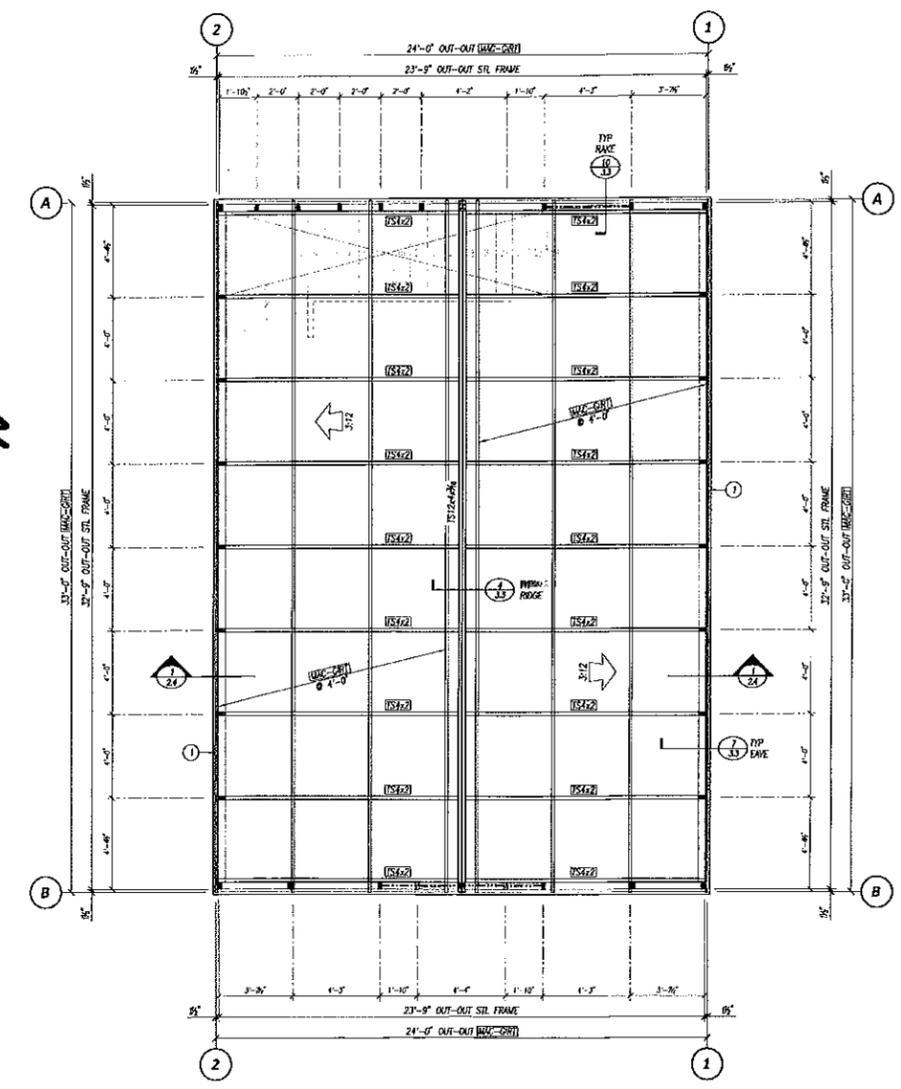
**BUILDING SECTION**  
 1/4" = 1'-0" **1**



**MOMENT FRAME ELEVATION**  
 1/4" = 1'-0" **2**



**BRACED FRAME ELEVATION**  
 1/4" = 1'-0" **3**



**ROOF FRAMING PLAN KEY NOTES**

- 1. **W10x22** @ ROOF EDGE & TOP OF WALL, INSTALL (2) **2x12** @ 16" O.C. "TENSION" SPACE ALL JOINTS w/ (6) **2x12** @ 16" O.C. PER 11/21. INSTALL **2x12** @ 5' O.C. FROM **W10x22**

**ROOF FRAMING PLAN**  
 1/4" = 1'-0"

**ROOF FRAMING NOTES**

1. REFER TO SHEETS 3.1 & 3.2 FOR GENERAL NOTES & TYPICAL DETAILS.
2. THE CONTRACTOR SHALL COORDINATE THE WORK CONTAINED HEREIN WITH ALL OTHER WORK FOR THE PROJECT INCLUDING ARCHITECTURE, CIVIL, MECHANICAL, PLUMBING, ELECTRICAL & LANDSCAPE.
3. THE CONTRACTOR TO VERIFY ALL DIMENSIONS & EXISTING CONDITIONS. REPORT ANY DISCREPANCIES IN WRITING TO STRUCTURAL ENGINEER. REPORT DISCREPANCIES TO STRUCTURAL ENGINEER IN WRITING.
4. ROOF & WALL SHEETING IS STRUCTURAL & REQUIRED TO RESIST WIND/SEISMIC LOADS. FASTENERS ARE REQUIRED AT EACH PERLINS/GIRT, AT THE PERIMETER & AT SIDE SEAMS, SEE PLANS FOR SPECIFIC SIZES & SPACING.
  - A. R-FASTER, MIN 20ga
  - B. FASTEN TO PERLINS/GIRTS @ 12"
  - C. STITCH SEAMS @ 20", UNO AS 12"
  - D. STITCH END SEAMS @ 5' O.C.
  - E. STITCH PERIMETER OF SHEET @ 5' O.C.
  - F. WHEN INSTALLED OVER INSULATION BLANKET, FASTEN TO ALL PERLINS/GIRTS @ 5' O.C.
5. ROOF VENTILATORS NOT SHOWN, REFER TO PURCHASE ORDER.

APPROVED  
 [Signature]  
 MAR 19 2014  
 [Signature]



**ARTISAN ENGINEERING INC.**  
REGISTERED PROFESSIONAL ENGINEERS



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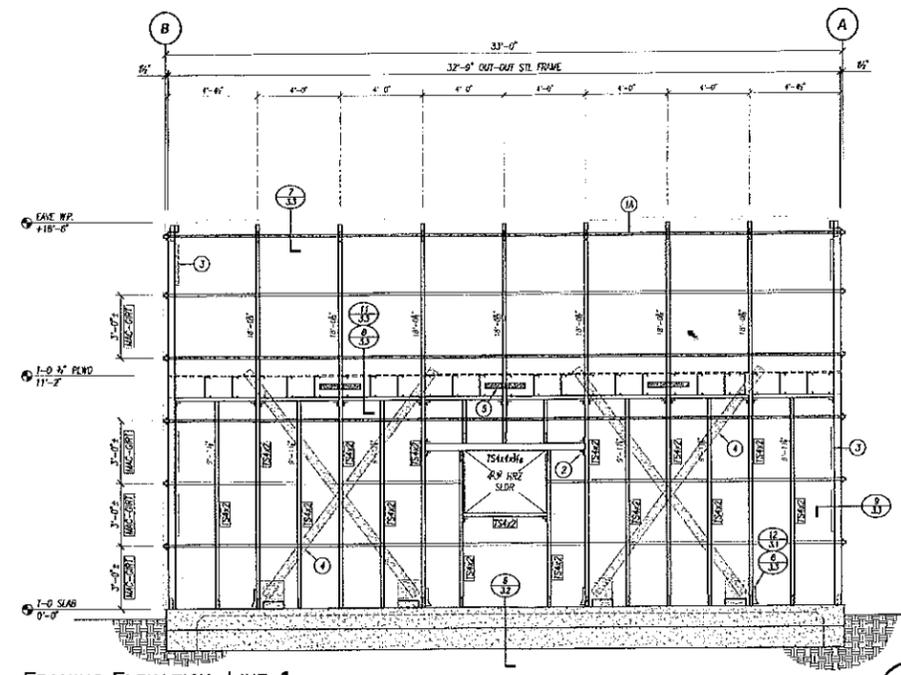
**DRAWING TITLE:**  
WALL FRAMING ELEVATIONS

REVISIONS	
△ PWS/OWNER REVIEW	2014.2.10
△ SUBMITTAL FOR PC	2014.3.3

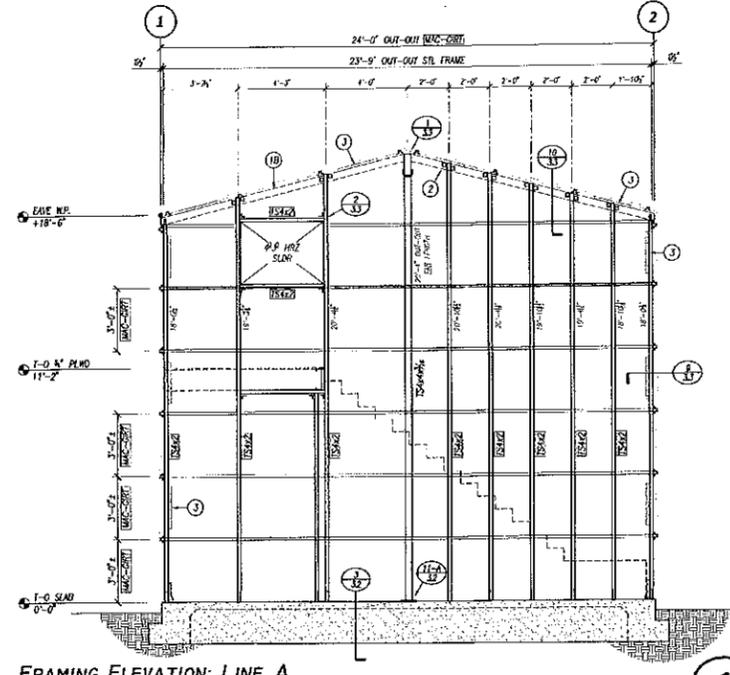
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**DRAWN BY:** CR  
**PRINT DATE:** 2014.3.3  
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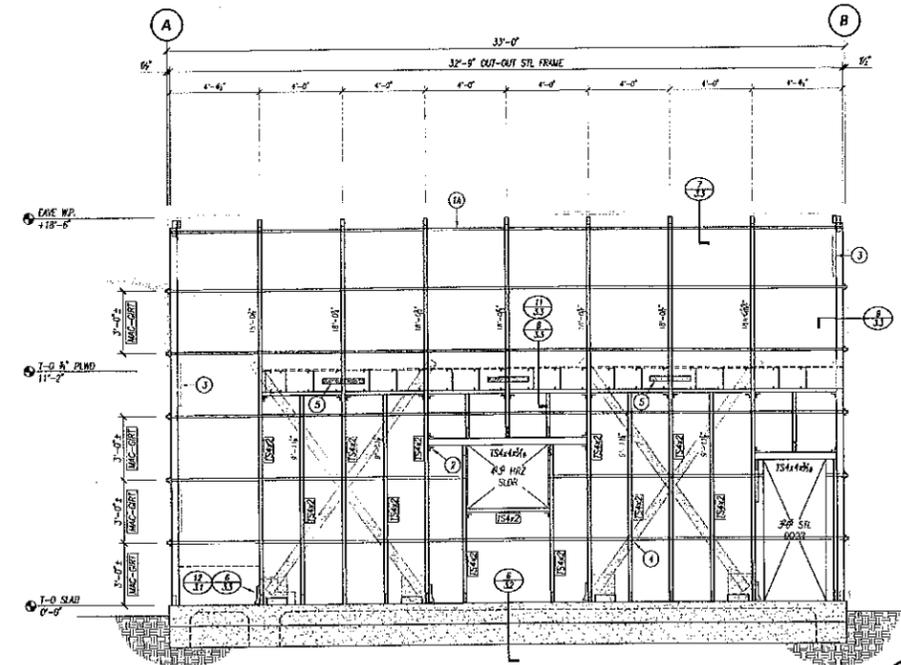
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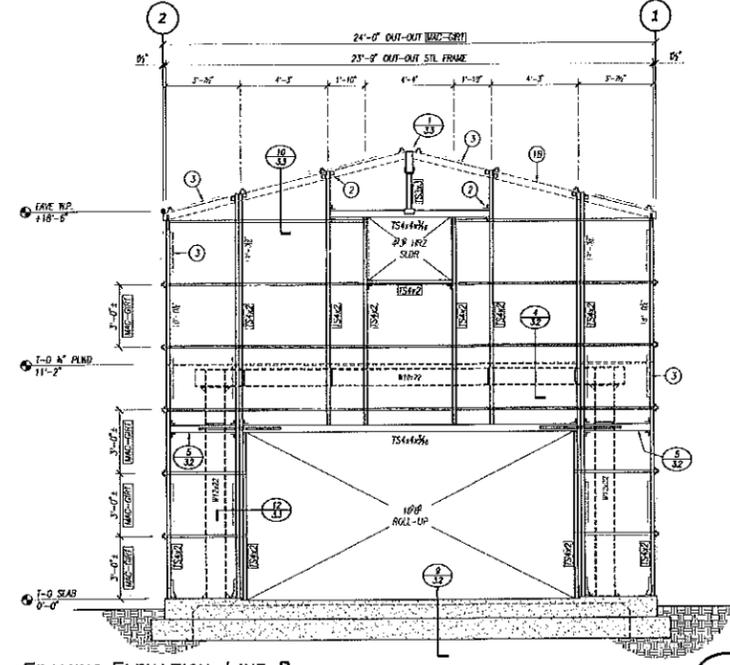
**FRAMING ELEVATION: LINE 1**  
N = 1'-0"



