



CITY OF MORRO BAY PLANNING COMMISSION AGENDA

The City of Morro Bay provides essential public services and infrastructure to maintain a safe, clean and healthy place for residents and visitors to live, work and play.

**Regular Meeting -Tuesday, November 5, 2019
Veteran's Memorial Building – 6:00 P.M.
209 Surf Street, Morro Bay, CA**

Vice-Chairperson Michael Lucas
Commissioner Jesse Barron

Chairperson Gerald Luhr

Commissioner Joseph Ingrassia
Commissioner Susan Stewart

ESTABLISH QUORUM AND CALL TO ORDER
MOMENT OF SILENCE / PLEDGE OF ALLEGIANCE
PLANNING COMMISSIONER ANNOUNCEMENTS

PUBLIC COMMENT PERIOD

Members of the audience wishing to address the Commission on City business matters not on the agenda may do so at this time. For those desiring to speak on items on the agenda, but unable to stay for the item, may also address the Commission at this time.

Public comment is an opportunity for members of the public to provide input to the governing body. To increase the effectiveness of the Public Comment Period, the Commission respectfully requests the following guidelines and expectations be followed:

- When recognized by the Chair, please come forward to the podium to speak. Though not required, it is helpful if you state your name, city of residence and whether you represent a business or group. Unless otherwise established by the Chair, comments are to be limited to three minutes.
- All remarks should be addressed to Commission, as a whole, and not to any individual member thereof.
- The Commission respectfully requests that you refrain from making slanderous, profane or personal remarks against any commission and/or staff.
- Please refrain from public displays or outbursts such as unsolicited applause, comments or cheering.
- Any disruptive activities that substantially interfere with the ability of the Planning Commission to carry out its meeting will not be permitted and offenders will be requested to leave the meeting.
- Your participation in Planning Commission meetings is welcome and your courtesy will be appreciated.
- The Commission in turn agrees to abide by its best practices of civility and civil discourse according to Resolution No. 07-19.

PRESENTATIONS

A. CONSENT CALENDAR

- A-1** Current and Advanced Planning Processing List
Staff Recommendation: Receive and file.
- A-2** Approval of minutes from the Planning Commission meeting of September 17, 2019.
Staff Recommendation: Approve minutes as submitted.
- A-3** Approval of minutes from the Planning Commission meeting of October 1, 2019.
Staff Recommendation: Approve minutes as submitted.

B. PUBLIC HEARINGS

- B-1** **Case No.:** MAJ 19-03 (Modification of UPO481 and CPO544)
Site Location: 210 Atascadero Road, Morro Bay, CA
Project Description: Major Modification of existing Coastal Development Permit and Conditional Use Permit for change in use of an existing 11,840 square foot commercial building located at 210 Atascadero Road, formerly known as the Flippo's Roller Skating facility. The existing approval allows a a café, several offices and storage areas as well as a large interior display area for classic and vintage cars and required parking lot improvements. The Modification eliminates the Vintage car display area and replaces it with 6 batting cages and an 1100 square foot arcade area. This project is in the C-VS/PD zoning district and is within the appeals jurisdiction of the California Coastal Commission.
Status Update: Applicant removed the arcade from the application after the project was noticed for public hearing.
CEQA Determination: This project has been deemed exempt from CEQA under Section 15301 related to interior improvements of existing facilities.
Staff Recommendation: Approve the Major Modification of the existing Conditional Use Permit and Coastal Development Permit with Conditions of approval and provide findings and recommendations to City Council for action on the proposed arcade use.
Staff Contact: Nancy Hubbard, Contract Planner (805) 772-6211
- B-2** **Case No.:** CUP19-12 (Conceptual Review)
Site Location: 405 Atascadero Road, Morro Bay, CA
Project Description: Request for conceptual review of a proposed 35-unit affordable housing project on a .94-acre parcel along the Highway 41 (Atascadero Road) frontage road, also bordering on Sunset Ave and Rockview Street. The proposed project will provide affordable housing to 35 families in one, two and three bedroom apartments. The project will be 3 stories in height surrounding a central courtyard and will provide 35 off-street parking spaces. This project will require a conditional use permit, a coastal development permit and a parking exception. The project is in the MCR/R-4/PD/SP zoning district and is not located within the appeals jurisdiction of the California Coastal Commission.
CEQA Determination: Not Exempt, Initial Study required
Staff Recommendation: Project is being reviewed for discussion purposes only and no decision will be rendered. Commission to provide input and comment on project design.
Staff Contact: Nancy Hubbard, Contract Planner (805) 772-6211
- B-3** **Case No.:** Precise Plan #CUP19-11 (Harborwalk Plaza)
Site Location: 833 Embarcadero, Morro Bay, CA

Project Description: Precise Plan approval (#CUP19-11) of Conditional Use Permit for demolition of 6,687sf two-story visitor-serving building. Construct new 7,994sf two-story 25-foot tall building to include ground floor retail and restaurant uses, with 8 boutique hotel rooms on the second floor. Project also proposes to replace the existing side-tie dock and gangway, remove 9 existing wood piles and replace with 9 new piles; construct public access improvements including extension of bayside Harborwalk access, outdoor seating, public restrooms, redesigned children's play area as public benefit. The project is located in the WF/PD/S.4 zoning district and is subject to the Waterfront Master Plan. The project site is located in the original jurisdiction of the California Coastal Commission (CDP #3-19-0011).

CEQA Determination: Categorically exempt Section 15302, Class 2b

Staff Recommendation: Conditionally approve

Staff Contact: Cindy Jacinth, Senior Planner (805) 772-6577

C. NEW BUSINESS

D. UNFINISHED BUSINESS

E. PLANNING COMMISSIONER COMMENTS/FUTURE AGENDA ITEMS

F. COMMUNITY DEVELOPMENT DIRECTOR COMMENTS

G. ADJOURNMENT

Adjourn to the next regular Planning Commission meeting at the Veteran's Memorial Building, 209 Surf Street, on November 19, 2019 at 6:00 p.m.

PLANNING COMMISSION MEETING PROCEDURES

This Agenda is subject to amendment up to 72 hours prior to the date and time set for the meeting. Please refer to the Agenda posted at the Community Development Department, 955 Shasta Avenue, for any revisions, or call the Department at 805-772-6264 for further information.

Written testimony is encouraged so it can be distributed in the Agenda packet to the Commission. Material submitted by the public for Commission review prior to a scheduled hearing should be received by the Planning Division at the Community Development Department, 955 Shasta Avenue, no later than 5:00 P.M. the Tuesday (eight days) prior to the scheduled public hearing. Written testimony provided after the Agenda packet is published will be distributed to the Commission but there may not be enough time to fully consider the information. Mail should be directed to the Community Development Department, Planning Division.

Materials related to an item on this Agenda are available for public inspection during normal business hours in the Community Development Department, or the Morro Bay Library, 695 Harbor, Morro Bay, CA 93442. Materials related to an item on this Agenda submitted to the Planning Commission after publication of the Agenda packet are available for inspection at the Community Development Department during normal business hours or at the scheduled meeting.

This Agenda may be found on the Internet at: www.morrobayca.gov/planningcommission or you can subscribe to Notify Me for email notification when the Agenda is posted on the City's website. To subscribe, go to www.morrobayca.gov/notifyme and follow the instructions.

The Brown Act forbids the Commission from taking action or discussing any item not appearing on the agenda, including those items raised at Public Comment. In response to Public Comment, the Commission is limited to:

1. Responding to statements made or questions posed by members of the public; or

2. Requesting staff to report back on a matter at a subsequent meeting; or
3. Directing staff to place the item on a future agenda. (Government Code Section 54954.2(a))

Commission meetings are conducted under the authority of the Chair who may modify the procedures outlined below. The Chair will announce each item. Thereafter, the hearing will be conducted as follows:

1. The Planning Division staff will present the staff report and recommendation on the proposal being heard and respond to questions from Commissioners.
2. The Chair will open the public hearing by first asking the project applicant/agent to present any points necessary for the Commission, as well as the public, to fully understand the proposal.
3. The Chair will then ask other interested persons to come to the podium to present testimony either in support of or in opposition to the proposal.
4. Finally, the Chair may invite the applicant/agent back to the podium to respond to the public testimony. Thereafter, the Chair will close the public testimony portion of the hearing and limit further discussion to the Commission and staff prior to the Commission taking action on a decision.

APPEALS

If you are dissatisfied with an approval or denial of a project, you have the right to appeal this decision to the City Council up to 10 calendar days after the date of action. Pursuant to Government Code §65009, you may be limited to raising only those issues you or someone else raised at the public hearing described in this notice, or in written correspondence delivered to the Commission, at, or prior to, the public hearing. The appeal form is available at the Community Development Department and on the City's web site. If legitimate coastal resource issues related to our Local Coastal Program are raised in the appeal, there is no fee if the subject property is located within the Coastal Appeal Area. If the property is located outside the Coastal Appeal Area, the fee is a \$277 flat fee. If a fee is required, the appeal will not be considered complete if the fee is not paid. If the City decides in the appellant's favor then the fee will be refunded.

City Council decisions may also be appealed to the California Coastal Commission pursuant to the Coastal Act Section 30603 for those projects that are in their appeals jurisdiction. Exhaustion of appeals at the City is required prior to appealing the matter to the California Coastal Commission. The appeal to the City Council must be made to the City and the appeal to the California Coastal Commission must be made directly to the California Coastal Commission Office. These regulations provide the California Coastal Commission 10 working days following the expiration of the City appeal period to appeal the decision. This means that no construction permit shall be issued until both the City and Coastal Commission appeal period have expired without an appeal being filed. The Coastal Commission's Santa Cruz Office at (831) 427-4863 may be contacted for further information on appeal procedures.

In compliance with the Americans with Disabilities Act, if you need special assistance to participate in this meeting, please contact the Community Development Department at (805) 772-6264. Notification 24 hours prior to the meeting will enable the City to make reasonable arrangements to ensure accessibility to this meeting.



City of Morro Bay
 Community Development Department
 Current & Advanced Project Tracking Sheet

This tracking sheet shows the status of the work being processed by the Planning & Building Divisions
 New Planning items or items recently updated are highlighted in yellow.

Approved projects are deleted on next version of log.

Agenda No: A-1

Meeting Date November 5, 2019

#	Applicant/ Property Owner	Project Address	Date	Permit Numbers	Project Description/Status	Planning Comments and Notations	Building/Fire Comments and Notations	Engineering Comments and Notations	Harbor/Admin Comments and Notations	Project Planner
Hearing or Action Ready Projects:										
1	HASLO	405 Atascadero Road	9/24/19	CUP19-12/ PKG19-05/ CDP	Conceptual review of a proposed 35 unit affordable housing project, with community space	Scheduled for Planning Commission for conceptual review 11/5/19				NH
2	Guesno	210 Atascadero Road	7/30/19	MAJ19-03	Amend existing CUP/CDP to change from vintage auto display to batting cages, adding arcade gaming area near café and merchandise areas	Submittal is under review. Planning disapproved 8/23/19. Resubmitted 9/13/19. Deemed complete and scheduled for Planning Commission November 5, 2019. As of October 25, 2019, applicant withdrew request for arcade use on the site.				nh
3	TLC Family Enterprises	833 Embarcadero	9/9/19	CUP19-11	Precise Plan CUP - Demo/reconstruct / Harborwalk Plaza multi-use redevelopment project including restaurant, retail, second floor hotel units, public access improvements.	Submittal under Review. Correction letter sent 10/9/19. Resubmittal received 10/23. Noticed for 11/5 PC meeting				cj
4	Henry	411 Trinidad	7/5/18	CP0-584	CDP for construction of a new single-family residence on a vacant lot	Under Intial Review. Correction letter sent 7/16/18. Additional review and correspondence with owners on March 7, 2019. Waiting for resubmittal. Resubmitted with new design on September 13, 2019. Deemed complete, in public notification period for decision October 29, 2019		PN- conditionally Approved 7/19/2018		nh
30 -Day Review, Incomplete or Additional Submittal Review Projects:										
5	Sea Air Inn, Patel	845 Morro Ave	10/17/19	MIN19-014	Accessibility barrier removal and remodel/addition to lobby area	Submittal received October 17, 2019. Under review				nh
6	Lawrence	2590 Hemlock Ave	10/25/19	CDP19-040	Demo existing residence, rebuild new with ADU.	Submittal under review.				wu
7	Gambriel	571 Embarcadero	10/14/19	MAJ19-006	Major Modification to CUP Amendment for proposed public access improvements, dock and gangway realignment, conversion of 2nd floor to hotel units and request for 1st floor ADA accessible hotel unit	CUP Amendment reviewed by PC on 12/18/18. Major Modification Request under review.				cj

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8	Rhine LP/Morro 94	3300 Panorama	8/20/19	MAJ 19-005	After the fact permit application for removal of 3 sheds and possible siding treatment for transformer building.	Submittal is under review. Deemed incomplete 8-29-19. Waiting for resubmittal				nh
9	Angelucci	953 Pacific	8/20/19	CUP19-10	459 sf 2nd story addition, new 246 sf detached garage with auto lift, 167 sf 2nd	Submittal under review. Correction letter sent 9/19/19. Resubmittal under review.				wu
10	Borges	1078 Monterey Street	8/15/19	CUP19-08/ CDP19-032	New managers dwelling unit over community shower/laundry storage facility	Submittal is under review. Deemed incomplete 8-29-19. Resubmittal received Oct 22, 2019 - under review.				nh
11	Le Bris	516 Shasta Ave	8/15/19	CDP19-031	New ADU partially over existing garage, storage space below.	Submittal is under review. Deemed complete 8-29-19				nh
12	Zive	1309 Berwick	7/3/19	CDP19-024	CDP for New SFR - 2871 sf living, 628 sf attached garage, and 189 sf deck.	Deemed incomplete 7/17/19. Awaiting resubmittal.				wu
13	Boyko	2670 Laurel Ave	7/26/19	CDP19-027	CDP for New SFR - 2135 sf living, 505 sf garage, 160 sf lower balcony and 160 sf upper	Submittal under review. Incomplete letter sent 8/19/19. Awaiting resubmittal. Second correction letter sent 10/24/19.				wu
14	Friesen	196 Panay St	7/23/19	LTM19-03	Addition to existing SFR requiring abandonment of existing easement.	Requires Conditional Use Permit. CUP submittal scheduled for PC 9/17/19. Approved at meeting. Lot merger under review. Correction letter sent 10/24/19.				wu
15	Morro Bay Recovery	2460 Main Street	5/28/19	MUP19-04	Minor Use Permit for Change in use from hotel/motel to recovery center	Submittal is under review. Deemed incomplete 6-25-19.		PN-Disapproved 6/21/2019		nh
16	Cleary	1282 and 1290 Embarcadero R	5/23/19	CDP19-016	CDP for removal of major vegetation.	Submittal is under review. Correction letter sent 6/10. Awaiting resubmittal.				wu
17	Moss Lane Ventures, LLC	839 Morro Bay Blvd	5/6/19	CUP19-04/CDP 19-013	CDP and CUP for Demo existing carwash, construct new 600 sf single sided drive up coffee shop.	Application received 5-6-19 and is under review. Submittal deemed incomplete, letter sent 5-30-19. Resubmitted 6-13-19. Deemed incomplete 6-27-19. Resubmittal received October 22, 2019 - under review.		PN-Conditionally Approved 5/16/2019		nh
18	Eisemann	535 Atascadero Road	3/7/19	PAR19-01	Final Parcel map	Submittal is under review. Planning disapproved 3/14/19. Resubmittal disapproved on May 14, 2019. Resubmittal received , review comments provided 6-5-19				nh
19	Najarian	1339 Berwick	11/30/18	CDP 18-014	Admin CDP for new construction of SFR and ADU with attached garage	Application deemed incomplete, comments sent to applicant on 12/27/18.				nh
20	Fields	731 Butte	6/14/18	CP0-582/UP0-534	CDP and CUP for Multi-Family residences. A 1,500 sq. ft. manufactured residence, a 448 sq. ft. studio unit above a 441 sq. ft. garage with an attached 220 sq. ft. carport	Under Initial Review. Correction letter sent 7/11/18. Resubmitted 10/22/18. Correction Letter sent 11/14				nh
21	Held	205-215 Harbor St	5/4/18	CP0-578/ UP0-527	Coastal Development Permit & Conditional Use Permit for New construction of new 30 unit hotel, Merge existing 6 lots	Under initial review. Incomplete letter sent 6/4/18. Resubmittal received 7/3/18. Additional comments sent to Applicant's Agent 8/3/18, and 8/22/18. Proposals received for environmental review. Reimbursement agreement sent to applicant for environmental review on 10/15/18. Resubmittal received 5-10-19 - comments returned 5-28-19		PN- Conditionally Approved 7/17/2018		cj