**FRAMING ELEVATION: LINE A**  
N = 1'-0"



**FRAMING ELEVATION: LINE 2**  
N = 1'-0"



**FRAMING ELEVATION: LINE B**  
N = 1'-0"

**APPROVED**  
MAR 19 2014  
State of California  
Professional Engineer  
Charles J. Griggs  
No. 4836

**WALL FRAMING ELEVATION KEY NOTES**

- WALL-CLIP
  - AT TOP OF WALL INSTALL (2)  $\frac{1}{2}$ " x 2" x 12" EA CONTACT "TENSION" SPACE ALL JOINTS w/ (6)  $\frac{1}{2}$ " x 2" x 12" PER 11/16" INSTALL  $\frac{1}{2}$ " x 2" x 12" @ 5'7" FROM RE-EXCEL
  - ADJ. SLOPED UP RAKE @ TOP OF FRAM, INSTALL (2)  $\frac{1}{2}$ " x 2" x 12" EA CONTACT NOT SHOWN FOR CLARITY
- END TRIP AS SHOWN w/ (3)  $\frac{1}{2}$ " x 2" x 12" EA LED
- $\frac{1}{2}$ " x 2" x 12" (x 24") w/ (4)  $\frac{1}{2}$ " x 2" x 12" TO STL FRAM & (4)  $\frac{1}{2}$ " x 2" x 12" FROM RE-EXCEL
- DIAG STRAP BRACING:
  - W/ 5"x10665" STRAP w/ (16)  $\frac{1}{2}$ " x 2" x 12" EA END
  - W/ 15"x1670665" CUSSET @ TDH SLL w/ (12)  $\frac{1}{2}$ " x 2" x 12" EA END TO COL & SLL
- STRAP 3"x10665" x 24" w/ (6)  $\frac{1}{2}$ " x 2" x 12" EA END TO LIND



**ARTISAN ENGINEERING**  
INCORPORATED

10000 S. 17th Street  
San Jose, CA 95128  
Tel: 408.261.1111



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**GRIGGS STRUCTURE**

495 ATASCADERO ROAD  
MORRO BAY, CA 93442

APN: 000-008700

**OWNER**  
MR. DARYL GRIGGS  
495 ATASCADERO ROAD  
MORRO BAY, CA 93442

**CONTRACTOR**

P.W.S. INC. B-850705  
5290 ORCUTT ROAD  
SAN LUIS OBISPO, CA 93401

PHONE: 805.547.8797

WWW.PWSSTEELBUILDINGS.COM

**DRAWING TITLE**

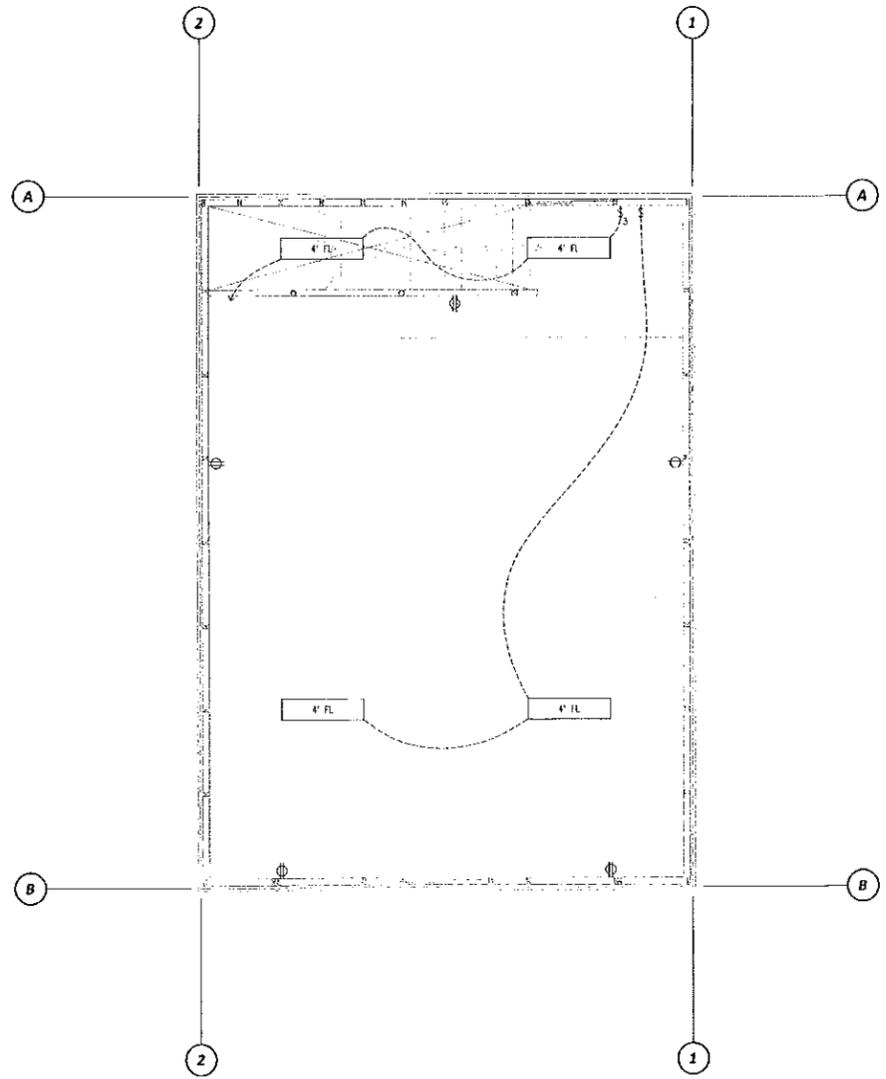
**REVISIONS**

△ PWS/OWNER REVIEW	2014.2.10
△ SUBMITTAL FOR PC	2014.3.3

**NEED FOR PLAN CHECK**

**DRAWN BY** CR  
**PRINT DATE** 2014.3.3  
**PERMIT NO**  
**AEI No** 14.06

**2.6**

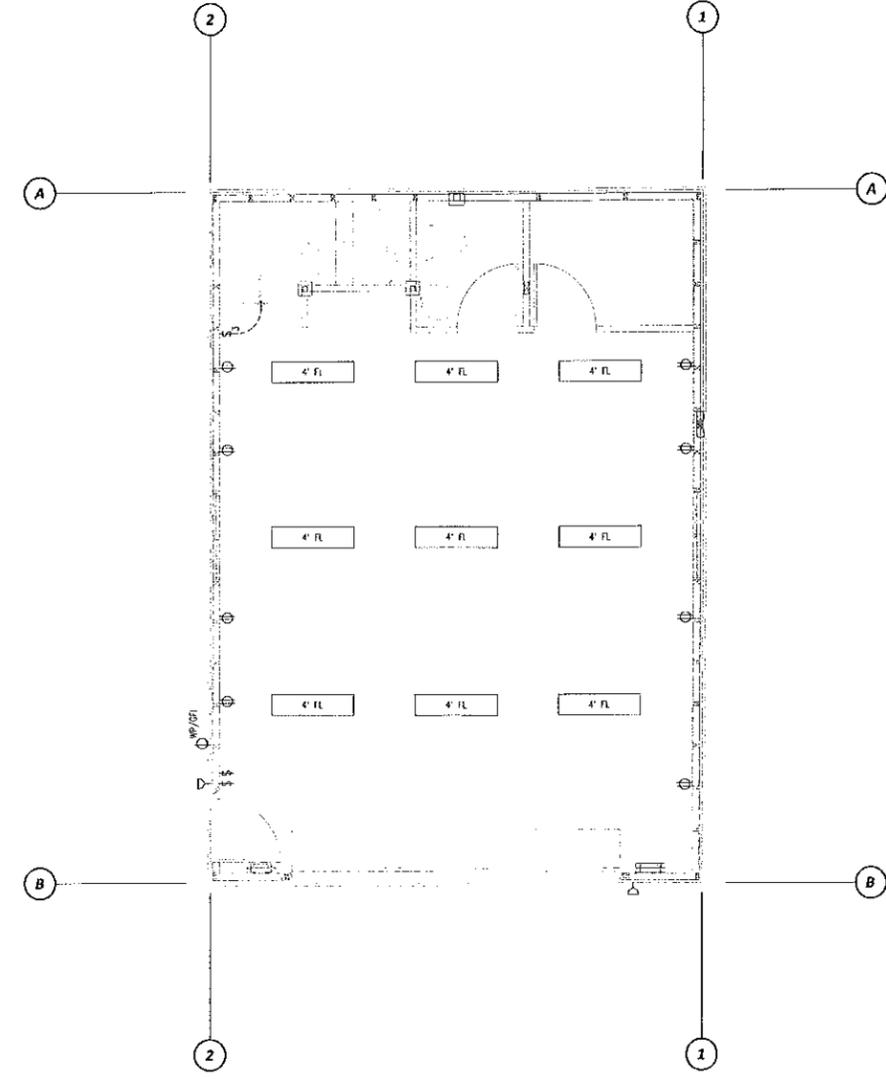


**SECOND FLOOR ELECTRICAL PLAN**

1" = 1'-0"

**SECOND FLOOR ELECTRICAL PLAN NOTES**

- REFER TO SHEETS 1.1 & 3.1 - 3.3 FOR GENERAL NOTES & TYPICAL DETAILS
- THE CONTRACTOR SHALL COORDINATE THE WORK CONTAINED HEREIN WITH ALL OTHER WORK FOR THE PROJECT INCLUDING ARCHITECTURAL, STRUCTURAL, CIVIL, MECHANICAL, PLUMBING, ELECTRICAL & LANDSCAPE.
- SEE ADDITIONAL NOTES FOR "FIRST FLOOR ELECTRICAL PLAN"



**FIRST FLOOR ELECTRICAL PLAN**

1" = 1'-0"

**FIRST FLOOR ELECTRICAL PLAN NOTES**

- REFER TO SHEETS 1.1 & 3.1 - 3.3 FOR GENERAL NOTES & TYPICAL DETAILS
- THE CONTRACTOR SHALL COORDINATE THE WORK CONTAINED HEREIN WITH ALL OTHER WORK FOR THE PROJECT INCLUDING ARCHITECTURAL, STRUCTURAL, CIVIL, MECHANICAL, PLUMBING, ELECTRICAL & LANDSCAPE.
- THE CONTRACTOR TO VERIFY ALL DIMENSIONS & EXISTING CONDITIONS. REPORT ANY DISCREPANCIES IN WRITING TO STRUCTURAL ENGINEER WORK IN THE AFFECTED AREA SHALL CEASE UNTIL SUCH CORRECTION IS RESOLVED.
- ALL WORK SHALL BE COMPLETED IN CONFORMANCE W/ THE CURRENT APPLICABLE CODE, SEE SHEET 1.1. FULL SPECIFICATIONS ARE NOT INCLUDED HEREIN. THE CONTRACTOR TO REFER TO APPLICABLE CODE SECTIONS.
- THE CONTRACTOR SHALL VERIFY CAPACITY OF NEW ELECTRICAL PANEL(S) & UPSIZE PANEL(S) AS/IF REQUIRED.
- THE CONTRACTOR SHALL VERIFY THE CAPACITY RATING OF THE NEW/EXISTING MAIN SERVICE PANEL & FEED LINE. THE CONTRACTOR SHALL UPSIZE EXISTING COMPONENTS AS NECESSARY.
- THE MAIN ELECTRICAL SERVICE PANEL MUST BE PROVIDED WITH A CONCRETE ENCASED ELECTRODE (UNDER GROUND) AS PER THE NEC. THE STEEL BUILDING FRAME MUST ALSO BE GROUNDING PER NEC §250.104(C).
- PROVIDE CODE COMPLIANT PLASTIC BUSHINGS TO PROTECT ALL WIRING AT METAL STUD WALLS. WHERE WALLS ARE NOT COVERED, USE IRON CONDUIT OR W.C. CONDUIT PER CODE.
- RECEPTACLES:
  - GFCI & WATERPROOF OUTLETS @ ALL EXTERIOR RECEPTACLES
  - GFCI OUTLETS @ ALL GUNNIE RECEPTACLES
  - ALL RECEPTACLES SHALL BE TAMPER RESISTANT
- LIGHTING:
  - ALL INDOOR LIGHTING SHALL HAVE HIGH EFFICACY LUMINAIRES
  - ALL OUTDOOR LIGHTING SHALL HAVE HIGH EFFICACY LUMINAIRES OR SHALL BE CONTROLLED BY A DAYLIGHT/AUTUMN SENSOR
  - ALL HIGH EFFICACY LIGHTING SHALL BE PERMANENTLY INSTALLED. IT IS NOT ACCEPTABLE TO INSTALL HIGH EFFICACY LUMINAIRES IN CONVENTIONAL LIGHTS. NO USE OF MEDIAN SCREW SOCKET BASE ALLOWED. BALLAST FOR LAMPS 15W OR GREAT SHALL BE ELECTRONIC & HAVE AN OUTPUT FREQUENCY NO LESS THAN 20kHz.

**ELECTRICAL PLAN KEY**

□	EXIT LIGHT (MOTION/LIGHT SENSOR)	□	DUPLEX OUTLET
□	FLUORESCENT LIGHT PER OWNER	□	WATER PROOF & GFI OUTLET
□	200 AMP PANEL w/ METER FEED FROM MAIN POLE	□	GFI OUTLET
		□	SWITCH
		□	THREE WAY SWITCH

APPROVED  
MAR 19 2014



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PROVED  
**GRIGGS STRUCTURE**  
 495 ATASCADERO ROAD  
 MORRO BAY, CA 93920  
 APN: 000-000-000

OWNER  
 Mr. DARYL GRIGGS  
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 5290 ORCUTT ROAD  
 SAN LUIS OBISPO, CA 93401

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DRAWING TITLE  
**TYPICAL DETAILS**

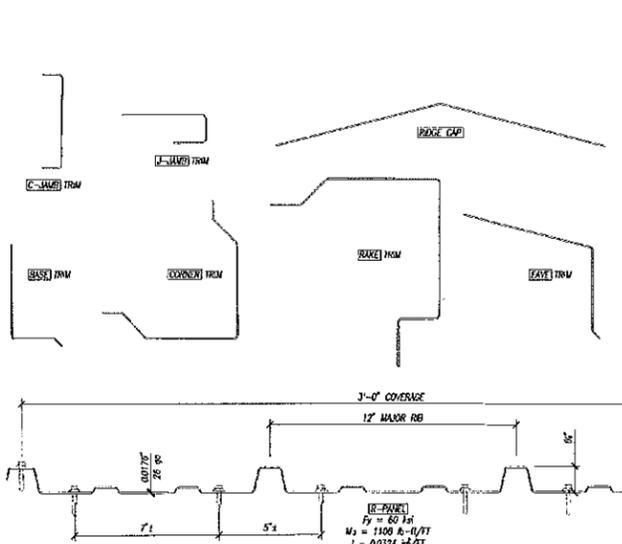
REVISIONS

△ PWS/OWNER REVIEW	2014.2.10
△ SUBMITTAL FOR PC	2014.3.3

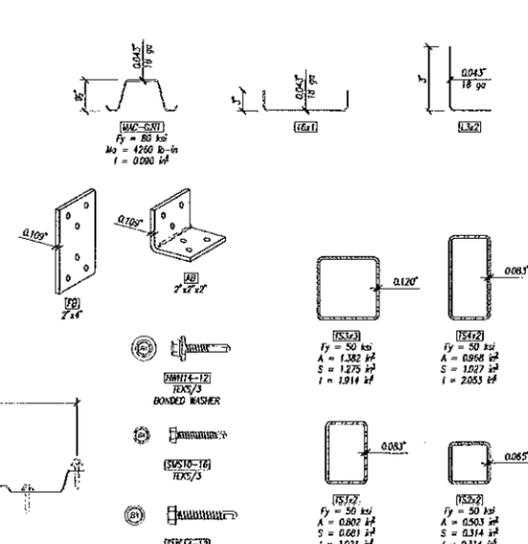
SUBMITTAL FOR PLAN CHECK

DRAWN BY CR  
 PRINT DATE 2014.3.3  
 PERMIT NO  
 AEI No 14.06

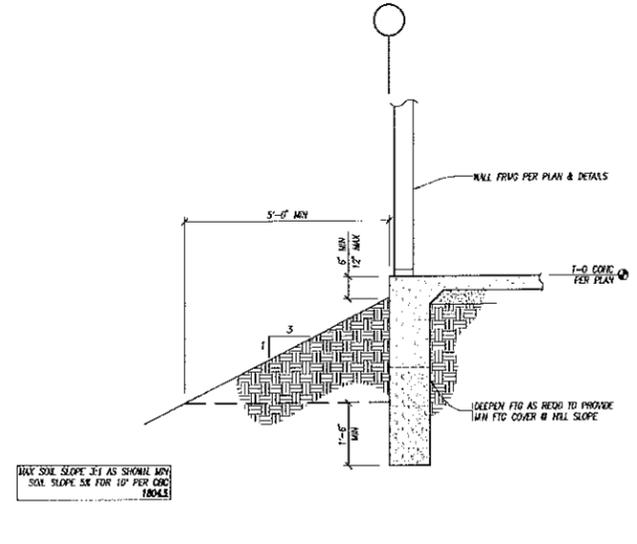
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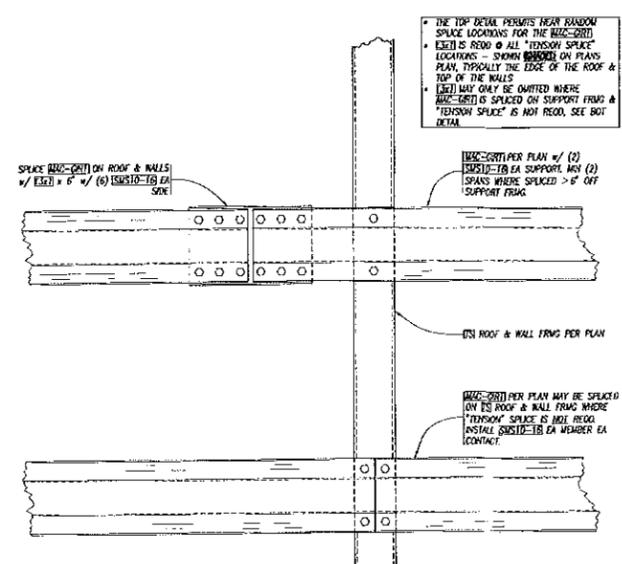
**TYPICAL MEMBERS**  
 $3' = 1'-0''$



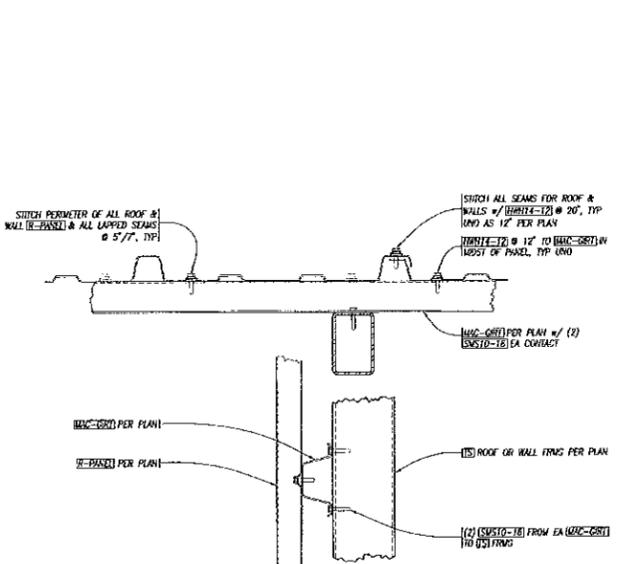
**TYPICAL SLAB SECTION & SLAB JOINT**  
 $1/4" = 1'-0''$



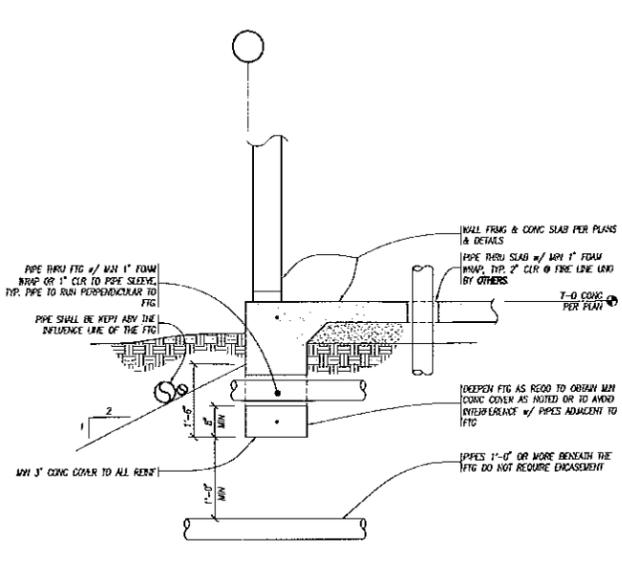
**MINIMUM FOOTING PENETRATION**  
 $3' = 1'-0''$



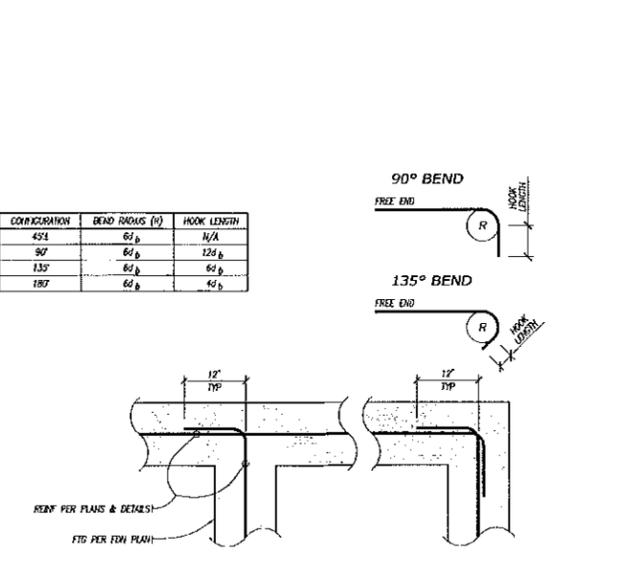
**TYPICAL PURLIN SPLICE**  
 $3' = 1'-0''$