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22	T-Mobile	1478 Quintana	2/26/18	A00-056	Modification to UP0-052/CP0-073 for upgrade to existing wireless site	Under initial review. Correction Letter sent 3/30. Unauthorized work completed by owner. Spoke with the agent 11/5 about process moving forward. Spoke with agent again 2/7. Resubmittal 2/26. Correction letter sent 3/13. Awaiting resubmittal.		JW approved		wu
23	Morgan	101 Fig St.	4/12/17	UP0-476	Conceptual Review of New SFR with accessory unit. Existing historical structure on lower level.	PC Conceptual Review 5/16/17. Applicant evaluating whether to pursue project. Project Inactive as of 10/2018		PN-Conditionally approved 5/11/17		nh

Projects Appealed to Planning Commission or PC Continued projects:

24	State Parks - Mike Walgren	11 State Park Road	8/20/18	CDP 18-004, CUP18-04	Coastal Development Permit & Conditional Use Permit to install modular building for office space, parking and landscape improvements at Morro Bay State Park	Submitted on 8-20-18. Deemed incomplete 9.10.18. Applicant to resubmit plans. Plans resubmitted with additional information on 10-26-18. Project deemed complete. Scheduled for PC on December 18, 2018. Continued to date uncertain by PC on 12/18/18. Applicant to provide additional information.		PN- Approved 9/4/2018		nh
21	Ernsdorf	450 Oahu	9/6/19	CDP19-035	Admin CDP to convert portion of existing garage into new Accessory Dwelling Unit.	Permit issued 10/15/19. Appealed to PC 10/25/19. Hearing date scheduled for 12/3/19.				wu
22	City of Morro Bay	End of Nutmeg	1/18/12	UP0-344	Environmental documents for Nutmeg Tanks. Permit number for tracking purposes only County issuing permit. Demo existing and replace with two larger reservoirs. City handling environmental review	KW--Environmental contracted out to SWCA estimated to be complete on 4/27/2012. SWCA submitted draft I.S. to City on May 1, 2012. MR-Reviewed MND and met with SWCA to make corrections. In contact with County Environmental Division for their review. MND received by SWCA on 10/7/12. MND out for public notice and 30 day review as of 11/19/12. 30 day review ends on 12/25/12. No comments received. Scheduled for 1/16/13 Planning Commission meeting and then to be referred back to SLO County. Planning Commission continued this item to address concerns regarding traffic generated from the removal of soil. In applicant's court, they are addressing issues brought up by neighbors during initial P.C. meeting. Project has been redesigned and will be going forward with concrete tanks. Modifications to the MND are in process. Neighborhood meeting conducted with Engineering on 9/27/2013. Revising project description and MND.	No review performed.	BCR- Needs new MND for concrete tank, less truck trips. Neighborhood mtg held 9/27. Neighbors generally support new design that reduces truck trips by 80%. Concrete batch plant set up on site will further reduce impact. 5/5/14 - Cannon contract signed to finish permit phase. Construction will be delayed to FY15/16		cj

Projects Appealed or Forwarded to City Council:

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23	City of Morro Bay	Citywide	6/19/13	A00-015	Sign Ordinance Update. Text Amendment Modifying Section 17.68 "Signs"	Text Amendment Modifying Section 17.68 "Signs". Planning Commission reviewed 5/17/2010. Item heard at 5/24/11 City Council Meeting. Interim Urgency Ordinance approved to allow projecting signs. PC reviewed 2/7/2011. Workshops scheduled 9/29/11 & 10/6/11 .City Council 12/13/11. Continued to 1/10/12 CC meeting. PC reviewed 5/2/2012. Update due to City Council in June 2013. Draft Sign Ordinance reviewed by PC on 6/19/13 & 7/3/13. PC has reviewed Downtown, Embarcadero, and Quintana Districts as well as the Tourist-Oriented Directional Sign Plan. 8/21/13 Final Draft of Sign Ordinance approved at 9/4/13 PC meeting with recommendation to forward to City Council. Council directed staff to do further research with local businesses. Business workshops held fall/winter 13/14. Result of sign workshops discussed at 11-3-15 PC mtg. Revised Public Draft of Sign Ordinance posted to City website on July 6, 2017	No review performed.	N/R		sg
Environmental Review										
24	Patel	233 Atascadero	6/13/18	CP0-581/UP0-533	CDP and CUP for New 83 room hotel on vacant 2 acre lot	Under Initial Review. Incomplete letter sent 7/13/18. Resubmitted 9/11/18. Comment letter sent 10/19/18. Environmental review required. Cj. Met with Applicant's Agents 11-8-18 to review flood plain and height requirements. Project currently overheight and does not meet parking requirements. Story poles erected on 1/3/19 and scheduled for Conceptual Review by PC to evaluate height, parking, and findings of significant public benefit as allowed under the Planned Development (PD) overlay zone. PC comments provided to Applicant after 1-15-19 meeting. Applicant considering project revisions. Environmental review in progress. Draft MND awaiting Applicant signature and circulation.				cj
25	City of Morro Bay	N/A		UP0-423	MND for Chorro Creek Stream Gauges	Applicant requesting meeting for week of 9/9/13. SWCA performing the environmental review. Received completed MND from Water Systems Consulting (WSC) on 4/1/15. Routed to State Clearinghouse for required 30 day review period. Tentative hearing 8/4/15. No recent activity.	No review performed.	MND complete. Cut permit checks to RWQCB and CDFW on 2/27/15		cj
Final Map Under Review Projects - No pending applications currently.										
Projects requiring coordination with another jurisdiction:										
26	City of Morro Bay	Outfall			Original jurisdiction CDP for the outfall and for the associated wells	Coastal staff is working with staff. Coastal letter received 4/29/2013. Discussed project with Coastal staff in meeting 11-18-14.	No review performed.	City provided response to CCC on 7/12/13. Per Qtrly Conference Call CCC will take 30days to respond		

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27	City of Morro Bay Desal Plant	170 Atascadero			Project requires a Coastal Development Permit for upgrades at the Plant. Final action taken Sent to CCC but pursuant to their request the City has rescinded the action.	Waiting for outcome from the CDP application for the outfall. Discussed project with Coastal staff in meeting 11-18-14.	No review performed.	BCR- Phase 1 Maint and Repair project is underway. Desal plant start-up scheduled for 10/15/13. Phase 1 complete and finalized. Phase 2 on hold as of 7/22/14.		
Projects going forward to Coastal Commission for review (Pending LCP Amendments) / or State Department of Housing:										
29	City of Morro Bay	LCP Text Amendment	6/4/19	MIN19-006	Clarification of density transfer allowed from CRR zoned land within the Cloisters Subdivision.	Public noticed on June 19, 2019. Planning Commission forwarded their recommendation for approval to City Council on July 16, 2019. City Council hearing August 13, 2019. City Council Approved and this has been forwarded to CA Coastal Commission for certification. Certified by CCC on October 18, 2019.				nh
30	City of Morro Bay	Citywide			Plan Morro Bay: General Plan / Local Coastal Program / Zoning Code Update project	Comprehensive overall update to the City's 1988 General Plan, 1984 Local Coastal Program, and 1997 Zoning Code. General Plan Advisory Committee meetings ongoing. For more information or to get involved, visit www.morrobayca.gov/planmb . Project to be complete with documents ready for adoption and certification by end of 2019. Public draft of combined General Plan/ LCP released May 2018 for review. Working with Coastal staff on CCC input.				
31	City of Morro Bay	Citywide	10/16/13	A00-013. A00-029: Ordinance 601	Zoning Text Amendment - Second Unit	Secondary Unit Ordinance Amendment. Ordinance 576 passed by City Council in 2012. 6-11-13 City Council direction to staff to bring back to Planning Commission for review of ordinance. At 10-16-13 PC meeting, Commission recommended changes to maximum unit size and tandem parking design where units over 900 sf and/or tandem parking design of second unit triggers a CUP process. Council accepted PC recommendation at 2-11-14 meeting and directed staff to bring back revised ordinance for a first reading and introduction. Item continued to 4/22/14 Council meeting to allow time for Coastal staff comment regarding proposed changes. Council approved Into and First Reading on 4/22/14. Final Adoption of Ord. 585 at 5/13/14 Council meeting. Ordinance to be sent as an LCP Amendment for certification by Coastal Commission. New language for PC and Council review. Second reading going to council on April 12, 2016. PC reviewed change 5-3-16. CC second First Reading 6-28-16.. Application submitted to Coastal Commission August 2016. Coastal objected to ban on use as vacation rentals. New State legislation will force additional changes.	No review performed.			wm

#	Applicant/ Property Owner	Project Address	Date	Permit Numbers	Project Description/Status	Planning Comments and Notations	Building/Fire Comments and Notations	Engineering Comments and Notations	Harbor/Admin Comments and Notations	Project Planner	
Projects Continued Indefinitely, No Response to Date on Incomplete Letter or inactive:											
32	Verizon / Knight	184 Main new location, Corner of Main and Cabrillo	11/19/14	UP0-394 and CP0-512	Coastal Development Permit and Conditional Use Permit for installation of new Wireless Facility/Verizon antennas on existing pole.	Under Review. JG. Incomplete. Waiting on response from Tricia Knight. Wants to keep project open and figure out the parking situation or move location. 1/26. JG. Applicant looking to move location to pole across the street. resubmittal rcv'd 5/26. Deemed Complete, waiting for Applicant to confirm PC meeting date. PC hearing held on 9/6/16 and continued for further review to 11-1-16 PC hearing. Continuance requested. Continued to a date uncertain		PN- Conditionally approved 6/14/16		gj	
Grants											
33	California Coastal Commission, California Ocean Protection Council	City-wide	4/6/16		\$400,000 Grant for LCP update to address sea-level rise and climate change impacts. Round 3 Grant award of \$200,000 for Lateral Access Plan, and ESHA delineation.	Grant agreements for both the grants are in place and grant administration has been turned over to Michael Baker International, per terms of the GP/LCP update contract. Received signed grant agreement for \$200,000 LCP Planning grant by CCC for Round 3 awards 2-27-17.	No review performed.	N/A		sg	
34	City of Morro Bay	City-wide			Community Development Block Grant/HOME Program - Urban County Consortium	Staff has ongoing responsibilities for contract management in coordination with County staff administration. Final 2016 funding recommendations reviewed by Council on 3-8-16. 2016 Subrecipient Agreement executed and Council approved 2018-2020 Cooperation Agreement with County on 6-13-17.	No review performed.	N/R		cj	
35	City of Morro Bay	City-wide			Climate Action Plan - Implementation	Staff has ongoing responsibilities for implementation of Climate Action Plan as adopted by City Council January 2014. Staff coordinating activities with other Cities and County of SLO via APCD.				cj	
Projects in Building Plan Check:											
1	Sayers	994	Balboa	9/17/19	B19-0209	Demo 444 sf portion of existing 980 sf SFR, demo 242 sf non-conforming garage. New 825 sf addition to remaining SFR, and new 538 sf tandem garage. See permit B19-0208 for new 490 sf attached Accessory Dwelling Unit (ADU).	Submittal under review	Bldg - Approved 10/28/19		wu	
2	LaPlante	3093	Beachcomber	4/24/17	B-31487	New SFR: 3,495sf w/ 500 sf garage on vacant land. No activity on this project. Remains in plan check.	Approved 8-9-18. cj. Requested permit extension.	Ready to issue	PN - Approved 6/21/2018	Emailed comments on 10-20-17.	cj
3	Zive	1309	Berwick Dr.	7/3/19	B19-0139	New SFR, 2871 sf living, 628 sf attached garage, & 189 sf deck	Project on hold until planning permit obtained.	Bldg - Disapproved 7/29/19			wu
4	Jones	1362	Berwick Dr.	8/5/19	B19-0169	Interior remodel, remove existing roo over existing garage and replace with 352 sf deck.	Disapproved 9/11/19. Awaiting resubmittal.	Bldg - Disapproved 9/4/19			wu
5	Geil	1359	Bolton	8/20/19	B19-0183	Minor interior improvements, 148 sf bathroom addition and 17 sf addition to permeable wood deck.	Conditionally approved 9/10/19	Bldg - Approved 10/10/19			wu
6	Ron & Reisner	1300	Clarabelle	10/24/19	B19-0238	Addendum to B19-0122, changes to foundation and retaining wall.		Bldg - Approved 10/25/19			

#	Applicant/ Property Owner	Project Address		Date	Permit Numbers	Project Description/Status	Planning Comments and Notations	Building/Fire Comments and Notations	Engineering Comments and Notations	Harbor/Admin Comments and Notations	Project Planner
7	Kurz	2720	Elm Ave.	7/18/19	B19-0154	New Accessory Dwelling Unit (ADU), 370 sf detached ADU with upper floor loft.	Approved 7/30/19	Bldg - Disapproved 8/12/19			wu
8	Ferrin	2770	Elm Ave.	9/11/19	B19-0205	Tandem garage addition w/roof deck.		Bldg - Approved 9/12/19			
9	Branch	885	Embarcadero	3/12/19	B19-0043	Addendum #1 to B18-0043 - Minor framing alterations (interior), confirm slopes per ADA requirements, and install siding at west elevation (previously stone).	Plng approved 3-19-19 - cj.	Bldg - Approved 8/12/19			cj
10	Van Beurden	945	Embarcadero	8/1/19	B19-0163	Remodel existing area of restaurant into dining space, add outside public seating (at west side of site), add 71 sf trash enclosure to building footprint, modify wharf area to create accessible Harborwalk, repair pilings and gunny sack batter wall.	Approved.	Bldg - Approved 10/07/19			cj
11	Vollmer	370	Fresno Ave.	10/15/19	B19-0230	Reconfigure & remodel single bathroom into two separate bathrooms in existing space.		Bldg - Approved 10/23/19			sg
12	John & Andrea Envgall	580	Harbor	10/24/19	B19-0236	Existing commercial building alteration of a 61 sq ft concrete accessible ramp to rear bldg entrance; including accessible parking striping and signage.		Plancheck			sg
13	Patel	2790	Indigo Circle	7/31/19	B19-0164	New SFR in the Cloisters - 2424 sf living, 420 sf garage, and 82 sf entry.	Disapproved 8/26/19. Awaiting resubmittal.	Bldg - Disapproved 8/23/19			wu
14	Linker	594	Kings Ave.	4/16/19	B19-0068	New two story SFR - 2996 sf living, 491 sf attached garage, 304 sf deck at front and 85 sf deck at rear.	Planning approved	Bldg - Ready to issue			nh
15	Richardson	441	LaJolla	3/8/19	B19-0040	Kitchen, bathroom and laundry room remodel in existing dwelling.	Submittal under review. Approved 3/19/19	Bldg - Disapproved 3/15/19			nh
16	Ed & Bonnie Applegate	1050	Las Tunas	10/24/19	B19-0237	Construct new 539 sq ft detached garage. Replace existing driveway and sheds.		Bldg - Approved 10/28/19			wu
17	Castro	1105	Las Tunas	10/8/19	B19-0226	Add 476 sq ft ADU above existing garage. Add storage rm adjacent to existing garage (150 sq ft) Add 400 sq ft exterior deck and stairway.	Planning disapproved 10/16/19	Bldg - Approved 10/28/19			wu
18	Bloger	720	Luisita St.	10/11/19	B19-0229	Bathroom addition		Bldg - Approved 10/23/19			sg
19	Ellis	120	Main St.	5/14/19	B19-0097	SF Addition - add 126 sf master bath to the existing master bedroom, add 178 sf of new living room space, add 456 sf of covered patio space to the front and rear of SFR.	Disapproved 6/7/19. Awaiting resubmittal.	Bldg - Approved 9/5/19			wu
20	Gronigen	859	Main St.	9/23/19	B19-0225	Add plumbing modifications to premises as per site plan.		Bldg - Approved 10/11/19			wu

#	Applicant/ Property Owner	Project Address		Date	Permit Numbers	Project Description/Status	Planning Comments and Notations	Building/Fire Comments and Notations	Engineering Comments and Notations	Harbor/Admin Comments and Notations	Project Planner
21	Peter	890	Main St.	2/13/19	B19-0026	ADA and parking lot improvements. ADA stall to be relocated closer to street and make van accessible.	Approved on 3/1/19 - sg	Bldg - Approved 2/27/19 Fire - Approved 2/26/19	Disapproved on 3/14/19		sg
22	Sonic	1840	Main St.	10/17/17	B-31730	Sonic Drive-in Restaurant, 1395 sf building, 1020 sf covered patio, 2646 sf covered parking	Corrections sent 12-8-17. Resubmitted 3-2-18. Application incomplete and corrections sent 4-5-18. Resubmittal received and unaddressed corrections sent back 7-19-18. Project required to underground utilities. Utility plan and coordination with public utilities in process. cj. Requested permit extension. Awaiting resubmittal. Requested Permit Extension.	BLDG - Disapproved by California Code Check (contract building inspection services (see memo) on 7-23-18. PB	Disapproved by jb on 11-21-17.	1-2-18 - Emailed BLDG (code ck) comments to architect. PB	cj
23	Ranat	2598	Main St.	10/4/19	B19-0222	Move existing bathroom 1 ft in towards property and turn bathroom into ADA approved restroom. Built with no permits.	Planning approved on 10-4-19	Bldg - Approved 10/07/19			nh
24	Leage	918-A	Mesa St	6/14/19	B19-0124	Convert existing 398 sf non-conforming garage to ADU & add 139 sf addition increasing ADU size to 537 sf	Approved 8/28/19	Bldg - Approved 10/07/19			nh
25	Miller	525	Monterey Ave	9/17/19	B19-0207	12'x18', 216 sf deck addition, new front fence (in ROW, copy of special encroachment SE19-0060 included)	Submittal under review	Bldg - Approved 10/25/19			wu
26	Elster	530	Morro Ave	7/9/19	B19-0142	New SFR (three levels), 2613 sf living, 734 sf attached garage, 639 sf basement & bath, 846 sf of open decks, and 318 sf	Disapproved 7/22/19. Awaiting resubmittal.	Bldg - Disapproved 8/5/19			wu
27	Elster	530-A	Morro Ave	7/9/19	B19-0143	New 636 sf attached Accessory Dwelling Unit (ADU) with 258 sf garage. See B19-0142 for SFR permit.	Disapproved 7/22/19. Awaiting resubmittal.	Bldg - Disapproved 8/5/19			wu
28	Krupa	845	Morro Ave	7/23/19	B19-0157	Barrier removal, remodel & 147 sf office addition. New accessible parking, remove steps & improve path of travel. Barrier removal & remodel guest room bath, remodel lobby & office addition.	Planning disapproved pending modification of existing planning permits (see MIN19-014)	Bldg - Approved 10/28/19			nh
29	Erb	2630	Nutmeg Ave	2/14/19	B19-0029	Demo 195 sf third story deck at front of home and rebuild with 80 sf extension to allow for deck beam and column support. Remove 152 sf deck on south side of home, misc. construction to repair water damage.	Dissapproved 3/6/19. Disapproved 4/9. Variance application approved. Awaiting building permit resubmittal.	Bldg - Approved 3/27/19			wu
30	Ernsdorf	450	Oahu St	9/6/19	B19-0200	Convert portion of existing garage into new accessory dwelling unit (213 sq ft)	Planning permit appealed to PC 10/25/19.	Bldg - Approved 9/18/19			wu
31	Freisen	196	Panay St.	3/15/19	B19-0045	Additional 1000 sf to SFR	Disapproved 4/3/19. CUP Approved by PC. Awaiting Lot Merger and Easement Abandonment.	Bldg - Disapproved 10-02-19			wu

#	Applicant/ Property Owner	Project Address		Date	Permit Numbers	Project Description/Status	Planning Comments and Notations	Building/Fire Comments and Notations	Engineering Comments and Notations	Harbor/Admin Comments and Notations	Project Planner
32	Friesen	196-A	Panay St.	9/19/19	B19-0212	New 330 sq ft attached ADU	Disapproved 4/3/19. CUP Approved by PC. Awaiting Lot Merger and Easement Abandonment.	Bldg - Disapproved 10-02-19			wu
33	Daley	365	Quintana Rd.	8/21/19	B19-0184	Addendum to B19-0144 (T.I.) Add accessible van parking space and sidewalk to front door.	Approved 8/28/19	Ready to issue			wu
34	ABS-CA-O, LLC	730	Quintana Rd.	10/22/18	B18-0055	Remove & replace parking lot light poles and light fixtures on existing concrete bases. This permit includes 6 parcels in the Cypress Plaza, (600-780 Quintana Rd).	Approved 10/30/18	Ready to issue			jg
35	Reyneveld	1060	Quintana Rd.	9/20/19	B19-0213	Install new 36" "storefront" door with fixed side window in place of an existing 6040 window, install side light, and new handrails along sloped concrete walk.	Submittal under review. Disapproved 9/27/19. Resubmittal 10/29/19 under review.	Bldg - Approved 9/26/19			wu
36	Giannini	750	Radcliff Ave.	7/22/19	B19-0156	Remove three existing panel antennas, three radio and replace with three radio intergrated antennas and assoicated cabling. Install equipment expansions to the top of existing cabinets (approx 1'2') with associated electrical wiring.	Disapproved 4/11/19. Awaiting resubmittal.	Bldg - Approved 9/26/19			cj
37	Robert Penzel	705	Sierra Ct	10/25/19	B19-0240	Window replacement 8 ft windows moving a one window 1.5 ft other 8 inches. Corner windows.		Bldg - Approved 10/25/19			sg
38	Stanton	351	Trinidad	3/26/19	B19-0054	Repairs to existing 200 sf rooftop deck. Replace all dry-rot structural members, install new waterproof membrane,, new copper drip edge flashing, replace plaster, replace guardrail if needed.	Disapproved 4/11/19. Awaiting resubmittal.	Bldg - Approved 3/27/19			wu
39	Davis	1149	West Ave	7/8/19	B19-0145	Construct lower level 360 sf enclosed patio (12' x 30') at rear of existing SFR.	Disapproved, proposed enclosed patio extended into the 25 foot bluff setback.	Bldg - Approved 7/10/19			nh

Planning Projects & Permits with Final Action:

AGENDA ITEM: A-2

DATE: NOVEMBER 5, 2019

ACTION: DRAFT

ACTION MINUTES – MORRO BAY PLANNING COMMISSION
REGULAR MEETING – SEPTEMBER 17, 2019
VETERANS MEMORIAL BUILDING – 6:00 PM

PRESENT:	Gerald Luhr Michael Lucas Joe Ingraffia Susan Stewart Jesse Barron	Chairperson Vice-Chairperson Commissioner Commissioner Commissioner
STAFF:	Scot Graham Willow Urquidi	Community Development Director Assistant Planner

ESTABLISH QUORUM AND CALL TO ORDER
MOMENT OF SILENCE / PLEDGE OF ALLEGIANCE
PLANNING COMMISSIONER ANNOUNCEMENTS
<https://youtu.be/nxS89ldMQdo?t=2m7s>

Commissioner Stewart announce on September 21st, 10 a.m. – 12:00 p.m. there will be a children's art and sale at the Morro Bay Library parking lot.

Commissioner Ingraffia announced the Morro Bay Open Space Alliance will hold their 3rd Annual Block Party at Cerrito Peak (Eagle Rock) on September 21st, 2:30 p.m. – 6 p.m.

PUBLIC COMMENT PERIOD - NONE

PRESENTATIONS - NONE

A. CONSENT CALENDAR
<https://youtu.be/nxS89ldMQdo?t=4m6s>

A-1 Current and Advanced Planning Processing List
Staff Recommendation: Receive and file.

Commissioner Barron presented his question to staff regarding the Planning Processing List.

MOTION: Commissioner Stewart moved to approve the Consent Calendar. Vice-Chairperson Lucas seconded, and the motion passes 5-0.

B. PUBLIC HEARINGS
Public testimony given for Public Hearing items will adhere to the rules noted above under the Public Comment Period. In addition, speak about the proposal and not about individuals, focusing testimony on the important parts of the proposal; not repeating points made by others.

B-1 Case No.: CPO-573 and UPO-526
Site Location: 361 Main Street, Morro Bay, CA
Proposal: Application for a Coastal Development Permit (CPO-573) and Conditional Use Permit (UPO-526) for a 183 square foot deck and 395-sf addition to the second floor of an existing 2,128 square foot existing single-family home. The site is a duplex residential property with 2 existing single-family homes located at 361 Main Street in the R-2/PD zone. The project is subject to bluff setback requirements and is within the Coastal Commission appeal jurisdiction.
CEQA Determination: Categorically Exempt, Section 15301, Class 1.e.(1).
Staff Recommendation: Conditionally Approve
Staff Contact: Nancy Hubbard, Contract Planner, (805) 772-6211
<https://youtu.be/nxS89ldMQdo?t=5m37s>

COMMISSIONERS DISCLOSURE OF EX PARTE COMMUNICATIONS – NONE

Urquidi presented the staff report for Nancy Hubbard.

The Commissioners presented their questions to staff.

Chairperson Luhr opened the Public Comment period.
<https://youtu.be/nxS89ldMQdo?t=14m24s>

Chris Parker, architect for applicant, presented his report.

The Commissioners presented their questions to the applicant.

Chairperson Luhr closed the Public Comment period.
<https://youtu.be/nxS89ldMQdo?t=17m17s>

Discussion and comments from the Commissioners.

MOTION: Commissioner Ingraffia moved to approve Coastal Development Permit CPO 573 and Conditional Use Permit UPO-526 and PC Resolution 23-19. Commissioner Stewart seconded, and the motion passes 5-0.
<https://youtu.be/nxS89ldMQdo?t=22m35s>

B-2 Case No.: CDP19-033 and CUP19-09
Site Location: 196 Panay Street, Morro Bay, CA
Proposal: Request for Coastal Development Permit (CDP19-033) and Conditional Use Permit (CUP19-09) for construction of a 1,120 sf addition, including an accessory dwelling unit, to an existing non-conforming 1,120 sf single-family residence with an existing detached 400 sf garage. The site is located in an R-1/S.2A Zone outside of the Coastal Commission Appeals Jurisdiction.
CEQA Determination: Categorically Exempt, Section 15301, Class 1(e) and Section 15303, Class 3(a)
Staff Recommendation: Conditionally Approve
Staff Contact: Willow Urquidi, Assistant Planner, (805) 772-6270
<https://youtu.be/nxS89ldMQdo?t=23m38s>

COMMISSIONERS DISCLOSURE OF EX PARTE COMMUNICATIONS – NONE

Urquidi presented the staff report.

Chairperson Luhr opened the Public Comment period.

<https://youtu.be/nxS89ldMQdo?t=32m7s>

Leaha McGee, MBs Land Survey, stated she was helping the applicant with the permitting process.

Jay and Cynthia Friensen, applicant, thanked staff for their help.

The Commissioners presented their questions to the applicant.

Chairperson Luhr closed the Public Comment period.

<https://youtu.be/nxS89ldMQdo?t=43m21s>

The Commissioners presented their questions to staff.

Discussion and comments for the Commission.

MOTION: Commissioner Barron moved to approve Coastal Development Permit CDP19-033 and Conditional Use Permit CUP19-09 and PC Resolution 24-19, for the approval of this project. Commissioner Stewart seconded.

The Commission discussed the motion.

MOTION: Commissioner Barron amended the motion to have staff produce verbiage for limiting the rooftop deck structures to below the top of deck railing. Commissioner Stewart concurred, and the motion passes 5-0.

<https://youtu.be/nxS89ldMQdo?t=55m1s>

Planning Condition #10 was added by the Planning Commission.

10. Height Limit for Rooftop Deck Structures: No temporary furniture, landscaping, or construction of any permanent fixture may extend above the top of deck railing.

- C. NEW BUSINESS - NONE
- D. UNFINISHED BUSINESS - NONE
- E. PLANNING COMMISSIONER COMMENTS/FUTURE AGENDA ITEMS
<https://youtu.be/nxS89ldMQdo?t=57m48s>

Vice-Chairperson Lucas asked staff about future Planning Commission meetings with City Council.