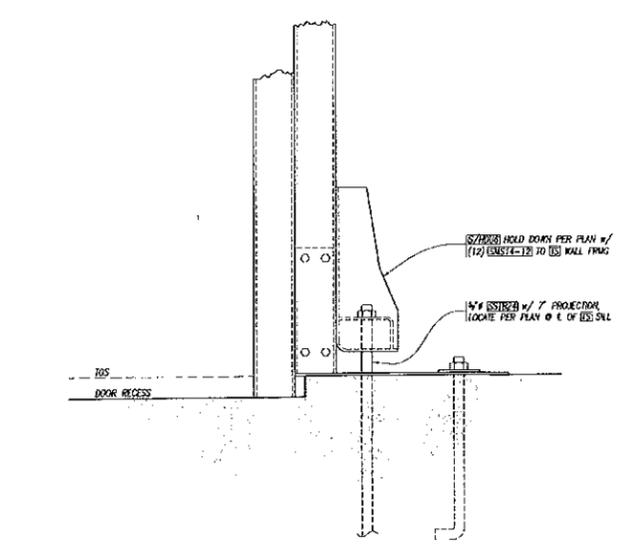
**TYPICAL PURLIN & STITCH SCREWS**  
 $5' = 1'-0''$



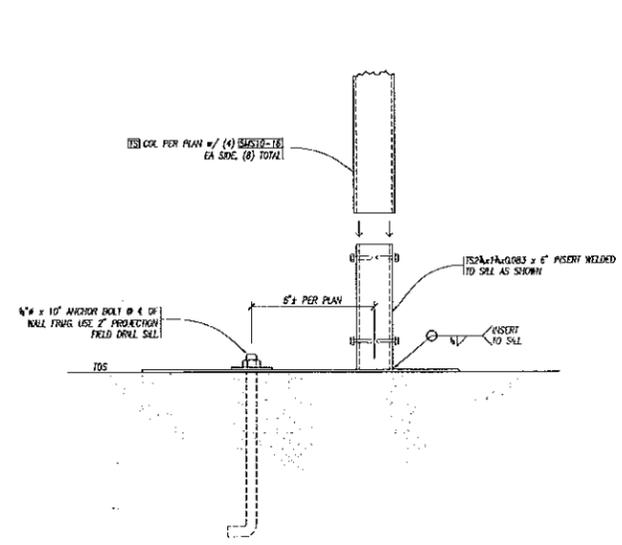
**PIPES NEAR FOOTINGS**  
 $3' = 1'-0''$



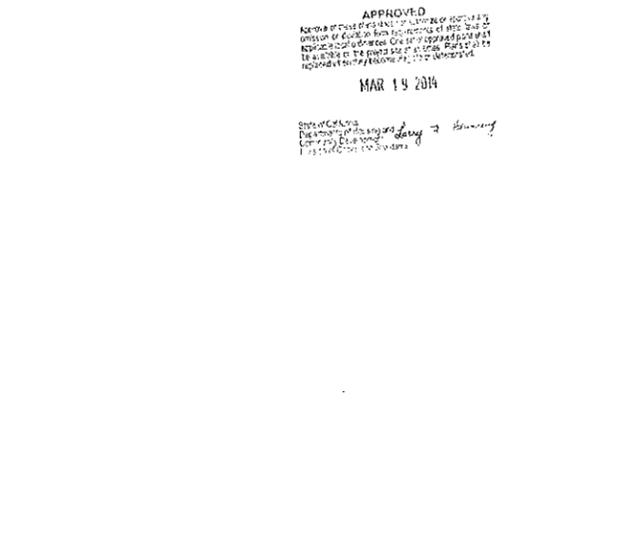
**TYPICAL FOOTING REINFORCING**  
 $3' = 1'-0''$



**TYPICAL HOLD DOWN**  
 $3' = 1'-0''$



**TYPICAL WALL COLUMN & INSERT**  
 $3' = 1'-0''$



**TYPICAL STEPPED FOOTING**  
 $3' = 1'-0''$

APPROVED  
 MAR 14 2014



**ARTISAN ENGINEERING**  
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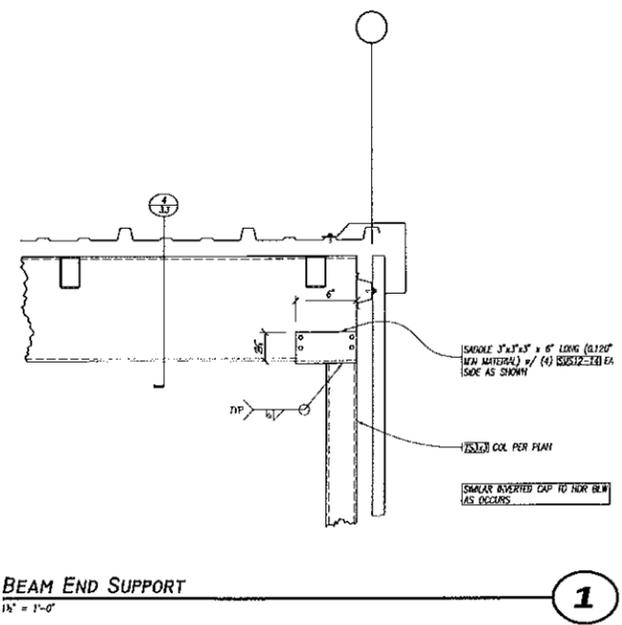
**DRAWING TITLE**  
 SPECIFIC DETAILS

REVISIONS		
△	PWS/OWNER REVIEW	2014.2.10
△	SUBMITTAL FOR PC	2014.3.3

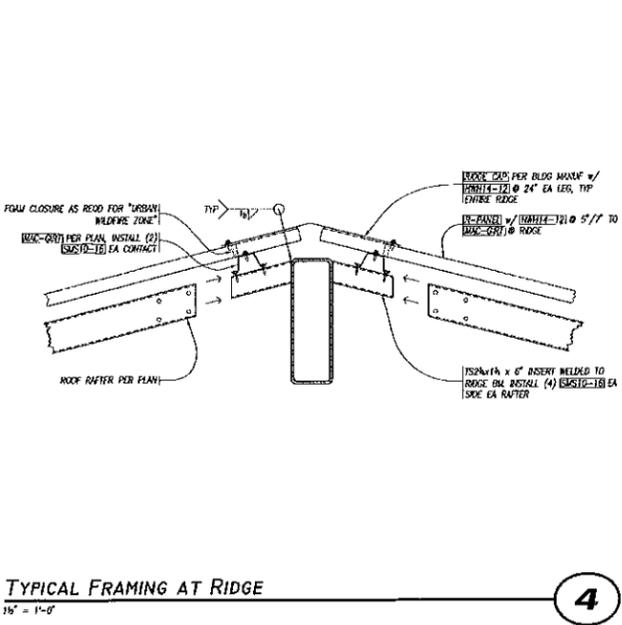
**SUBMITTAL FOR PLANS**

**DRAWN BY** CR  
**PRINT DATE** 2014.3.3  
**PERMIT NO**  
**AEI No** 14.06

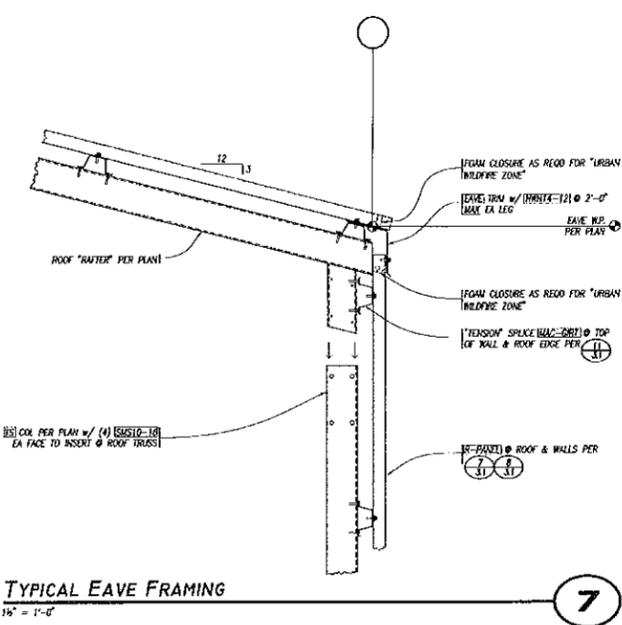
**3.3**



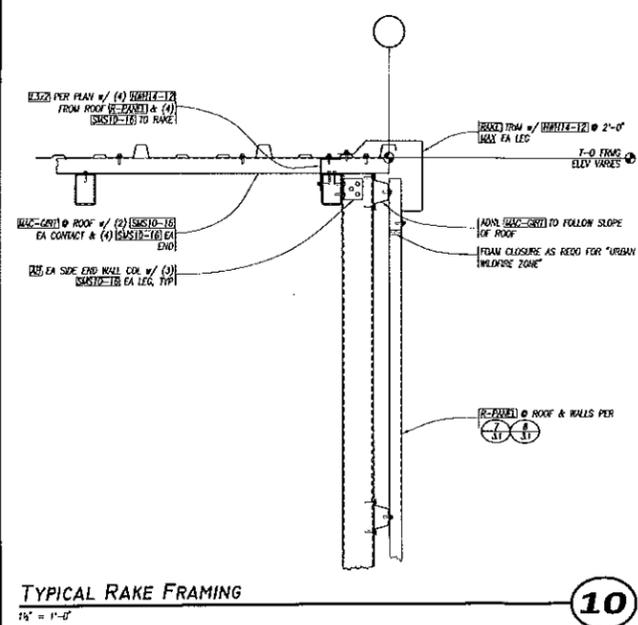
**1** BEAM END SUPPORT  
 1/2" = 1'-0"



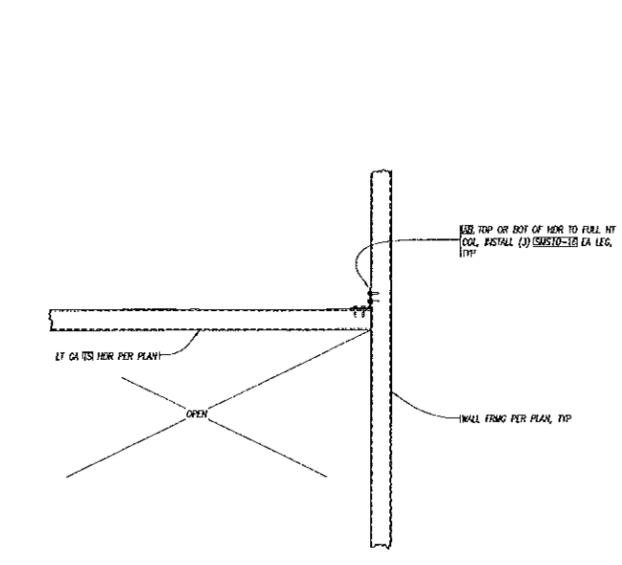
**4** TYPICAL FRAMING AT RIDGE  
 1/2" = 1'-0"