Commissioner Stewart asked staff about the status of the Sonic Drive-in project.

F. COMMUNITY DEVELOPMENT DIRECTOR COMMENT - NONE

G. ADJOURNMENT

The meeting adjourned at 7:01 p.m. to the next special scheduled Planning Commission meeting at the Veteran's Memorial Building, 209 Surf Street, on October 1, 2019 at 6:00 p.m.

Gerald Luhr, Chairperson

ATTEST:

Scot Graham, Secretary

AGENDA ITEM: A-3

DATE: NOVEMBER 5, 2019

ACTION: DRAFT

**ACTION MINUTES – MORRO BAY PLANNING COMMISSION
REGULAR MEETING – OCTOBER 01, 2019
VETERANS MEMORIAL BUILDING – 6:00 PM**

PRESENT:	Gerald Luhr Michael Lucas Susan Stewart Jesse Barron	Chairperson Vice-Chairperson Commissioner Commissioner
ABSENT:	Joe Ingraffia	Commissioner
STAFF:	Scot Graham Rob Livick	Community Development Director Public Works Director

ESTABLISH QUORUM AND CALL TO ORDER
MOMENT OF SILENCE / PLEDGE OF ALLEGIANCE
PLANNING COMMISSIONER ANNOUNCEMENTS - NONE

PUBLIC COMMENT PERIOD

<https://youtu.be/8XQjUzQplU4?t=2m19s>

Nancy Bast, Morro Bay resident, thanked the Commission for their discussion on the removal of the trees on Main Street, and allowing them thirty (30) days to find an equitable solution. Bast thanked staff for considering their arborist report and how they found a way to keep the trees. Bast suggested the Commission agendize a discussion regarding administrative permits.

Betty Winholtz, Morro Bay resident, stated the tree ordinance would need to be looked at and amended if needed. Winholtz would like an equitable way to deal with trees. Winholtz also thanked the HOA for acknowledging the trees were public trees.

Chairperson Luhr closed the Public Comment period.

<https://youtu.be/8XQjUzQplU4?t=7m34s>

Graham addressed the questions asked during the Public Comment period.

Discussion between the Commissioners and staff.

PRESENTATIONS - NONE

A. CONSENT CALENDAR

<https://youtu.be/8XQjUzQplU4?t=15m32s>

A-1 Current and Advanced Planning Processing List

Staff Recommendation: Receive and file.

A-2 Approval of minutes from the Planning Commission meeting of August 20, 2019.

Staff Recommendation: Approve minutes as submitted.

A-3 Approval of minutes from the Planning Commission meeting of September 3, 2019.

Staff Recommendation: Approve minutes as submitted.

Vice-Chairperson Lucas noted there was an error on the September 3rd minutes, in item B-1. The minutes should reflect Vice-Chairperson Lucas as opening and closing the Public Comment period, due to Chairperson Luhr recusing himself from the Public Hearing.

MOTION: Commissioner Barron moved to approve the amended minutes as recommended by Vice-Chairperson Lucas. Vice-Chairperson Lucas seconded, and the motion passes 4-0.

<https://youtu.be/8XQjUzQplU4?t=16m59s>

B. PUBLIC HEARINGS

Public testimony given for Public Hearing items will adhere to the rules noted above under the Public Comment Period. In addition, speak about the proposal and not about individuals, focusing testimony on the important parts of the proposal; not repeating points made by others.

<https://youtu.be/8XQjUzQplU4?t=17m24s>

B-1 Case No.: ABN19-001

Site Location: 196 Panay Street, Morro Bay, CA

Project Description: This request is for a determination of consistency with the General Plan of a proposed summary vacation (abandonment) of unused portions of 2 individual existing utility easements which reside upon subject property using the procedures provided by the California Streets and Highways Code, Division 9, Part 3, Section 8300 et seq. The project is in the R-1/ S.2A zone. If these summary vacations are determined to be consistent with the General Plan, then a Planning Commission Resolution is requested which will be provided to the City Council for subsequent action.

CEQA Determination: Categorically Exempt

Staff Recommendation: Approve

Staff Contact: Herb Edwards, Assistant Engineer, (805) 772-6564

COMMISSIONERS DISCLOSURE OF EX PARTE COMMUNICATIONS – NONE

Livick presented the staff report.

The Commissioners presented their questions to staff.

Chairperson Luhr opened the Public Comment period.

<https://youtu.be/8XQjUzQplU4?t=23m58s>

Leaha Magee, MBS Land Surveys, presented the Commission with information regarding the project.

Questions and comments from the Commission.

Chairperson Luhr closed the Public Comment period.

<https://youtu.be/8XQjUzQplU4?t=24m37s>

MOTION: Commissioner Stewart moved to approve PC Resolution 25-19, determining the proposed utility easements abandonment located on property 196 Panay Street being consistent with the Morro Bay General Plan, and recommending City Council approval of the abandonment. Vice-Chairperson Lucas seconded, and the motion passes 4-0.

C. NEW BUSINESS - NONE

D. UNFINISHED BUSINESS - NONE

E. PLANNING COMMISSIONER COMMENTS/FUTURE AGENDA ITEMS
<https://youtu.be/8XQjUzQplU4?t=29m48s>

Commissioner Barron asked staff about offsite cannabis advertising.

F. COMMUNITY DEVELOPMENT DIRECTOR COMMENT - NONE

G. ADJOURNMENT

The meeting adjourned at 5:34 p.m. to the next special scheduled Planning Commission meeting at the Veteran's Memorial Building, 209 Surf Street, on October 15, 2019 at 6:00 p.m.

Gerald Luhr, Chairperson

ATTEST:

Scot Graham, Secretary



AGENDA NO: B-1
MEETING DATE: November 5, 2019

Staff Report

TO: Planning Commissioners **DATE:** October 25, 2019

FROM: Nancy Hubbard, Contract Planner

SUBJECT: Application for Major Modification (MAJ19-03) of Conditional Use Permit (UPO481) and Coastal Development Permit (CPO544) approved in 2018. The modification from the approved plans is to eliminate the vintage car display and replace it with 6 indoor batting cages. The project is zoned C-VS/PD and is located within the Coastal Commission Appeals Jurisdiction.

NOTE: The public notice for this project included 1,100 square feet of arcade game area. On October 25 2019, the applicant withdrew the request for arcade use and will use the excess space for additional batting cages.

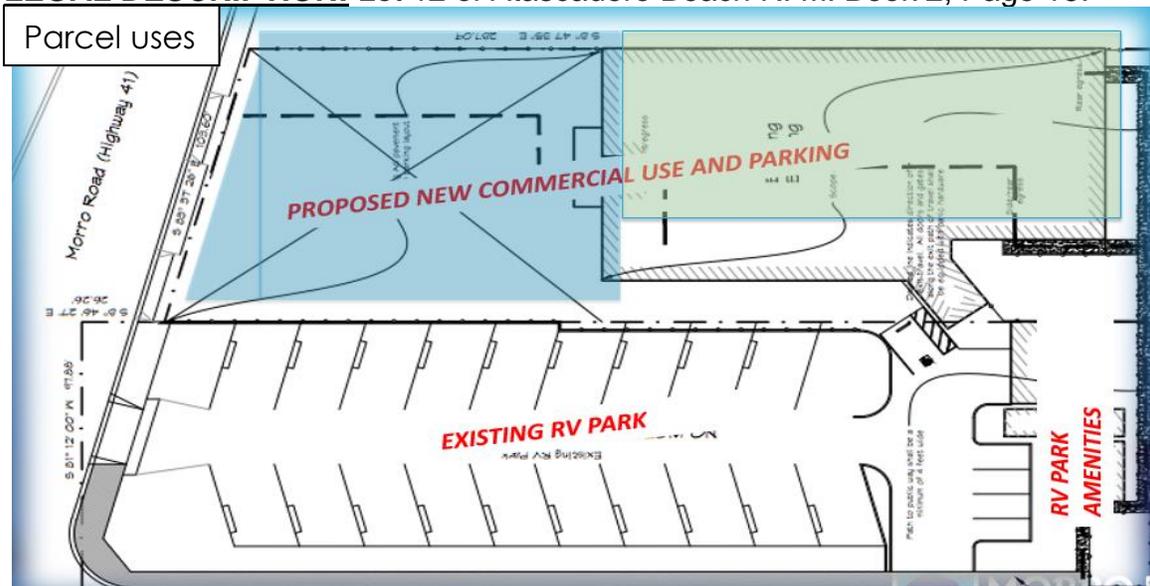
RECOMMENDATION:

CONDITIONALLY APPROVE THE PROJECT by adopting Planning Commission Resolution 26-19 making the necessary findings for approval of MAJ19-03.

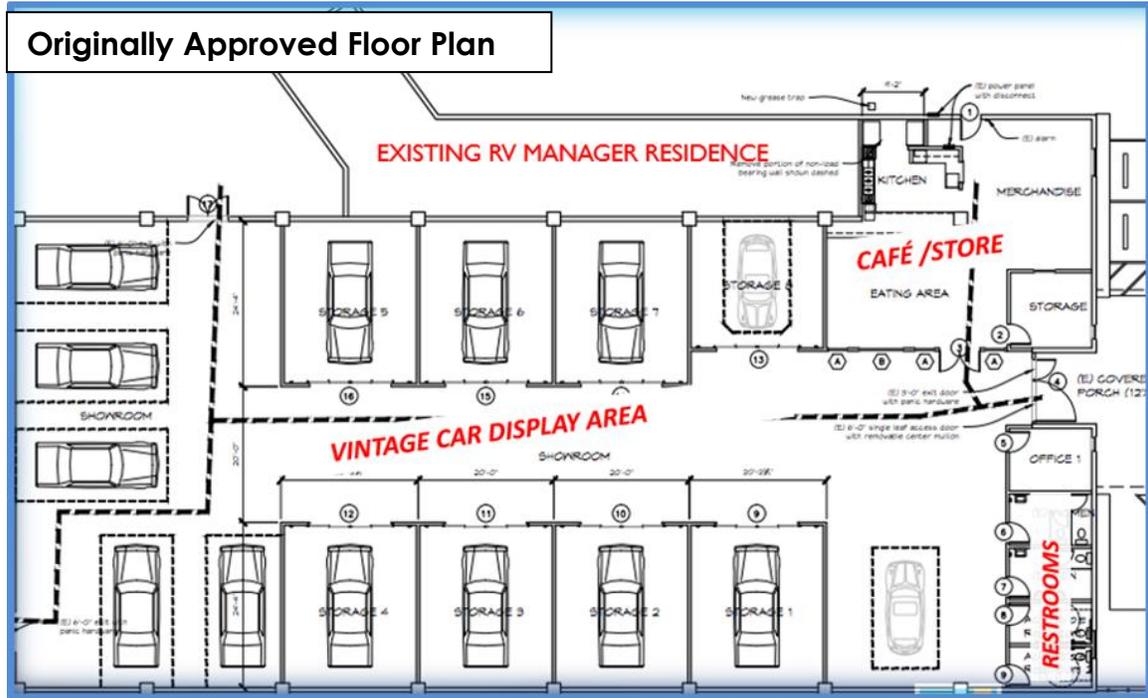
APPLICANT: Lawrence Guesno, agent for Morro Strand One LLCA, LLC

ADDRESS/APN: 210 ATASCADERO ROAD/ 066-332-012

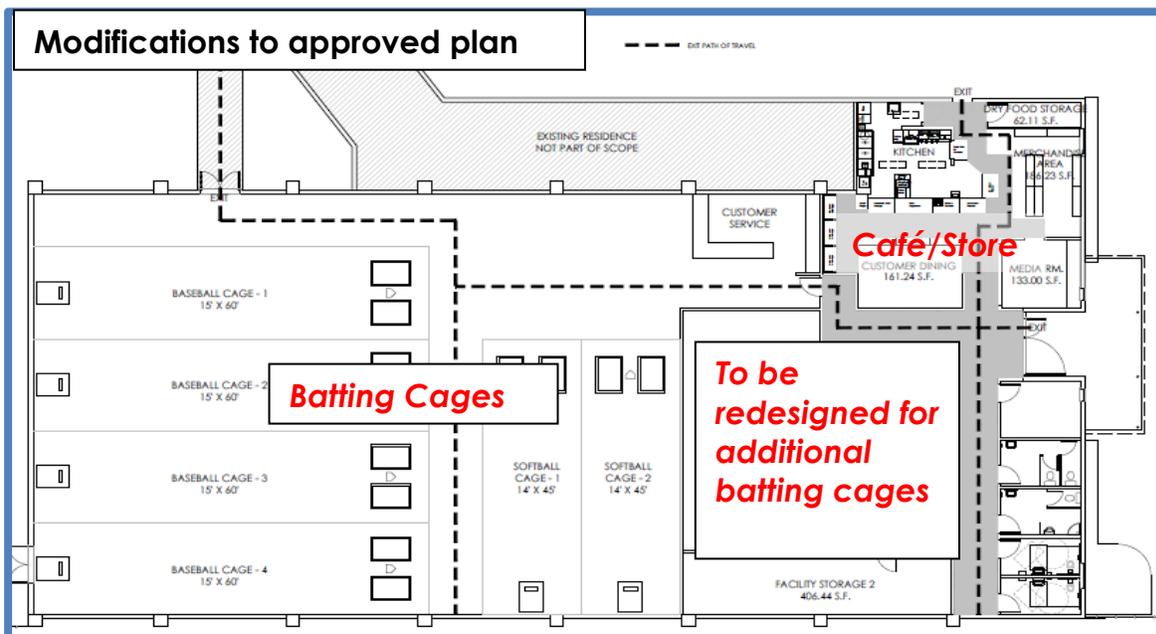
LEGAL DESCRIPTION: Lot 12 of Atascadero Beach R. M. Book 2, Page 15.



CURRENT APPROVAL: Conditional Use Permit and Coastal Development permit (Reso 32-18 approved October 16, 2018) approved the following uses for the 11,200 square foot existing commercial building that was previously *Flippo's Surfside Skate Harbor* roller skating rink at 210 Atascadero Road to be used for the following: 1,079 square foot café/merchandise area, a 260 square foot office and approximately 9,861 square feet for vintage/classic car display area, with associated circulation area and restrooms.



MODIFICATION REQUESTED: The Modification would replace the vintage/classic car display with 6 batting cages (4 baseball and 2 softball) and a



larger facility storage area. The exterior parking lot design and required right of way improvements are primarily as originally approved.

GENERAL PLAN/COASTAL LAND USE PLAN: Area 5 – Morro Rock with land use designation of Visitor Serving. The proposed uses fit within the categories allowed within a Visitor Serving zoning district (restaurant, commercial, recreational and other tourist related activities).

ZONING: CV-S/PD (Visitor-Serving Commercial/Planned Development)

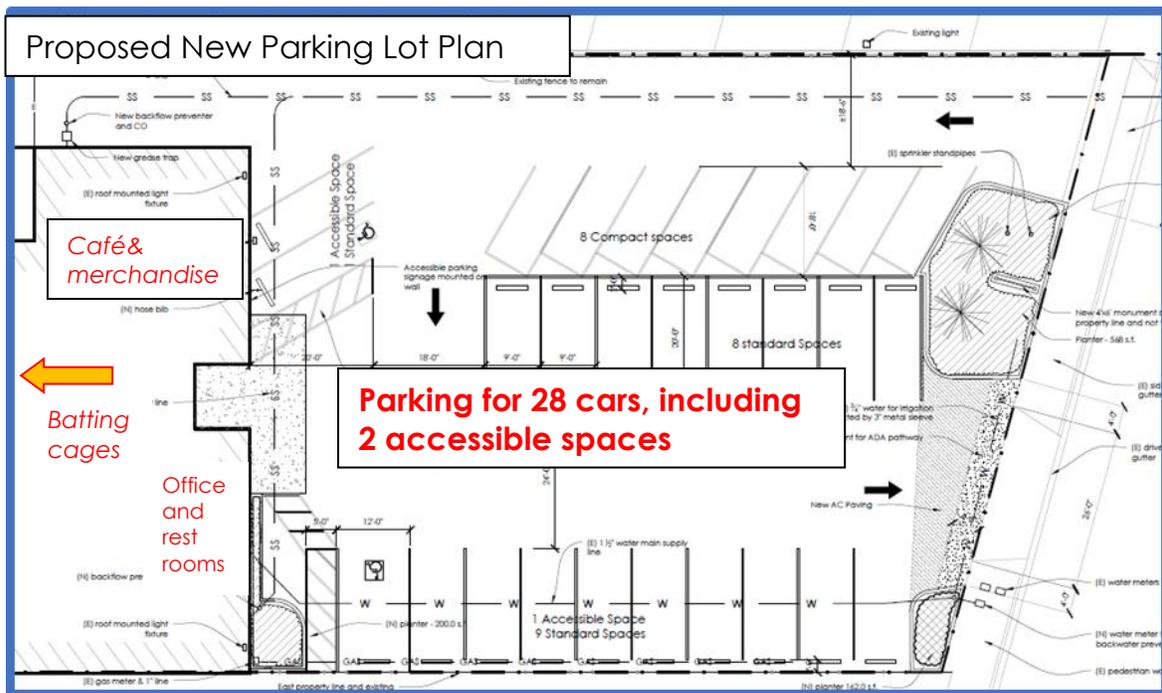
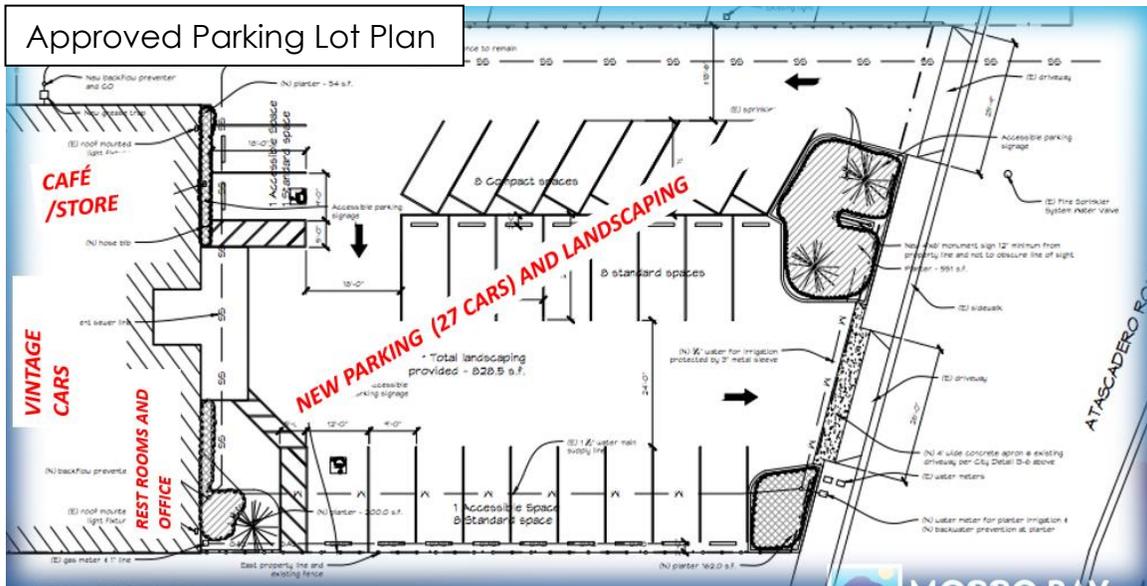
Adjacent Zoning			
North	SCH – School District	East	C-VS/PD – Visitor Serving/ Planned Development
South	M-I/PD/I – Light Industrial/PD/Interim	West	M-I/PD/I – Light Industrial/PD/Interim Use

SUMMARY OF SITE HISTORY:

- The subject commercial building and attached single-family residence were built in 1963
- The commercial building was operated as Flippo’s Surfside Skate Harbor rink for 19 years, (from about 1982 to 2001)
- In 1994 an expansion was approved (CUP 21-94/CDP36-94) that included an addition to the existing building to add a bowling alley and 1600 sf of arcade space. The project was approved with a condition to limit the number of arcade games to 3 machines. The project did not move forward.
- An RV/Mobile Home Park was built on half of the site in 2006/2007 with 19 spaces, rest rooms and a laundry building
- Conditional Use Permit and Coastal Development Permit approved October 16, 2018 for café, vintage car display and related merchandise and storage uses.

PROJECT DESCRIPTION:

The applicant has approval to use the 11,200 square foot commercial building to operate a small café with associated merchandise area, provide an office, facility storage space and use most of the space for vintage car display. The applicant would like to eliminate the vintage car display area and replace it with 6 or more indoor batting cages. The changes reduce the parking required to ___ spaces, and the applicant has provided 28 total spaces.



CONCLUSION:

The project is consistent with the General Plan and Local Coastal Program, as conditioned.

PUBLIC HEARING NOTICE:

Notice of a public hearing on this item was published in the San Luis Obispo Tribune newspaper on October 25, 2019, and all property owners and occupants of record within 500 feet of the project site were notified of the scheduled public hearing and invited to voice any concerns on this application. The project site was also posted with a public notice sign.

RECOMMENDATION:

Staff recommends that the Planning Commission CONDITIONALLY APPROVE THE PROJECT by adopting Planning Commission Resolution 26-19 which includes findings for MAJ19-03 to allow the proposed change in uses as reflected on the plans submitted to the City of Morro Bay on September 13, 2019.

ATTACHMENTS:

Exhibit A – Resolution 26-19 – Findings and Conditions of Approval

Exhibit B – Plans

Exhibit C - Permit, plans and conditions of approval for previous project approved October 16, 2018.

RESOLUTION NO. PC 26-19

A RESOLUTION OF THE MORRO BAY PLANNING COMMISSION FOR APPROVAL OF A MAJOR MODIFICATION (MAJ19-03) OF EXISTING CONDITIONAL USE PERMIT (UP0-481) AND COASTAL DEVELOPMENT PERMIT (CP0-544) FOR A PARTIAL CHANGE IN USE OF A COMMERCIAL BUILDING LOCATED AT 210 ATASCADERO ROAD.

WHEREAS, the Planning Commission of the City of Morro Bay conducted a public hearing at the Morro Bay Veteran's Hall, 209 Surf Street, Morro Bay, California, on November 5, 2019, for the purpose of considering Major Modification (MAJ19-03) for a change in use of an existing commercial building to remove the vintage car display and replace it with six indoor batting cages with related interior and exterior improvements located within the Coastal Commission appeals jurisdiction; and

WHEREAS, notices of said public hearing were made at the time and in the manner required by law; and

WHEREAS, the Planning Commission has duly considered all evidence, including the testimony of the applicant, interested parties, and the evaluation and recommendations by staff, presented at said hearing.

NOW, THEREFORE, BE IT RESOLVED by the Planning Commission of the City of Morro Bay as follows:

Section 1: Findings. Based upon all the evidence, the Commission makes the following findings:

California Environmental Quality Act (CEQA)

- A. That for purposes of the California Environmental Quality Act, Case No. MAJ19-03 is categorically exempt under Class 1a, Section 15301 where minor alternations of an existing building's interior or exterior involving a negligible or no expansion of use beyond that existing at the time of the lead agency's determination. Additionally, none of the Categorical Exemption exceptions, noted under section 15300.2, apply to the project.

Conditional Use Permit Findings

- A. The project will not be detrimental to the health, safety, morals, comfort and general welfare of the persons residing or working in the neighborhood in that the commercial remodel and parking lot improvements at 210/220 Atascadero Road are permitted uses within the zoning district. The commercial structure and proposed use comply

with all applicable project conditions and City regulations and is consistent with the City's Local Coastal Program.

- B. The project will not be injurious or detrimental to property and improvements in the neighborhood and the general welfare of the City in that the proposed commercial remodel and parking lot improvements will provide a visitor-serving opportunity which will provide additional benefit and improvements unutilized commercial site.

Section 2. Action. The Planning Commission does hereby approve the Major Modification (MAJ 19-03) subject to the following conditions:

STANDARD CONDITIONS

1. This permit is granted for the land described in the staff report dated October 25, 2019, for the project at 210/220 Atascadero depicted on plans dated September 13, 2019, on file with the Community Development Department, as modified by these conditions of approval, and more specifically described as follows: Interior remodel of an existing building and parking lot improvements, shall be designed substantially as shown on Planning Commission approved plans submitted for MAJ19-03, unless otherwise specified herein.
2. Inaugurate Within Two Years: Unless the construction or operation of the structure, facility, or use is commenced not later than two (2) years after the effective date of this Resolution and is diligently pursued, thereafter, this approval will automatically become null and void; provided, however, that upon the written request of the applicant, prior to the expiration of this approval, the applicant may request up to two extensions for not more than one (1) additional year each. Any extension may be granted by the City's Community Development Director, upon finding the project complies with all applicable provisions of the Morro Bay Municipal Code (the "MBMC"), General Plan and certified Local Coastal Program Land Use Plan (LCP) in effect at the time of the extension request.
3. Changes: Minor changes to the project description and/or conditions of approval shall be subject to review and approval by the Community Development Director. Any changes to this approved permit determined, by the Director, not to be minor shall require the filing of an application for a permit amendment subject to Planning Commission review.
4. Compliance with the Law: (a) All requirements of any law, ordinance or regulation of the State of California, the City, and any other governmental entity shall be complied with in the exercise of this approval, (b) This project shall meet all applicable requirements under the MBMC and shall be consistent with all programs and policies contained in the LCP and General Plan for the City.

5. Hold Harmless: The applicant, as a condition of approval, hereby agrees to defend, indemnify, and hold harmless the City, its agents, officers, and employees, from any claim, action, or proceeding against the City as a result of the action or inaction by the City, or from any claim to attack, set aside, void, or annul this approval by the City of the applicant's project; or applicants failure to comply with conditions of approval. Applicant understands and acknowledges the City is under no obligation to defend any legal actions challenging the City's actions with respect to the project. This condition and agreement shall be binding on all successors and assigns.
6. Compliance with Conditions: The applicant's establishment of the use or development of the subject property constitutes acknowledgement and acceptance of all Conditions of Approval. Compliance with and execution of all conditions listed hereon shall be required prior to obtaining final building inspection clearance. Deviation from this requirement shall be permitted only by written consent of the Director or as authorized by the Planning Commission. Failure to comply with any of these conditions shall render this entitlement, at the discretion of the Director, null and void. Continuation of the use without a valid entitlement will constitute a violation of the MBMC and is a misdemeanor.
7. Compliance with Morro Bay Standards: This project shall meet all applicable requirements under the MBMC and shall be consistent with all programs and policies contained in the LCP and General Plan of the City.
8. Conditions of Approval: The Findings and Conditions of Approval shall be included as a full-size sheet in the Building Plans.

PLANNING DEPARTMENT CONDITIONS

1. Archaeology: In the event of the unforeseen encounter of subsurface materials suspected to be of an archaeological or paleontological nature, all grading or excavation shall immediately cease in the immediate area, and the find should be left untouched until a qualified professional archaeologist or palaeontologist, whichever is appropriate, is contacted and called in to evaluate and make recommendations as to disposition, mitigation and/or salvage. The applicant shall be liable for costs associated with the professional investigation.
2. Construction Hours: Pursuant to MBMC subsection 9.28.030.I, Construction or Repairing of Buildings, the erection (including excavating), demolition, alteration or repair of any building or general land grading and contour activity using equipment in such a manner as to be plainly audible at a distance of fifty feet from the building other than between the hours of seven a.m. and seven p.m. on weekdays and eight a.m. and seven p.m. on weekends except in case of urgent necessity in the interest of public health and safety, and then only with a permit from the Community Development Department, which permit may be granted for a period not to exceed

three days or less while the emergency continues and which permit may be renewed for a period of three days or less while the emergency continues.

3. Dust Control: That prior to issuance of a grading permit, a method of control to prevent dust and wind blow earth problems shall be submitted for review and approval by the Building Official.
4. Conditions of Approval on Building Plans: Prior to the issuance of a Building Permit, the final Conditions of Approval shall be attached to the set of approved plans. The sheet containing Conditions of Approval shall be the same size as other plan sheets and shall be the last sheet in the set of Building Plans.
5. Parking lot landscaping: Parking lot landscaping shall be provided as reflected on the approved plans. No landscape islands are required since this is an existing parking lot. (Minor Improvements to PD Overlay Zone Properties Section 17.40.030 J.).
6. Parking: The proposed project shall provide a minimum of 17 off-street parking spaces, 2 of which must be accessible (one of which must be van accessible). *As a condition of your building permit, an inspection will be required to verify that there are 2 parking spaces available in the existing residential garage.*
7. Signage included in the submittal (one wall sign and one double sided monument sign), must meet the total signage area limit of no more than 85 sq.ft.
8. No cooking or heating of food will be allowed on site without further review and approval by the Community Development Department (which may require additional permits and approvals).
9. Beer and Wine: Applicant shall provide the City with evidence of a valid liquor license issued by the California Department of Alcohol Beverage Control (ABC) prior to issuance of an occupancy permit and shall abide by all requirements and restrictions included in such license.
10. All exit pathways will need to be clearly marked with a clear pathway and accessible with appropriate panic hardware leading to a public street. See also comments from Fire Department.
11. Arcade Use: Arcade use with more than 3 amusement games requires a modification to this permit.