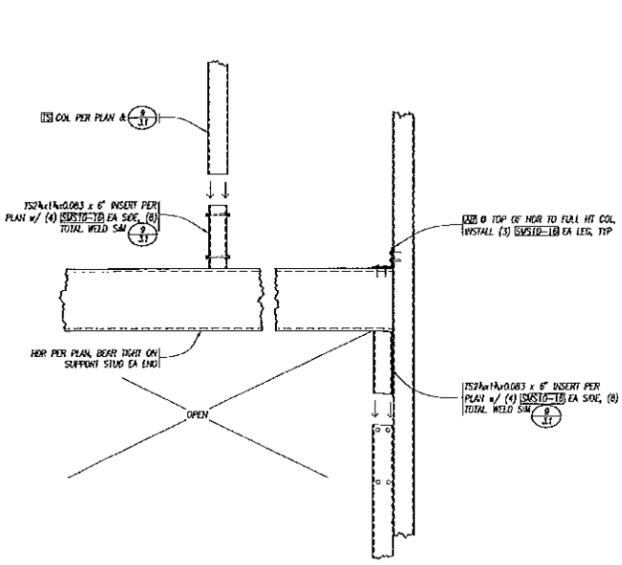
**7** TYPICAL EAVE FRAMING  
 1/2" = 1'-0"



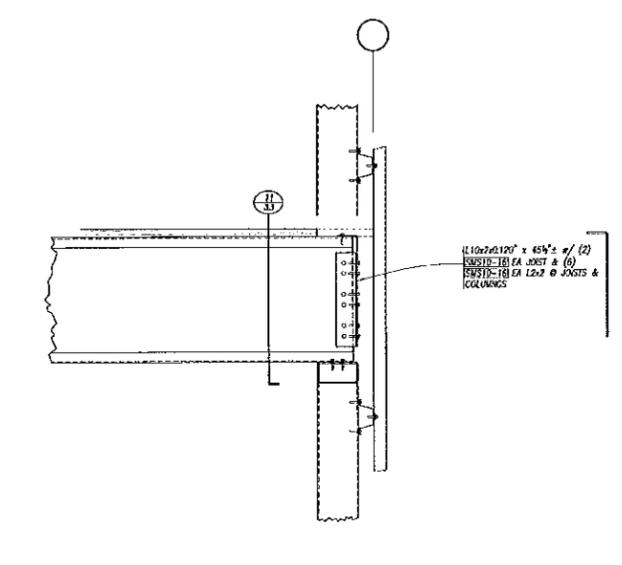
**10** TYPICAL RAKE FRAMING  
 1/2" = 1'-0"



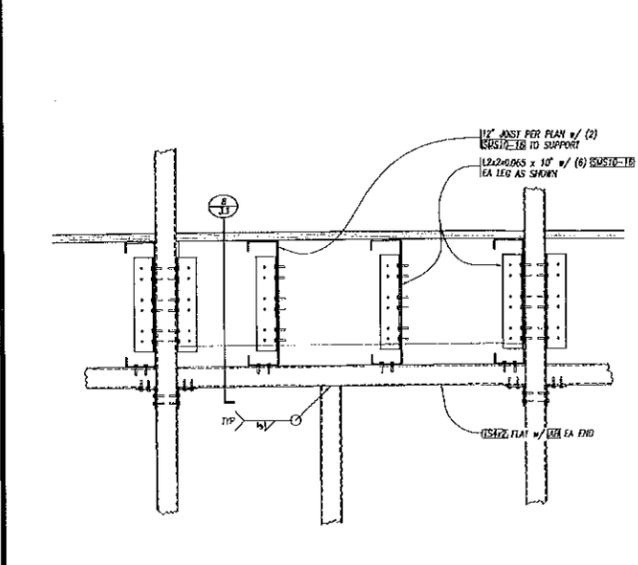
**2** TYPICAL NON-LOAD BEARING HEADER & SILL  
 1/2" = 1'-0"



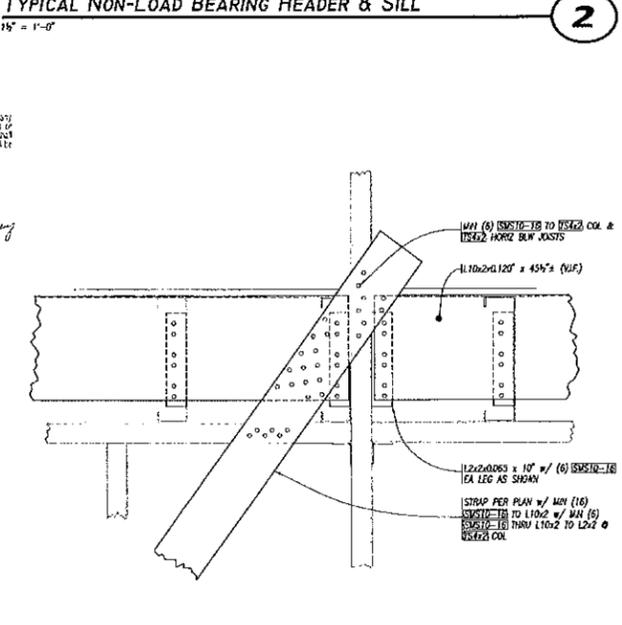
**5** TYPICAL LOAD BEARING HEADER  
 1/2" = 1'-0"



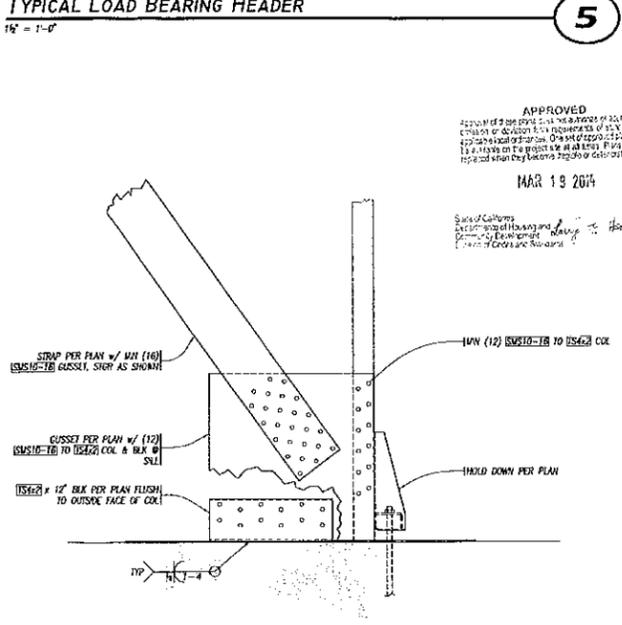
**8** FLOOR JOIST AT BEARING WALL  
 1/2" = 1'-0"



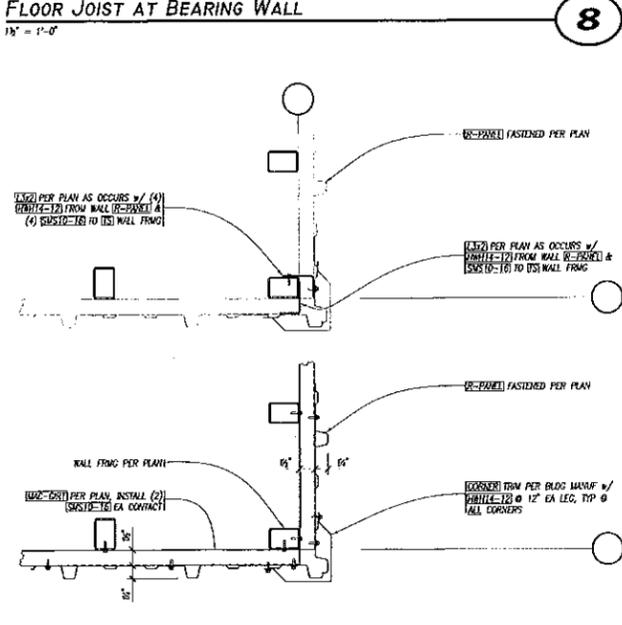
**11** FLOOR JOIST AT BEARING WALL  
 1/2" = 1'-0"



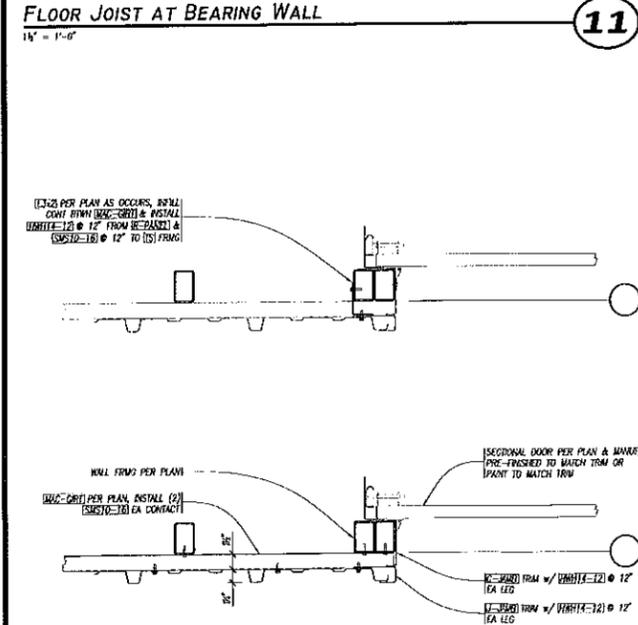
**3** DIAGONAL STRAP BRACING AT FLOOR  
 1/2" = 1'-0"



**6** DIAGONAL STRAP BRACING AT FOUNDATION  
 1/2" = 1'-0"



**9** TYPICAL EXTR CORNER FRAMING - PLAN  
 1/2" = 1'-0"



**12** TYPICAL SECTIONAL JAMB - PLAN  
 1/2" = 1'-0"

APPROVED  
 Approved as per plans and specifications of PWS, Inc. and in accordance with the California Building Code, Chapter 7, Division 10, Section 1001.1, and the California Building Code, Chapter 7, Division 10, Section 1001.2. This approval is based on the information provided and does not constitute a warranty of any kind. The contractor shall be responsible for the proper installation and use of the materials shown on these drawings.  
 MAR 19 2014  
 Charles J. Griggs  
 Professional Engineer  
 State of California  
 License No. 4836



AGENDA NO: B-2

MEETING DATE: May 21, 2019

## Staff Report

**TO:** Planning Commissioners      **DATE:** May 13, 2019

**FROM:** Willow Urquidi, Assistant Planner

**SUBJECT:** **962 Piney Way; Sign Exception Permit (SEP19-001)** Sign Exception Permit approval request to allow two freestanding monument signs where one monument sign is the maximum per MBMC section 17.68.110. The proposed signs are for St. Timothy's Church at 962 Piney Way, which sits on a 100,218 sq. ft. lot that has two different street frontages, with one monument sign proposed at each entrance. The property is zoned R-2 (Duplex Residential) and is located outside the Coastal Commission Appeals Jurisdiction.

**RECOMMENDATION:**

*CONDITIONALLY APPROVE THE PROJECT* by approving Planning Commission **Resolution 11-19** (Exhibit A) which includes the Findings and Conditions of Approval for the project depicted on site development plans dated April 29, 2019.

**APPLICANT:**

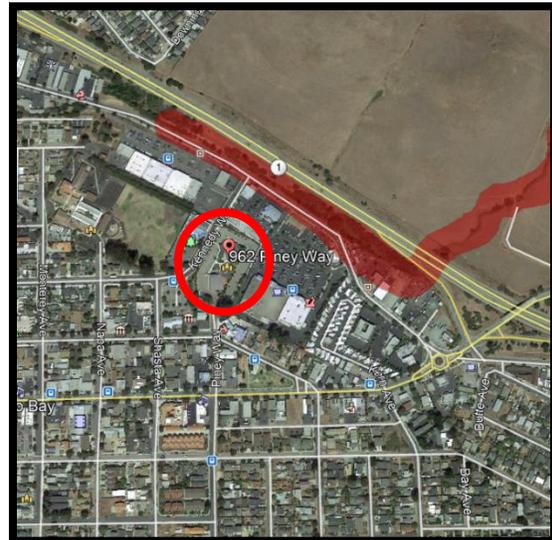
Curtis Bradley

**ADDRESS/APN:**

962 Piney Way; 066-280-019

**PROJECT DESCRIPTION:**

The Applicant is requesting approval for a second monument sign for a church building, where one monument sign exists already, and one is the maximum allowed by the Morro Bay Municipal Code. The existing sign faces Kennedy Way, and the proposed sign would be located adjacent to the Piney Way entrance.



**PROJECT SETTING:**

The project is located in an R-2 (Duplex Residential) Zone, outside the Coastal Commission Appeals Jurisdiction and designated as Planning Area 7, Central Morro Bay, in the Local Coastal Plan. This 100,218 sq. ft. lot is not visible from scenic Highway 1.

<b>Adjacent Zoning/Land Use</b>			
<b>North:</b>	C-1/C-2 (Central Business/General Commercial)	<b>South:</b>	G-O/S.4 (General Office/Special Overlay Zone)
<b>East:</b>	C-1 (Central Business)	<b>West:</b>	R-4 (Multiple Residential-Hotel-Professional)

<b>Site Characteristics</b>	
<b>Site Area</b>	100,218 square feet
<b>Existing Use</b>	Church
<b>Terrain</b>	Level and developed
<b>Vegetation/Wildlife</b>	Ornamental landscaping
<b>Archaeological Resources</b>	N/A
<b>Access</b>	Kennedy Way and Piney Way

<b>General Plan, Zoning Ordinance, &amp; Local Coastal Plan Designations</b>	
<b>General Plan/Coastal Plan Land Use Designation</b>	Medium Density
<b>Base Zone District</b>	R-2 (Duplex Residential)
<b>Zoning Overlay District</b>	N/A
<b>Special Treatment Area</b>	N/A
<b>Combining District</b>	N/A
<b>Specific Plan Area</b>	N/A
<b>Coastal Zone</b>	Located outside the Coastal Commission Appeal Jurisdiction

**PROJECT DISCUSSION:**

**Background**

The church was first completed in 1950 as a one room church. In 1964, a second building was built which is the existing main building facing Kennedy Way. The original church facility was converted into the parish hall, in addition an interior remodel was done to make new classrooms. In 2010, a Conditional Use Permit and Coastal Development Permit (UP0-281 and CP0-314) were approved by Planning Commission allowing an approximately 2,283 sf addition and remodel of the existing structure and parking area. In 2011, a Minor Use Permit (UP0-309) was approved to allow for demolition and remodel of a belfry to match the height of the existing belfry. In 2015, a Minor Modification to the existing Coastal Development Permit was approved for the remodeling of 315 square feet of existing floor area as well as the addition of 147 square feet to allow for two enlarged and remodeled restrooms.

**Project Evaluation**

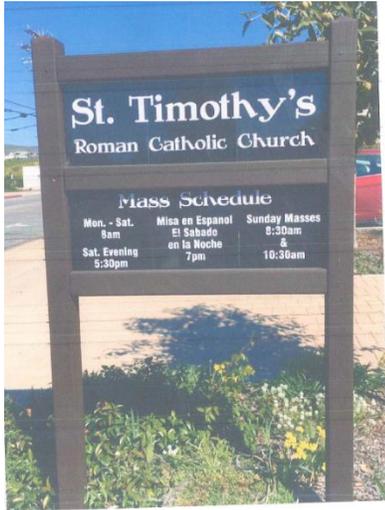
The Applicant proposes to install a new 6' monument sign adjacent to the Church parking lot entrance on Piney Way. The sign is proposed to read "St. Timothy's | Roman Catholic Church" on the top portion and "Hall and Office Entrance" on the bottom portion. The actual sign area will be approximately 10 square feet. There is currently a similarly sized and designed sign located at the Kennedy Way entrance. There is no sign permit currently on file for the existing monument sign, so this Sign Exception Permit would be to allow both monument signs.



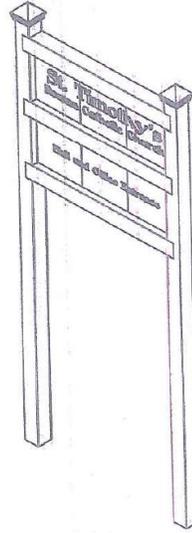
Existing Monument Sign Location



Proposed Monument Sign Location



Existing Monument Sign



Proposed Monument Sign

Section 17.68.110 of Morro Bay Municipal Code (MBMC) allows for “One surface sign or monument sign not to exceed .5 square feet per one linear foot of frontage or twenty-four square feet, whichever is less” for signs in Residential Zones. With the two Church buildings, the linear frontage is 171 feet, where 24 square feet is less than the 85.5 square feet calculated from the 171 linear feet. Combined, the square footage of the two monument signs is less than the 24 square foot maximum sign area, at roughly 10 square feet each. Additionally, the Church faces two public rights-of-way, and MBMC allows “the full authorized sign area on one street and one half the authorized sign area on the other street(s).”



Section 17.68.060 specifies criteria that must be met in order to grant a sign permit or sign exception permit, and it is Staff's determination that allowing two similarly sized and designed monument signs at 962 Piney Way would meet the criteria in the following ways:

1. Consistent with the intent and purpose of the Sign chapter;
2. The proposed signs would not constitute a detriment to public health, safety, and welfare;
3. The size, shape, color, materials, design and location(s) of the proposed signs are compatible and bear harmonious relationship to all signs on the parcel and to the use, as well as to the neighborhood;
4. The proposed signs would be designed as an integral part of the total building design;
5. The location and design of the proposed signs would be visible and legible under normal viewing conditions;
6. The location and design of the proposed signs would not obscure from view or unduly detract from existing signs;
7. The location and design of the proposed signs would not detract or interfere or intrude upon adjacent properties or their occupants;
8. The location and design of the proposed signs would not adversely affect the value or character of the surrounding area;
9. That the proposed signs are not at a City entryway as defined by the Scenic Highway Element.
10. The signs will not be contrary to the purpose of the sign ordinance, will not be materially detrimental to the health, safety, comfort or general welfare of persons residing in the neighborhood or detrimental or injurious to property improvements in the neighborhood or to the general welfare of the city, and the that any adverse effects can be prevented with the imposition of project conditions.

**PUBLIC NOTICE:**

Notice of this item was posted at the site and published in the San Luis Obispo Tribune newspaper on May 10, 2019, and all property owners and occupants of record within 500 feet of the subject site were notified of this evening's public hearing and invited to voice any concerns on this application.

**ENVIRONMENTAL DETERMINATION:**

Pursuant to the California Environmental Quality Act the project is Categorically Exempt under the Class 11, Section 15311, exemption for Accessory Structures. Class 11 provides for construction, or placement of minor structures accessory to

(appurtenant to) existing commercial, industrial, or institutional facilities including, but not limited to on-premise signs, small parking lots, placement of seasonal or temporary use items.

**CONCLUSION:**

The proposed project is consistent with all applicable standards of the Zoning Ordinance, applicable provisions of the General Plan, and Local Coastal Plan. The project has been found to be exempt from CEQA.

**RECOMMENDATION:**

Staff recommends the Planning Commission approve the requested Sign Exception Permit (SEP19-001) for the proposed project at 962 Piney Way, as shown on plans dated April 29, 2019 by adopting Planning Commission **Resolution 11-19** which includes the Findings and Conditions of Approval for the project.

**EXHIBITS:**

Exhibit A – Planning Commission Resolution 11-19

Exhibit B – Sign Exception Permit Submittal Materials

## RESOLUTION NO. PC 11-19

### A RESOLUTION OF THE MORRO BAY PLANNING COMMISSION APPROVING SIGN EXCEPTION PERMIT (SEP19-001)

**WHEREAS**, the Planning Commission of the City of Morro Bay (the “City”) conducted a public hearing at the Morro Bay Veteran’s Hall, 209 Surf Street, Morro Bay, California, on May 21, 2019, for the purpose of considering Sign Exception Permit (SEP19-001) at 962 Piney Way (APN 066-280-019); and

**WHEREAS**, notice of the public hearing was provided at the time and in the manner required by law; and

**WHEREAS**, the Planning Commission has duly considered all evidence, including the testimony of the applicant, interested parties, and the evaluation and recommendations by staff, presented at said hearing.

**NOW, THEREFORE, BE IT RESOLVED** by the Planning Commission of the City of Morro Bay as follows:

**Section 1: Findings.** Based upon all the evidence, the Commission makes the following findings:

#### California Environmental Quality Act (CEQA)

1. The project is Categorical Exempt under the Class 11, Section 15311, exemption for Accessory Structures. Class 11 provides for construction, or placement of minor structures accessory to (appurtenant to) existing commercial, industrial, or institutional facilities including, but not limited to on-premise signs, small parking lots, placement of seasonal or temporary use items. Additionally, none of the Categorical Exemption exceptions, noted under Section 15300.2 apply to the project.

#### Sign Exception Permit Findings

1. The proposed signs are consistent with the intent and purpose of the Sign chapter;
2. The proposed signs would not constitute a detriment to public health, safety, and welfare;
3. The size, shape, color, materials, design and location(s) of the proposed signs are compatible and bear harmonious relationship to all signs on the parcel and to the use, as well as to the neighborhood;
4. The proposed signs would be designed as an integral part of the total building design;
5. The location and design of the proposed signs would be visible and legible under normal viewing conditions;
6. The location and design of the proposed signs would not obscure from view or unduly detract from existing signs;

7. The location and design of the proposed signs would not detract or interfere or intrude upon adjacent properties or their occupants;
8. The location and design of the proposed signs would not adversely affect the value or character of the surrounding area;
9. That the proposed signs are not at a City entryway as defined by the Scenic Highway Element.
10. The signs will not be contrary to the purpose of the sign ordinance, will not be materially detrimental to the health, safety, comfort or general welfare of persons residing in the neighborhood or detrimental or injurious to property improvements in the neighborhood or to the general welfare of the city, and the that any adverse effects can be prevented with the imposition of project conditions.

**Section 2: Action.** The Planning Commission does hereby approve Sign Exception Permit (SEP19-001) subject to the following conditions:

**STANDARD CONDITIONS:**

1. Permit: This permit is granted for the land described on Assessor Parcel Number 066-280-019 to allow two freestanding monument signs where one monument sign is the maximum per MBMC section 17.68.110 as depicted on plans date stamped April 29, 2019, and on file with the Community Development Department, and as modified by these conditions of approval. Signs shall be located and designed substantially as shown on plans, unless otherwise specified herein.
2. Inaugurate Within Two Years: Unless the construction or operation of the structure, facility, or use is commenced not later than two (2) years after the effective date of this approval and is diligently pursued thereafter, this approval will automatically become null and void; provided, however, that upon the written request of the applicant, prior to the expiration of this approval, the applicant may request up to two extensions for not more than one (1) additional year each. Said extensions may be granted by the Director, upon finding that the project complies with all applicable provisions of the Morro Bay Municipal Code, General Plan and Local Coastal Program Land Use Plan (LCP) in effect at the time of the extension request.
3. Changes: Any minor change may be approved by the Community Development Director. Any substantial change will require the filing of an application for an amendment.
4. Compliance with the Law: All requirements of any law, ordinance or regulation of the State of California, City of Morro Bay, and any other governmental entity shall be complied with in the exercise of this approval.
5. Hold Harmless: The applicant, as a condition of approval, hereby agrees to defend, indemnify, and hold harmless the City, its agents, officers, and employees, from any claim, action, or proceeding against the City as a result of the action or inaction by the City, or from any claim to attack, set aside, void, or annul this approval by the City of the applicant's project; or

applicant's failure to comply with conditions of approval. This condition and agreement shall be binding on all successors and assigns.