BUILDING DEPARTMENT CONDITIONS:

A. PRIOR TO ISSUANCE OF A BUILDING PERMIT:

1. Building permit plans shall be submitted by a California licensed architect or engineer when required by the Business & Professions Code, except when otherwise approved by the Chief Building Official.
2. The owner shall designate on the building permit application a registered design professional who shall act as the Registered Design Professional in Responsible Charge. The Registered Design Professional in Responsible Charge shall be responsible for reviewing and coordinating submittal documents prepared by others including phased and staggered submittal items, for compatibility with design of the building.
3. The owner shall comply with the City's Structural Observation Program. The owner shall employ the engineer or architect responsible for the structural design, or another engineer or architect designated by the engineer of record or architect responsible for the structural design, to perform structural observation as defined in Section 220. Observed deficiencies shall be reported in writing to the owner's representative, special inspector, contractor and the building official. The structural observer shall submit to the building official a written statement that the site visits have been made and identify any reported deficiencies that, to the best of the structural observer's knowledge, have not been resolved.
4. The owner shall comply with the City's Special Inspection Program. Special inspections will be required by Section 1704 of the California Building Code. All Special Inspectors shall first be approved by the Building Official to work in the jurisdiction. All field reports shall be provided to the City Building Inspector when requested at specified increments in order for the construction to proceed. All final reports from Special Inspectors shall be provided to the Building Official when they are complete and prior to final inspection.
5. Mitigation measures for natural occurring asbestos require approval from San Luis Obispo County Air Pollution Control District.
6. A soils investigation performed by a qualified professional shall be required for this project. All cut and fill slopes shall be provided with subsurface drainage as necessary for stability; details shall be provided. Alternatively, submit a completed City of Morro Bay soils report waiver request.
7. BUILDING PERMIT APPLICATION. To apply for building permits, submit three (3) sets of construction plans to the Building Division.
8. The Title sheet of the plans shall include:
 - a. Street address, lot, block, track and Assessor Parcel Number.
 - b. Description of use.
 - c. Type of construction.
 - d. Maximum Height of the building allowed and proposed.

- e. Floor area of the building(s).
- f. Vicinity map.
- g. Minimum building set back per zoning designation or conditional use approval.

All construction will conform to the 2016 California Building Code (CBC), 2016 California Residential Code (CRC), 2016 California Fire Code (IFC), 2016 California Mechanical Code (CMC), 2016 California Plumbing Code (CPC), 2016 California Electrical Code (CEC), 2016 California Energy Code, 2016 California Green Code (CGBC), and Accessibility Standards where applicable and all City codes as they apply to this project.

(Code adoption dates are subject to change. The code adoption year is established by application date of plans submitted to the Building Division for plan review.)

B. CONDITIONS TO BE MET DURING CONSTRUCTION:

1. SITE MAINTENANCE. During construction, the site shall be maintained so as to not infringe on neighboring property, such as debris and dust.
2. ARCHAEOLOGICAL MATERIALS. In the event unforeseen archaeological resources are unearthed during any construction activities, all grading and or excavation shall cease in the immediate area and the find left untouched. The Building Official shall be notified so that the extent and location of discovered materials may be recorded by a qualified archaeologist, Native American, or palaeontologist, whichever is appropriate. The qualified professional shall evaluate the find and make reservations related to the preservation or disposition of artefacts in accordance with applicable laws and ordinances. If discovered archaeological resources are found to include human remains, or in any other case when human remains are discovered during construction, the Building Official shall notify to county coroner. If human remains are found to be of ancient age and of archaeological and spiritual significance, the Building Official shall notify the Native American Heritage Commission. The developer shall be liable for costs associated with the professional investigation.
3. A licensed surveyor or engineer shall verify pad elevations, setbacks, prior to foundation inspection, and/or building height prior to framing inspection when determined necessary by the Planning Division.

C. CONDITIONS TO BE MET PRIOR TO FINAL INSPECTION AND ISSUANCE OF CERTIFICATE OF OCCUPANCY:

1. Prior to building division final approval all required inspections from the other various divisions must have been completed and verified by a city

inspector. All required final inspection approvals must be obtained from the various departments and documented on the permit card.

2. Title 24 form(s) 2F-6R (Certificate of installation) for building, mechanical, electrical and plumbing systems.

PUBLIC WORKS DEPARTMENT CONDITIONS:

1. Stormwater Management: The City has adopted Low Impact Development (LID) and Post Construction requirements to protect water quality and control runoff flow from new and redevelopment projects. The requirements can be found in the Stormwater management guidance manual on the City's website www.morrobay.ca.us/EZmanual. Projects with more than 2,500sf of new or redeveloped impervious area are subject to these requirements. All proposed projects must complete the "Appendix C - Performance Requirement Determination Form" to prove compliance.
2. Frontage Improvements: Upgrade of Driveway approach to match City of Morro Bay Standard Driveway Detail B-6.
3. Site Plan: Update site plan to include accurate exiting sidewalk size and location. (see attached survey/site plan from UP0-093/CP0-142).
4. Sewer Lateral: Indicate and label new or existing sewer lateral and connection. All sewer lateral sizes are a minimum 4.
5. Sewer Backwater Valve: Indicate and label sewer backwater valve on plan. A backwater valve, extended to and accessible from grade for maintenance, shall be installed on every Building sewer. Exception: Installation of backwater valve shall not be required when, to the satisfaction of Building Official, it is determined that the intent and purpose of this section is otherwise met.
6. Erosion and Sediment Control Plan: For small projects less than one acre and less than 15% slope, provide a standard erosion and sediment control plan. Show on plans the control measures to provide protection against erosion of adjacent property and prevent sediment or debris from entering the City right of way, adjacent properties, any harbor, waterway, or ecologically sensitive area.
7. Water Meter: Indicate and label new and/or existing water meter on plans. Include size of meters.
8. Water Backflow Prevention Device: Verify and label all new or existing water backflow preventers. Devices are required for fire water systems, irrigation systems on a dedicated water meter, systems which may change in character of use (commercial rentals, etc.), gray water systems, or any plumbing system which

has cross-connections or the ability to allow water of deteriorated sanitary quality to enter the public water supply. Add note to plan that device is required to be an approved domestic water backflow prevention device.

9. Grading and Drainage: Indicate on plans the existing and updated contours, drainage patterns, spot elevations, finish floor elevation and all existing and proposed drainage pipes and structures.
10. Utilities: Show all existing and proposed locations of the sewer lateral, water service, and water and sewer mains on the building plans. Include sizes where appropriate. Note the location of all overhead utilities and construction underground service entrances per the CBC.

Add the following Notes to the Plans:

1. Any damage, as a result of construction operations for this project, to City facilities, i.e. curb/berm, street, sewer line, water line, or any public improvements shall be repaired at no cost to the City of Morro Bay.
2. No work shall occur within (or use of) the City's Right of Way without an encroachment permit. Encroachment permits are available at the City of Morro Bay Public Works Office located at 955 Shasta Ave. A standard encroachment permit shall be required for the proposed driveway; the driveway shall comply with B-9 (Driveway Ramps: Size & Location). A sewer encroachment permit shall be required for any repairs or installation of a sewer lateral within the City right-of-way or within a utility easement. If a construction dumpster is used, the dumpster location shall be on private property, unless allowed by an encroachment permit within the City right-of-way.

FIRE DEPARTMENT CONDITIONS:

1. Fire Safety during Construction and Demolition shall be in accordance with 2016 California Fire Code, Chapter 33. This chapter prescribes minimum safeguards for construction, alteration and demolition operations to provide reasonable safety to life and property from fire during such operations.
2. Means of egress illumination. The means of egress, including the exit discharge, shall be illuminated at all times the building space served by the means of egress is occupied (CFC 1006.1). Applicant shall provide a schedule of illuminated exit signs and emergency backup lighting locations and there is a readily visible sign adjacent to the doorway stating, "This Door to Remain Unlocked during Business Hours".
3. Exits. shall discharge directly to the exterior of the building. The exit discharge shall be at grade or shall provide direct access to grade. The exit discharge shall not re-enter a building.

4. Access to a public way. The exit discharge shall provide a direct and unobstructed access with an all-weather surface to a public way.
5. Dumpsters and containers with an individual capacity of 1.5 cubic yards or more shall not be stored in buildings or placed within 5 feet of combustible walls, openings or combustible roof eave lines.
6. Fire Department access to equipment. Rooms or areas containing controls for Electrical, FAU, Alarm and Fire Sprinkler Systems shall be identified by approved and appropriate signage for Fire Department use. (CFC 1001.8)
7. Fire apparatus roads shall have an unobstructed width of not less than 20 feet, exclusive of shoulders and an unobstructed vertical clearance of not less than 13 feet 6 inches. Access roads and fire lanes shall be provided and identified by approved signage to read: "Fire Lane, No Parking" stencilled over red-painted curbs and signage. (Note: redlines on T1.01).

PASSED AND ADOPTED by the Morro Bay Planning Commission at a regular meeting thereof held on this 5th day of November 2019, on the following vote:

AYES:
NOES:
ABSENT:
ABSTAIN:

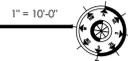
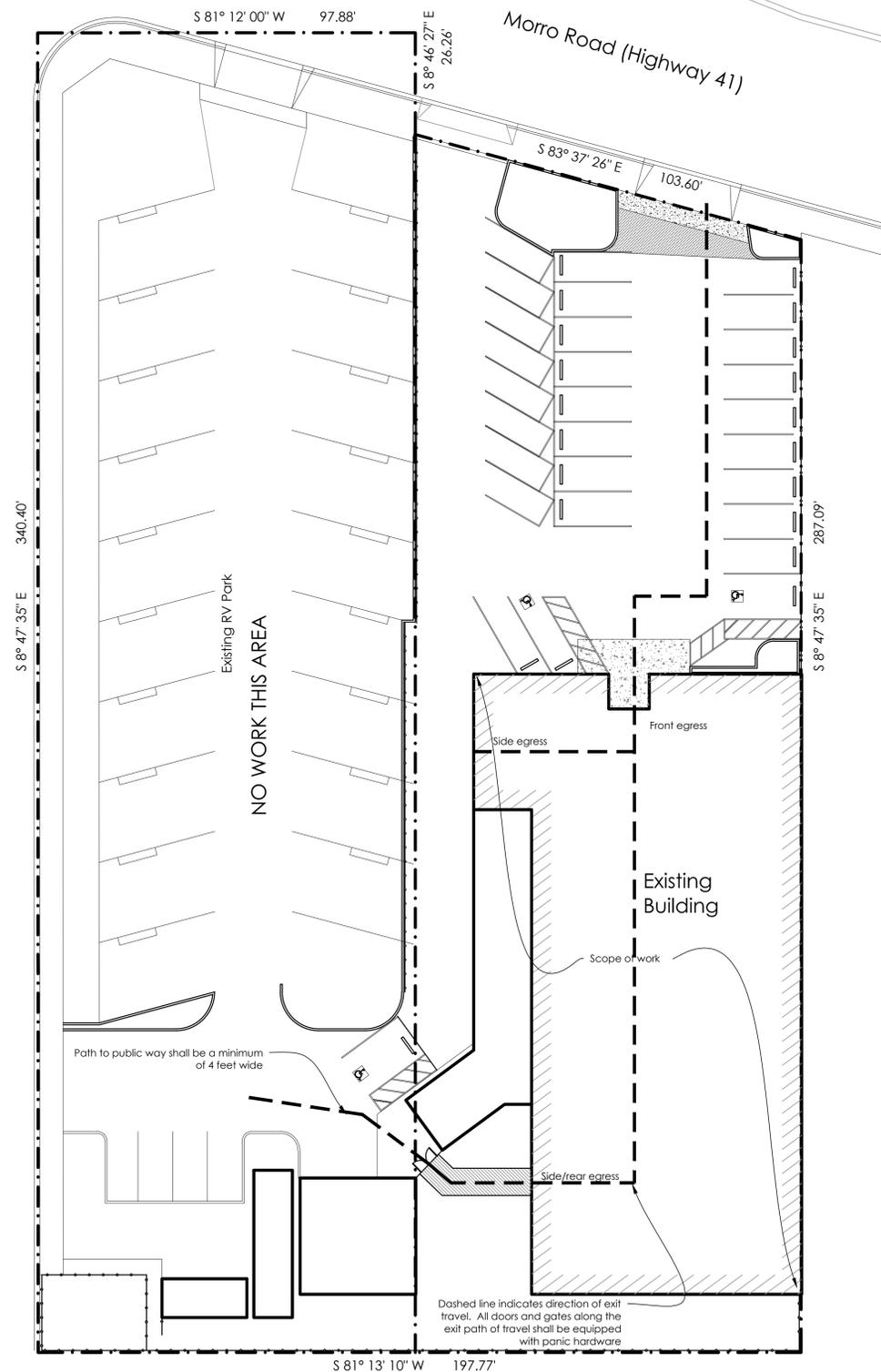
Chairperson Gerald Luhr

ATTEST

Scot Graham, Community Development Director

The foregoing resolution was passed and adopted this 5th day of November 2019.

SITE PLAN



APPLICABLE CODES

THIS PROJECT SHALL COMPLY WITH THE FOLLOWING APPLICABLE CODES AND STANDARDS

APPLICABLE CODES- California Code of Regulations Title 24

- California Building Code (2016)
- California Plumbing Code (2016 UPC)
- California Mechanical Code (2016 UMC)
- California Electrical Code (2016 NEC)
- California Energy Code (2016)
- California Green Building Code (2016)
- California Fire Code (2016 IFC)
- California Reference Standards Code (2016)

PROJECT DATA AND INFORMATION

ADDRESS:	220 ATASCADERO ROAD MORRO BAY, CA 93442	
LOT AREA:	30,000 S.F.	
APN:	066-332-012	
ZONING:	C-VS/PD	
OCCUPANCY (ORIGINAL/VACANT):	A-3 B (INCIDENTAL) R-3 (EXISTING)	
SEPARATED MIXED OCCUPANCY		
CONSTRUCTION TYPE:	VB - SPRINKLERED	
SPRINKLERED:	YES - NFPA 13 WET SYSTEM	
STORIES:	1	
HEIGHT:	18'-0"	
ALLOWABLE BUILDING AREA:	24,000 S.F.	
ACTUAL BUILDING AREA:	13,049 S.F.	
BUILDING AREAS:		
APARTMENT (EXISTING 1ST FLR)	~2,100 S.F.	
COMMERCIAL SPACE	11,573 S.F.	
OCCUPANT LOAD:		
KITCHEN	187/200	0.82
DINING	142/15	10.80
MERCHANDISE	187/60	3.12
MEDIA ROOM	103/100	1.03
ARCADE	1,100/11	100.00
STORAGE	445/300	1.55
OFFICE	125/100	1.25
BATTLING CAGES	1/ CAGE	6.00
BATTLING CAGE WAITING	2/ CAGE	12
RESTROOM	0	0
TOTAL		136.57

EGRESS	
MINIMUM NUMBER OF EXITS REQUIRED PER TABLE 1006.3.1	= 2
EXITS PROVIDED	= 3
MAX DISTANCE TO ANY EXIT IS <150'	
SPRINKLERED BUILDING ALLOWS UP TO 250' TRAVEL	

PARKING CALCULATION:		
KITCHEN	0	0
DINING	142/60	2.70
MERCHANDISE	187/300	0.62
MEDIA ROOM	103/300	0.34
ARCADE	1,100/100	11.00
DRY FOOD STORAGE	0	0
FACILITY STORAGE	0	0
OFFICE	125/300	0.42
BATTLING CAGES	2 / CAGE	12.00
RESTROOM	347/0	0
TOTAL		27.08