6. Compliance with Conditions: Compliance with and execution of all conditions listed hereon shall be necessary, unless otherwise specified, prior to obtaining final building inspection clearance. Deviation from this requirement shall be permitted only by written consent of the Planning and Building Director and/or as authorized by the Planning Commission. Failure to comply with these conditions shall render this entitlement, at the discretion of the Director, null and void. Continuation of the use without a valid entitlement will constitute a violation of the Morro Bay Municipal Code and is a misdemeanor.
7. Archaeology: In the event of the unforeseen encounter of subsurface materials suspected to be of an archaeological or paleontological nature, all grading or excavation shall immediately cease in the immediate area, and the find should be left untouched until a qualified professional archaeologist or paleontologist, whichever is appropriate, is contacted and called in to evaluate and make recommendations as to disposition, mitigation and/or salvage. The developer shall be liable for costs associated with the professional investigation.
8. Compliance with Morro Bay Standards: This project shall meet all applicable requirements under the Morro Bay Municipal Code, and shall be consistent with all programs and policies contained in the certified Coastal Land Use plan and General Plan for the City of Morro Bay.

### **PLANNING CONDITIONS:**

1. CEQA Exemption: If the applicant elects to post the Categorical Exemption with the County Clerk's Office then a required fee of \$50 fee shall be made payable to "County of San Luis Obispo" and delivered to the County Clerk along with the Categorical Exemption form attached to the coastal development permit. This filing has the effect of starting a 35-day statute of limitations period for challenges to the decision in place of the 180-day period otherwise in effect.
2. Construction Hours: Construction Hours: Pursuant to section 9.28.030.1, Noise-generating activity using equipment in such a manner as to be plainly audible at a distance of fifty feet from the building shall be limited to between the hours of seven a.m. and seven p.m. on weekdays and eight a.m. and seven p.m. on weekends except in case of urgent necessity in the interest of public health and safety, and then only with a permit from the community development department, which permit may be granted for a period not to exceed three days or less while the emergency continues and which permit may be renewed for a period of three days or less while the emergency continues.
3. Sign Design: Sign color and materials shall be as shown on plans approved by the Planning Commission and specifically called out on the plans submitted for a Building Permit to the satisfaction of the Community Development Director.

PASSED AND ADOPTED by the Morro Bay Planning Commission at a regular meeting thereof held on this 21st day of May 2019 on the following vote:

AYES:

NOES:

ABSENT:

ABSTAIN:

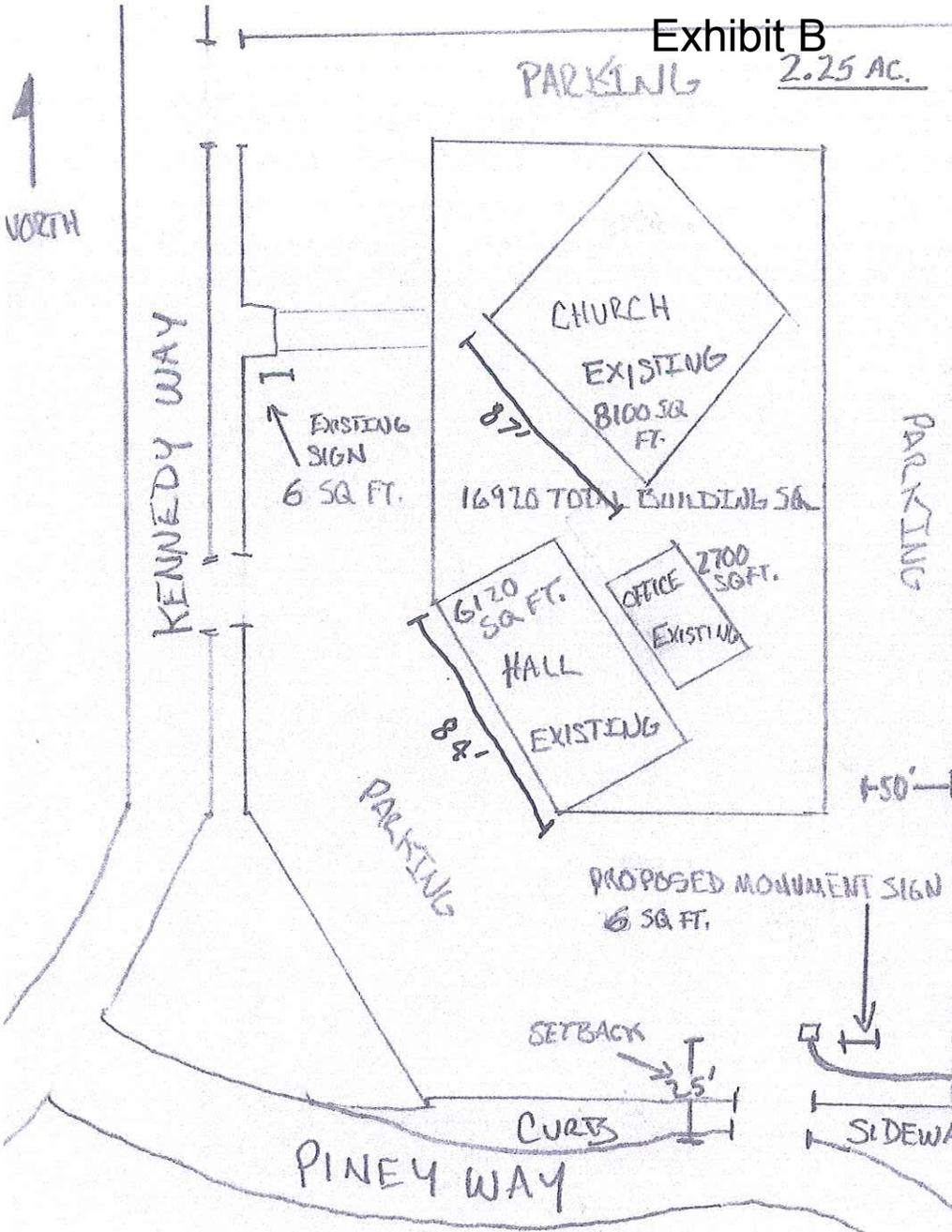
\_\_\_\_\_  
Chairperson Gerald Luhr

ATTEST

\_\_\_\_\_  
Scot Graham, Planning Secretary

The foregoing resolution was passed and adopted on this 21st day of May 2019.

Exhibit B



ST. TIMOTHY CHURCH  
 962 PINEY WAY  
 MORRO BAY

PROPOSED MONUMENT SIGN

ASSESSMENT OGG-280-019

SETBACK:

25' PINEY WAY  
 50' EAST BOUNDARY WALL

\* SIGN TO BE PLACED  
 BEHIND EXISTING  
 BLOCK WALL

LINEAR FOOT FRONTAGE  
 KENNEDY WAY 427'  
 PINEY WAY 248'  
 TOTAL LINEAR FEET 675'

EXISTING BLOCK WALL

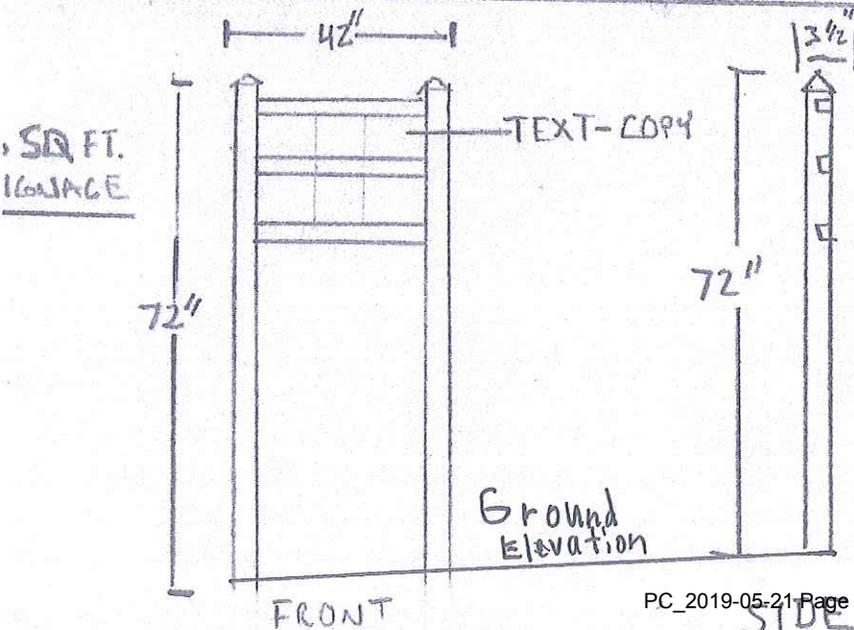
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SITE PLAN

ZONE C2



TEXT-COPY  
 ST. TIMOTHY'S  
 ROMAN CATHOLIC CHURCH  
 HALL AND OFFICE ENTRANCE

WOODEN 4X4 LUMBER  
 W/ 6 12"X12" BLACK  
 GRANITE TILES ENGRAVED  
 IN WHITE LETTERING  
 TO MATCH EXISTING SIGN  
 PLACED IN CONCRETE  
 FOOTINGS

CURTIS BRADLEY  
 BAY SCOUT FAMILIE PROTECT

# Exhibit B

St. Timothy's Church: 962 Piney Way Morro Bay

Proposed Sign location: Piney Way Entrance.

Proposed sign dimensions: 70" High x 42" Wide x 3 1/2" thick.

Construction: Wood and granite tile

Paint: Valspar Aspire/ Exterior Satin Red Rock D7-7 on file at Miners Hardware same color used in Morro Bay parks.

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**Proposed sign to read**

Top Line: St. Timothy's  
Middle line: Roman Catholic Church  
Bottom line: Hall and Office Entrance

Eagle Scout Project By

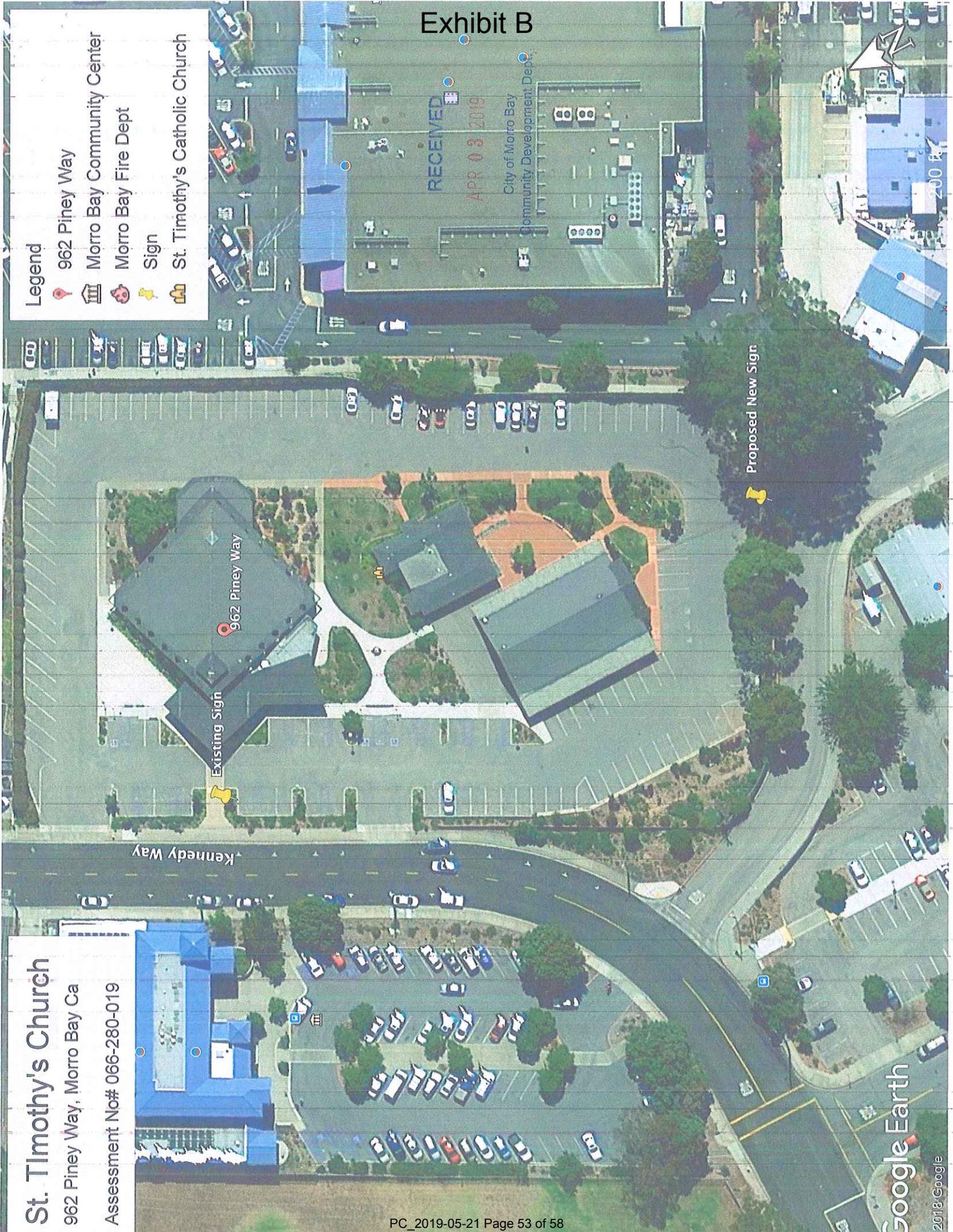
Curtis Bradley Troop 214 Morro Bay / Los Osos  
2299 Emerald Circle  
Morro Bay, Ca. 805-225-1095



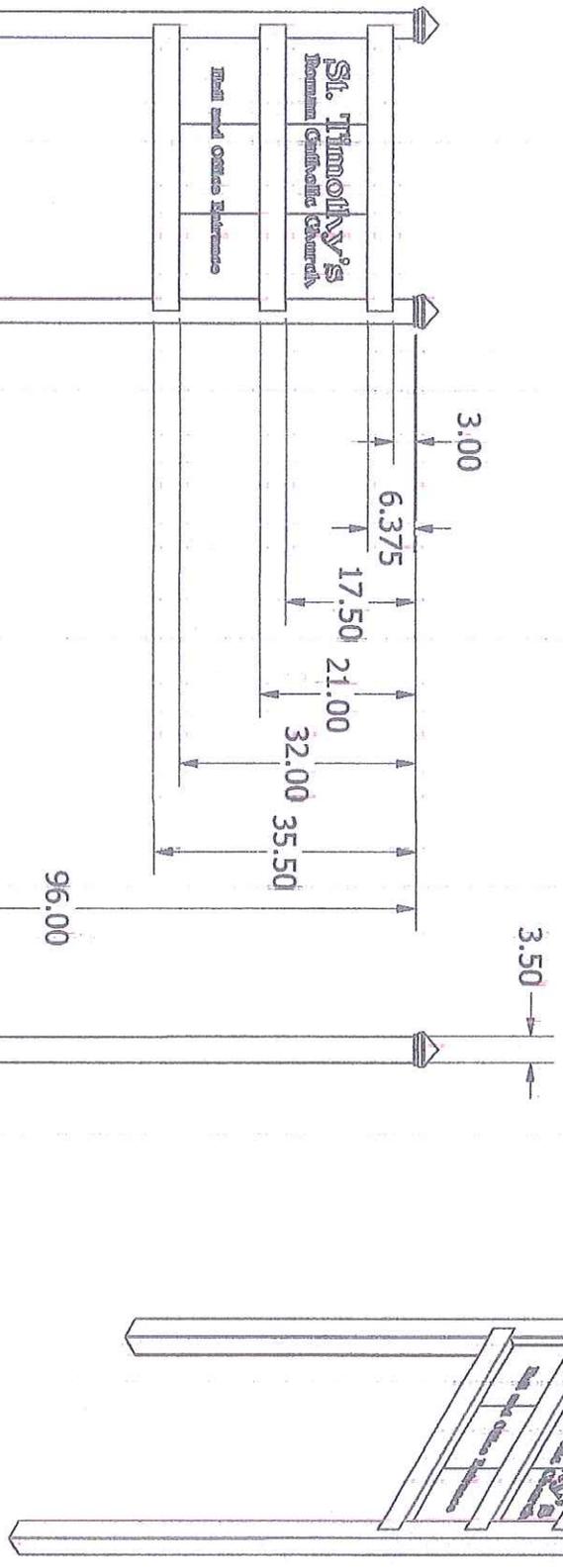
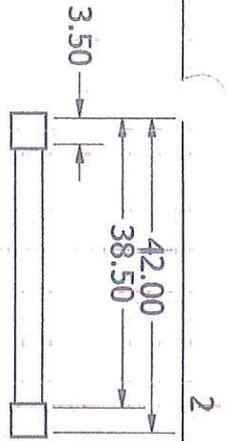
**St. Timothy's Church**  
962 Piney Way, Morro Bay Ca  
Assessment No# 066-280-019

- Legend**
- 962 Piney Way
  - Morro Bay Community Center
  - Morro Bay Fire Dept
  - Sign
  - St. Timothy's Catholic Church

# Exhibit B



# Exhibit B



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Community Development Dept.

DRAWN  
Curtis Bradley  
3/8/19

CHECKED  
QA  
MFG  
APPROVED

TITLE  
St Timothy's Sign Eagle Project

SIZE  
A

SCALE  
0.04 : 1

DWG NO  
Sign Frame

REV

SHEET 1 of 1

# Exhibit B

St. Timothy's Church 962 Piney Way Morro Bay

Existing sign located on Kennedy Way 70" High x 42" Wide x 3 1/2" thick wood and granite tile construction Paint Valspar Aspire Red Rock D-7-7

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St. Timothy's Church 962 Piney Way Morro Bay

APR 03 2019

Existing sign located on Kennedy Way 70" High x 42" Wide x 3 1/2" thick wood and granite tile construction Paint Valspar Aspire Red Rock D-7-7

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County of San Luis Obispo

City of Morro Bay  
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Property Information Search Results

29 matching records were found for street number 962.

Assessment Number	Street Address(es)	Structure Type	Characteristics	Map
066-162-024	962 Mesa St	Residence #1	Select	Map
066-201-032	962 Pecho St	Residence #1	Select	Map
<b>066-280-019</b>	<b>962 Piney Wy</b>	<b>Land #0</b>	<b>Select</b>	<b>Map</b>
069-124-009	9627 Margarita Av	Residence #1	Select	Map
069-132-032	9627 Pinal Av	Residence #1	Select	Map

1 2 3 4 5 6

Assessment Information for the 2018/2019 Tax Year

Assessment Number: **066-280-019**  
 Street Address: **962 Piney Wy**  
 Tax Rate Area: 006-002  
 Parcel Size: 0 SF  
 Link to Map: [066280019](#)

Assessed Value: 1,020,383  
 Land Value: 124,953  
 Improvements: 895,430  
 Personal Property: 0  
 Fixtures Value: 0  
 Total Exemption: 1,020,383  
 Net: 0

Property Information as of January 1, 1900

Structure	Miscellaneous Improvements
Structure Type: Land	Improvements: (none)
Original Size: 0	
Addition Size: 0	
Total Area: 0	
Year Built: 0	
Bedrooms: 0	
Bathrooms: 0	
Levels: 0	
Parking: None	

Disclaimer:

The data contained in this database is deemed reliable but not guaranteed. This information should be used for informational use only and does not constitute a legal document for the description of these properties. Every effort has been made to ensure the accuracy of this data; however, this material may be slightly dated which would have an impact on its accuracy. The San Luis Obispo County Assessor's Office disclaims any responsibility or liability for any direct or indirect damages resulting from the use of this data.

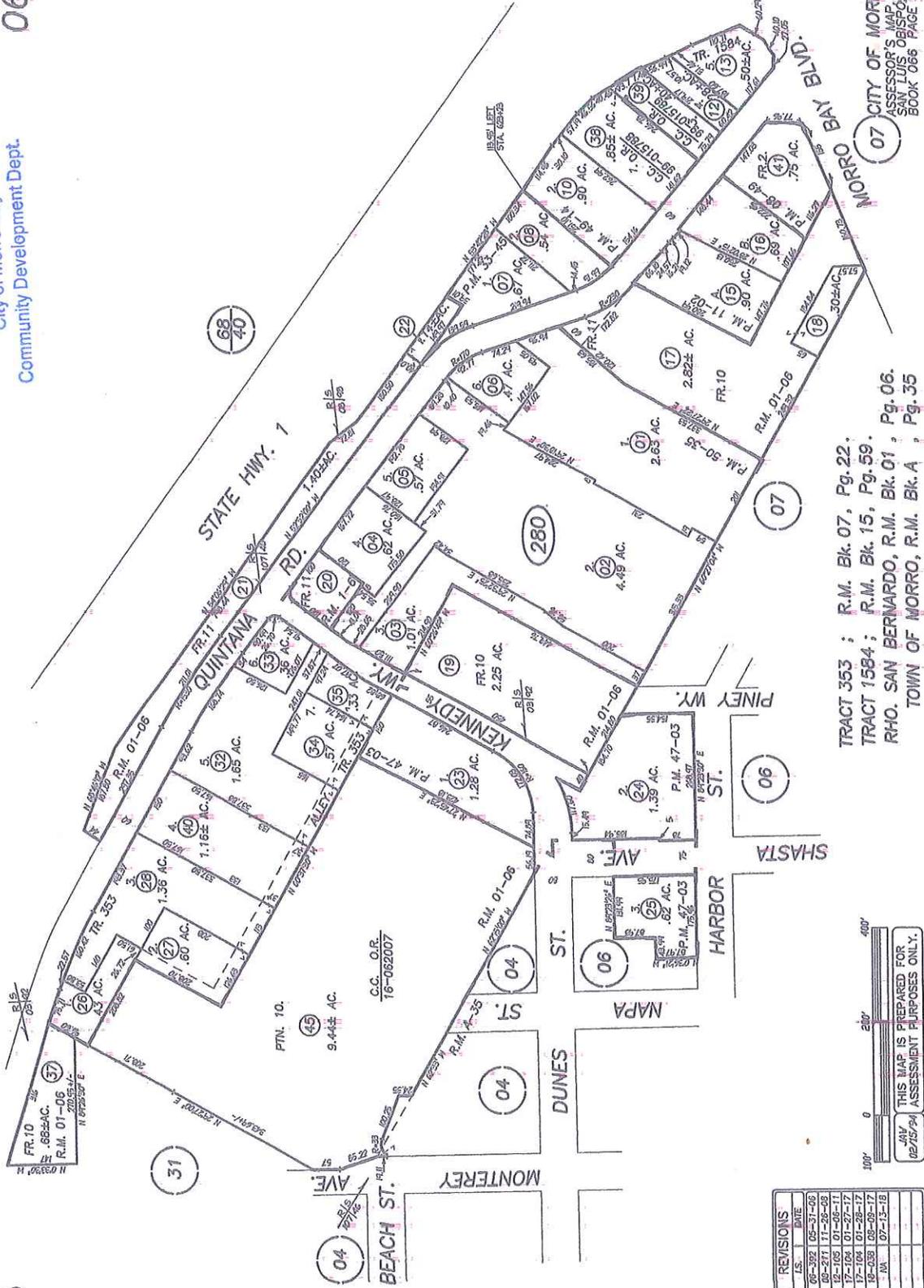
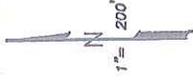
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066-280



066-281