PARKING REQUIRED PER CITY OF MORRO BAY ZONING REG'S
TOTAL PARKING SPACES REQUIRED 27
TOTAL PARKING SPACES PROVIDED 28

FIRE RESISTIVE RATING REQUIREMENTS FOR BUILDING ELEMENTS PER TABLE 601
 TYPE VB - ALL BUILDING ELEMENTS; EXTERIOR BEARING WALLS, EXTERIOR NON-BEARING WALLS AND EXTERIOR PRIMARY STRUCTURAL FRAME ARE NOT REQUIRED TO BE FIRE RESISTANT

FIRE RESISTIVE RATING REQUIREMENTS FOR EXTERIOR WALLS BASED ON FIRE SEPARATION DISTANCE (FSD) PER TABLE 602
 TYPE VB CONSTRUCTION FOR OCCUPANCIES M AND B BETWEEN 10' AND 30' FROM FSD ARE NOT REQUIRED TO BE FIRE RATED

ONE-HOUR SEPARATION REQUIRED BETWEEN M/B AND R

GENERAL NOTES

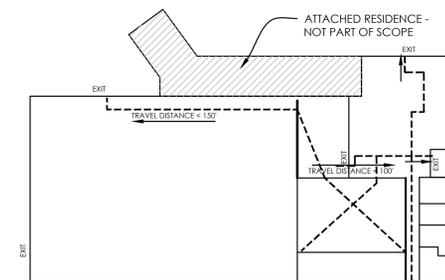
1. CONSTRUCTION WASTE REDUCTION, DISPOSAL AND RECYCLING: A minimum of 70% of the construction waste generated at the site is diverted to recycle or salvage per Title 19 San Luis Obispo County Ordinance. 4.408.2 Where a local jurisdiction does not have a construction and demolition waste management ordinance, a construction waste management plan shall be submitted for approval to the enforcing agency.
2. The contractor shall maintain the job site in a clean and orderly condition - free of debris and litter. Each sub-contractor, immediately upon completion of each phase of his work, shall remove all trash and debris created as a result of his operation
3. V.O.C.'S - 4.504.2.4 DOCUMENTATION SHALL BE PROVIDED TO VERIFY THAT COMPLIANT VOC LIMIT FINISH MATERIALS HAVE BEEN USED.
4. No hazardous materials, liquids or chemicals shall be stored or used within the subject building as to require a hazardous classification per the California Building Code
5. Light, ventilation and sanitation shall comply with the current provisions of the CBC
6. Provide address numbers at least six inches high which shall be visible from the roadway
7. All work described in the drawings shall be verified for dimension, grade, extent and compatibility with existing site conditions. Any discrepancies and unexpected conditions that affect or change the work described in the contract documents shall be brought to the Architect's attention immediately. Do not proceed with the work in the area of discrepancies until all such discrepancies are resolved. If the contractor chooses to do so, he/she shall be proceeding at his/her own risk.
8. Omissions made in these drawings and specifications or the mis- description of the work which is manifestly necessary to carry out the intent of the drawings and specifications, or which is customarily performed shall not relieve the Contractor from performing such omitted or described details of the work as if fully and completely set forth and described in the drawings and specifications.
9. Dimensions shown shall take precedence over drawing scale or proportion. Larger scale drawings shall take precedence over smaller scale drawings.
10. In the event of the unforeseen encounter of materials suspected to be of an archaeological or paleontological nature, all grading and excavation shall cease in the immediate area and the appropriate authorities are to be notified by the Contractor. The find shall be left untouched until an evaluation by a qualified Archaeologist or Paleontologist is made.
11. Contractor is to be responsible for being familiar with these documents including all contract requirements.
12. All damaged work shall be patched or repaired by the contractor. All repaired surfaces shall be equal to new
13. It is the contractor's responsibility to insure that the installation methods and materials conform to all current building code requirements. The materials specified are intended to meet code. Any discrepancy between building code requirements and the construction documents shall be brought to the attention of the architect by the contractor prior to proceeding with any work.
14. All new areas and facilities shall be accessible to the physically handicapped per the State of California Architectural Barriers, Title 24 code/law
15. The contractor shall provide all necessary blocking, backing, framing, hangers or other support for all fixtures, equipment, cabinetry, furnishings and all other items requiring the same
16. Substitutions of any item specified within the construction documents, except building standard items, will require written approval by the architect prior to installation.
17. The intent of the drawings and specifications is to include all labor, materials and services necessary for the completion of all work shown, described or reasonably implied, but not limited to that explicitly indicated in the contract documents.

Grading plans, drainage improvements, road and access requirements and environmental health considerations shall comply with all local ordinances.

Any damage, as a result of construction operations for this project, to City facilities, i.e. curb/boom, street, sewer line, water line or any public improvements shall be repaired at no cost to the City of Morro Bay

No work shall occur within (or use of) the City's Right of Way without an encroachment permit. Encroachment permits are available at the City of Morro Bay Public Works Office located at 955 Shasta Ave. The encroachment permit shall be issued concurrently with the building permit.

EGRESS KEY



SHEET INDEX

T1.0 TITLE SHEET/SITE PLAN

- A1.01 PARKING PLAN
- A2.01 FLOOR PLAN

PROJECT DESCRIPTION

- Flat site
- Parking lot reconfiguration to maximize parking
- Kitchen remodel with no cooking
- New non-bearing partitions to enclose batting cage area
- No floor area added to existing facility. Scope of work limited to interior with the exception of parking upgrades

PROJECT SUMMARY

B Occupancy -	10,947 s.f.
S-1 Occupancy -	349 s.f.
R-3 Occupancy -	2,648 s.f.
TOTAL GROSS FLOOR AREA =	13,944

VICINITY MAP



LANDSCAPE CALCULATION

	Area	Landscaping
Existing Parking -	12,322 s.f.	0 s.f.
Required Landscaping (5%)		616.10 s.f.
Proposed Parking -	11,065 s.f. - 27 spaces	
Proposed Landscaping -	1,257 s.f. - (10.20%)	

PROJECT TEAM		
STRUCTURAL	ARCHITECT	OWNER
Charles Trenbeth Lic # C68937	Mark A. Diaz Lic # C90178	Larry Guimo City, State zip
2074 Peachcreek Dr. Morro Bay, CA 93442 Phone: (805) 772-5851	2257 Rio Lado Atascadero, CA 93422 (805) 462-9488 - Office (805) 462-9088 - Fax	Phone: (805) XXX-XXXX

Design Solutions
 3357 Rio Lado, Atascadero, CA 93422
 (805) 462-9488

Copyright ©: This drawing, as an instrument of service, is the property of the Architect/Engineer and may not be reproduced without their permission and unless the reproduction carries their name. All design and other information shown on this drawing are for the use on the specified project only and shall not be used otherwise without written permission of the Architect/Engineer.

Written dimensions shall have precedence over scaled dimensions. Contractors shall verify and be responsible for all dimensions and conditions on the job and the Architect/Engineer shall be informed of any variations from the dimensions and conditions shown on the drawing. Shop drawings shall be submitted to the Architect/Engineer for approval before proceeding with fabrication.

REGISTERED ARCHITECT
 MARK A. DIAZ
 No. 95178
 State of California
 June 30, 2021
 Renewal

220 Atascadero Road.
 Morro Bay, CA 93442
 APN - 066-332-012

FLIPPOS REMODEL
 CONDITIONAL USE
 PERMIT AMENDMENT
 Title Sheet

No.	Revision	Date
1		
2		
3		

Project Manager
 Charlie Trenbeth

Drawn By
 md

Checked by
 ct

Date
 Oct. 10, 2019

CAD file

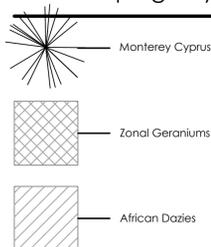
Job Number
 2180301

Sheet
T1.01

CONSTRUCTION NOTES

- Any damage, as a result of construction operations for this project, to City facilities, i.e. curb/burn, street, sewer line, water line or any public improvements shall be repaired at no cost to the City of Morro Bay.
- No work shall occur with (or use of) the City's Right of Way without an encroachment permit. Encroachment permits are available at the City of Morro Bay Public Works Office located at 955 Shasta Avenue. A standard encroachment permit shall be required for the proposed driveway. A sewer encroachment permit shall be required for any repairs or installation of a sewer lateral with the City right-of-way or with in a utility easement. If a construction dumpster is used, the dumpster location shall be on private property, unless allowed by an encroachment permit with the City right-of-way.

Landscaping Key



(Selected plants are used throughout the neighborhood)

PLUMBING NOTES (parking lot landscaping)

- New irrigation (drip) system for planters shall be on its own separate system and shall tie in directly to a new sidewalk water meter with a new backflow preventer adjacent to the meter.
- Verify existing (or provide new) backflow preventer at existing building water meters.
- New or replaces sewer lines at building shall have new backflow preventers as well as new cleanouts.

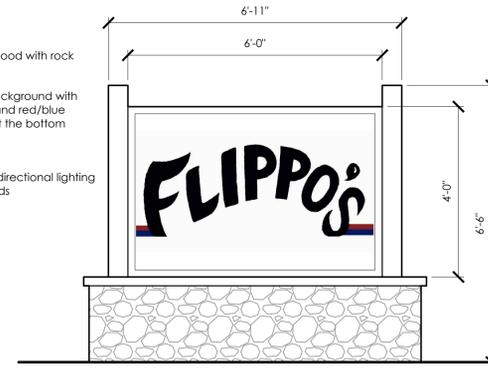
SITE PLAN NOTES

- All planters shall be drip irrigated using 3/4" water lines. Irrigation lines shall be under the existing asphalt paving.
- Tree and shrub species shall be approved by the City of Morro Bay.
- Parking lot striping shall conform to the requirements of the City of Morro Bay.

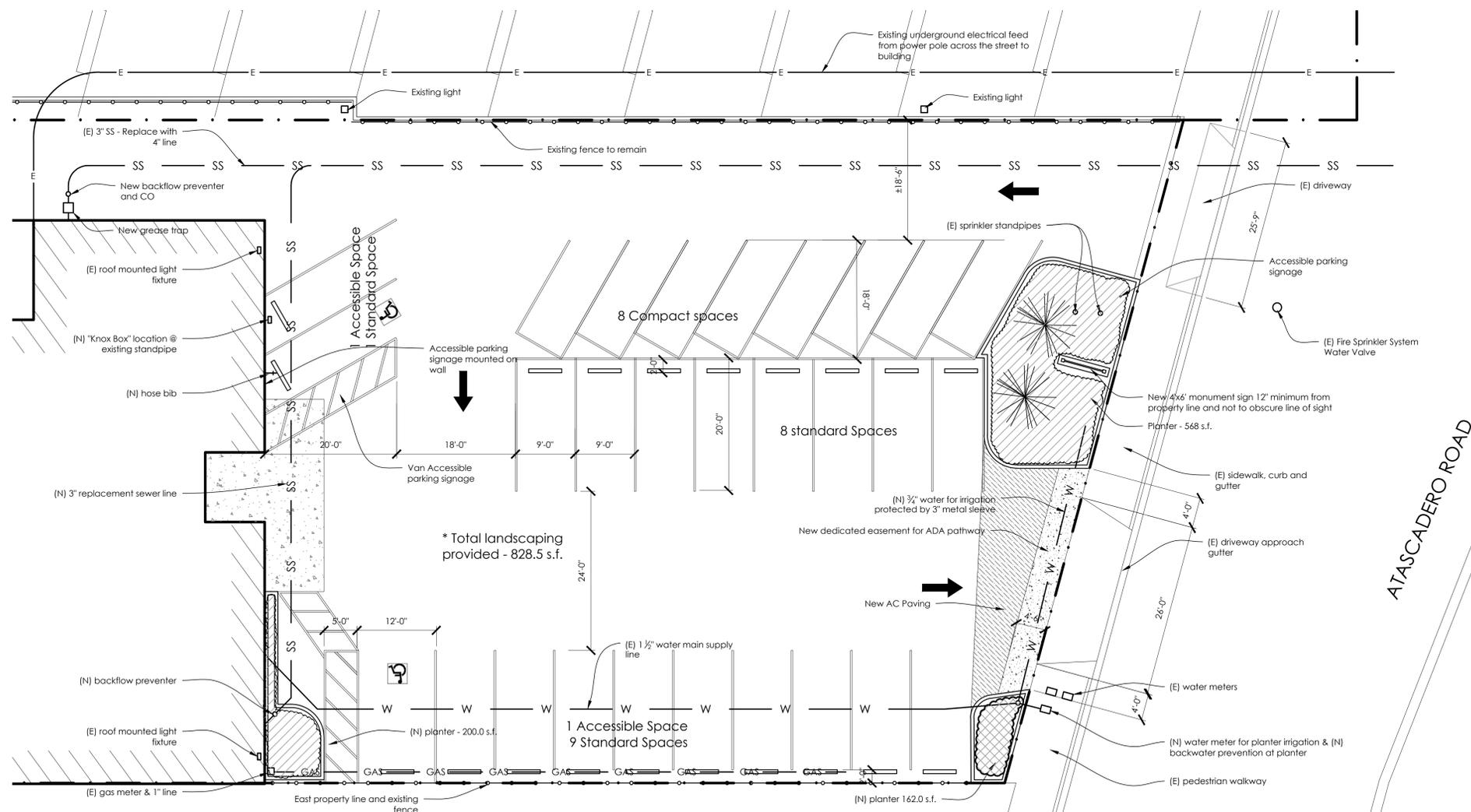
SITE ACCESSIBILITY NOTES

- The location of the parking stalls shall be on the shortest accessible route to the accessible entrance.
- Provide curb cuts and ramps to accessible pathways as needed.
- Person with disabilities must not be compelled to wheel or walk behind parked cars other than their own.
- 36" x 36" outlined profile view of wheelchair with occupant, in white with blue background, visible to traffic enforcement officer when vehicle occupies space.
- SLOPE: Maximum of 1 vertical unit to 50 horizontal units in any direction.
- The surface must be stable, firm and slip resistant.
- Provide bumper or curb to prevent vehicle encroachment on walkways.
- SIGNAGE: "Van Accessible" sign for van spaces. ReflectORIZED International Symbol of Accessibility at each space, min. 70" square (min. 80" high in path of travel), and unobstructed by parked vehicles.
- Provide tow away sign with telephone number at each entrance to parking area or adjacent to accessible spaces, min 17" x 22" with 1" high letters.
- ACCESSIBLE EXTERIOR ROUTES OF TRAVEL, ENTRANCES & EXITS shall be provided for all entrances and exterior ground floor exits; along normal path of travel; between buildings and accessible site facilities; at least on each from public transportation stops, accessible parking and public streets or sidewalks to the entrance they serve.
- EXTERIOR SIGNS AND IDENTIFICATION: Provide the International Symbol of Accessibility at every major junction in the accessible route; every accessible entrance; as required along route, direction persons to an accessible entrance.
- CURB RAMPS:
 - Provide curb ramps where pedestrian way crosses curb; min. 48" wide, finish to be stable, firm, slip resistant and contrasting with adjacent sidewalk.
 - SLOPE: max 1:12 (flared sides max 1:8).
 - Slope of adjoining gutters, road surface, accessible route: 1:20 for 4 feet at top and bottom of curb.
 - TOP LANDING: 4 feet deep over full width or slope of flared sides max. 1:12.
 - GROOVED BORDER: At level surface of sidewalk, along top and each side; 12" wide x 3/4" deep every 3/4".
- WALKS AND SIDEWALKS:
 - Must be a minimum of 48" in width; max 1:20 slope in the direction of travel. Where slope exceeds 1:20, must comply with ramps standards.
 - Change in level: max 3/4" - 3/4" beveled 1:2.
 - Surface must be stable, firm and slip resistant.
 - No grating if possible.
 - Level areas by doors and gates: Swing side 60" x 60"; push side 48" wide x 44" deep; swing side strike edge clearance min. 24".
 - Provide warning curbs (6" high) at abrupt changes in level (greater than 4" vertical).
 - Provide detectable warnings (truncated domes) where walk crosses or adjoins or vehicular way not separated by a curb.

Sign material: Wood with rock base
 Colors: white background with black lettering and red/blue "flared" letters at the bottom
 Two sided
 Ground mount directional lighting per city standards



- Monument Sign 1/2" = 1'-0"



PARKING PLAN

EXHIBIT B

Drawings prepared by:
Design Solutions
 3357 Via Palo, Atascadero, CA 93422
 (805) 462-9488
CONTRACTOR: This drawing, as an instrument of service, is the property of the Architect/Engineer and may not be reproduced without their permission and unless the reproduction carries their name. All design and other information shown on this drawing are for the use on the specified project only and shall not be used otherwise without written permission of the Architect/Engineer.
 Written dimensions shall have precedence over scaled dimensions. Contractor shall verify and be responsible for all dimensions and conditions on the job and the Architect/Engineer shall be informed of any variations from the dimensions and conditions shown on the drawing. Shop drawings shall be submitted to the Architect/Engineer for approval before proceeding with fabrication.

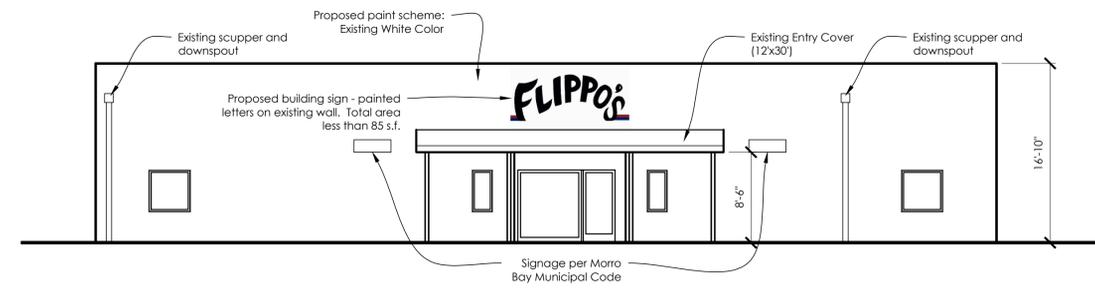
REGISTERED ARCHITECT
 CHARLIE TRENBETH
 No. 35178
 June 30, 2011
 Seal

220 Atascadero Road.
 Morro Bay, CA 93442
 APN - 066-332-012

**FLIPPOS REMODEL
 CONDITIONAL USE
 PERMIT AMENDMENT**
 Parking Plan

No.	Revision	Date
1		
2		
3		

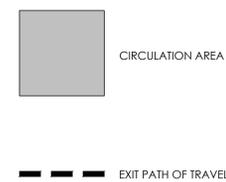
Project Manager: Charlie Trenbeth
 Drawn By: md Checked by: ct
 Date: Oct. 10, 2019
 Job Number: 2180301
 Sheet: A1.01



FRONT ELEVATION

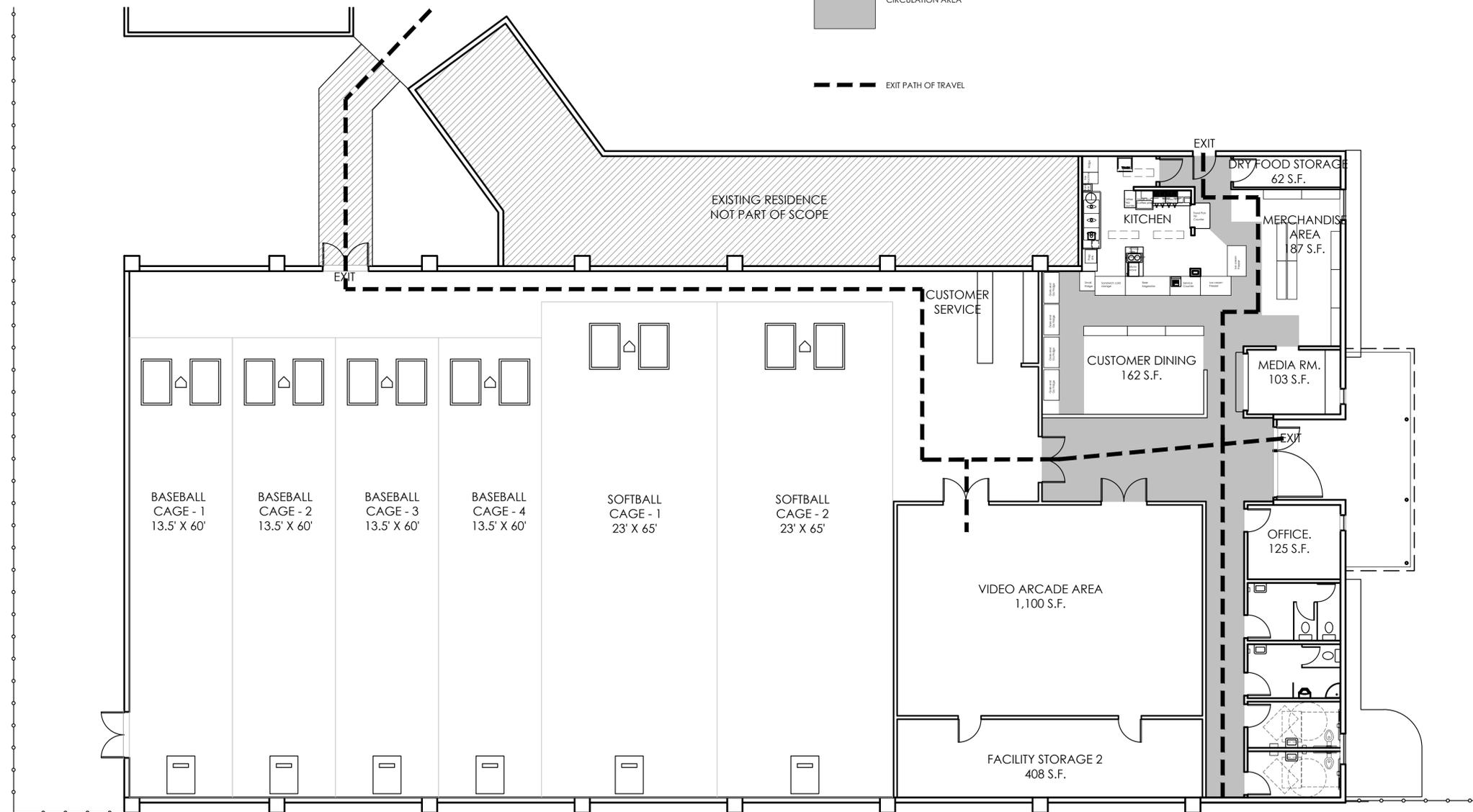
1/8" = 1'-0"

LEGEND



GENERAL NOTES

1. All gates and exit doors shall be equipped with panic hardware
2. See Sheet T1.01 for continued exit pathway beyond the building



FLOOR PLAN AND EGRESS PLAN

1/8" = 1'-0"



EXHIBIT B

Drawings prepared by:
Design Solutions
 3357 Via Delo, Atascadero, CA 93422
 (805) 462-9488
 COPYRIGHT ©: This drawing, as an instrument of service, is the property of the Architect/Engineer and may not be reproduced without their permission and unless the reproduction carries their name. All design and other information shown on this drawing are for the use on the specified project only and shall not be used otherwise without written permission of the Architect/Engineer.
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220 Atascadero Road.
 Morro Bay, CA 93442
 APN - 066-332-012

FLIPPOS REMODEL
 CONDITIONAL USE
 PERMIT AMENDMENT
 Floor Plan

No.	Revision	Date
1		
2		
3		

Project Manager
 Charlie Trenbeth
 Drawn by: mtd
 Checked by: ct
 Date: Oct. 10, 2019
 CAD file:
 Job Number: 2180301

Sheet
A2.01

EXHIBIT C



CITY OF MORRO BAY
COMMUNITY DEVELOPMENT DEPARTMENT
955 Shasta Avenue
Morro Bay, CA 93442

October 16, 2018

Lawrence Guesno
1142 Vaquero Way
Nipomo, CA 93444

Subject: #CP0-544 Coastal Development Permit & #UP0-481 Conditional Use Permit for 210 Atascadero Road, Morro Bay (066-332-012)

Description: Coastal Development Permit (#CP0-544) and Conditional Use Permit (#UP0-481) at 210 Atascadero Road for a change in use to allow a café and vintage car display area within an existing building and associated parking lot. The project is located within the Coastal Commission appeals jurisdiction.

Dear Mr. Guesno:

The City of Morro Bay Planning Commission conditionally approved your project at a regularly scheduled meeting held on October 16, 2018. This action does not constitute a building permit. Any further processing of this project must be initiated by the applicant, subject to the applicable rules and regulations of the Morro Bay Municipal Code. ***Please be advised that you must return the enclosed Acceptance of Conditions form, signed, to this department or the action is null and void.***

The Morro Bay Municipal Code provides for an appeal of the action by the Planning Commission within ten (10) days of adoption and anyone wishing to appeal may do so in writing by delivering such letter to the office of the City Clerk. There is no fee for processing appeals for projects located in the coastal appeals jurisdiction. An additional 10 business day Coastal Commission appeals period begins approximately after the local 10-day appeal period concludes. **Your permit is not effective until both appeal periods have concluded. Contact this office for final action, anticipated to be approximately in mid-November 2018.**

Sincerely,
Scot Graham
Community Development Director

By: _____

Attached: PC Resolution 32-18, Approved Plans

EXHIBIT C



CITY OF MORRO BAY COMMUNITY DEVELOPMENT DEPARTMENT

COASTAL DEVELOPMENT PERMIT and CONDITIONAL USE PERMIT

This approval is based upon the attached findings and is valid only if the attached conditions are met and only after the applicable appeal period. Failure to comply with the conditions of this permit shall, at the discretion of the Community Development Director pursuant to Municipal Code Section 17.60.150, render this entitlement null and void.

CASE NO: CP0-544 and UP0-481

THIS PERMIT IS HEREBY APPROVED AND ISSUED FOR:

SITE ADDRESS: 210 Atascadero Road

APPLICANT: Lawrence Guesno for Morro Strand One, LLC

APN/LEGAL: 066-332-012

DATE APPROVED: October 16, 2018

APPROVED BY: Planning Commission

CEQA DETERMINATION: Exempt pursuant to Class 1a, Section 15301 where minor alternations of an existing building's interior or exterior involving a negligible or no expansion of use beyond that existing at the time of the lead agency's determination. Additionally, none of the Categorical Exemption exceptions, noted under section 15300.2, apply to the project.

DESCRIPTION OF APPROVAL: Coastal Development Permit (#CP0-544) and Conditional Use Permit (#UP0-481) at 210 Atascadero Road for a change in use to allow a café and vintage car display area within an existing building and associated parking lot. The project is located within the Coastal Commission appeals jurisdiction.

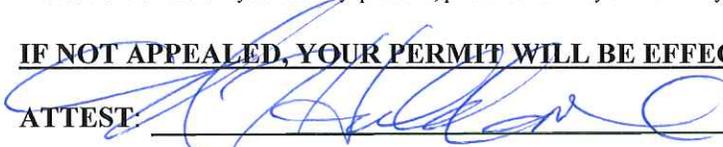


YOUR PROPERTY IS LOCATED IN THE CITY of Morro Bay JURISDICTION, THERE IS AN APPEAL PERIOD OF TEN (10) Calendar days, WITHIN WHICH TIME YOUR PERMIT IS APPEALABLE TO THE CITY COUNCIL/PLANNING COMMISSION.



YOUR PROPERTY IS LOCATED in the COASTAL COMMISSION APPEALS JURISDICTION: THE FOLLOWING COASTAL COMMISSION APPEAL PERIOD APPLIES TO YOUR PROJECT: This City decision is appealable to the California Coastal Commission pursuant to the California Public Resource Code, Section 30603. The applicant or any aggrieved person may appeal this decision to the Coastal Commission within **TEN (10) Working days** following Commission receipt of this notice and after expiration of the City of Morro Bay appeal period. Appeals must be in writing and should be addressed to: California Coastal Commission, 725 Front Street, Ste. 300, Santa Cruz, CA 95060, Phone: 415-427-4863. If you have any questions, please call the City of Morro Bay Community Development Department, 772-6264.

IF NOT APPEALED, YOUR PERMIT WILL BE EFFECTIVE: Subject to appeals periods above.

ATTEST: 

DATE: 10/16/2018

**THIS IS A DISCRETIONARY APPROVAL AND DOES NOT
CONSTITUTE A BUILDING PERMIT**

EXHIBIT C

CITY OF MORRO BAY COMMUNITY DEVELOPMENT DEPARTMENT



NOTICE OF FINAL ACTION ON COASTAL DEVELOPMENT PERMIT

DATE OF NOTICE: OCTOBER 27, 2018

NOTICE OF FINAL CITY ACTION on Coastal Development Permit No. CP0-544 & UP0-481

THE FOLLOWING PROJECT IS LOCATED IN THE MORRO BAY COASTAL ZONE AND A COASTAL PERMIT APPLICATION HAS BEEN ACTED ON BY THE CITY.

Applicant: Lawrence Guesno

Address: 1142 Vaquero Way, Nipomo, CA 93444

Project Description: Coastal Development Permit (#CP0-544) and Conditional Use Permit (#UP0-481) at 210 Atascadero Road for a change in use to allow a café and vintage car display area within an existing building and associated parking lot. The project is located within the Coastal Commission appeals jurisdiction

Project Location: 210 Atascadero Road, Morro Bay, CA

APN: 066-332-012

Zoning: VS-C/PD

Land Use Plan/General Plan: Commercial Visitor-Serving

Lot Area: 1.52 Acres

Filing Date: 6/1/17

Approval Body: Planning Commission

Action Taken: Approve with conditions

Action Date: October 16, 2018

THIS SITE IS OUTSIDE OF THE COASTAL COMMISSION APPEAL JURISDICTION

This City decision is appealable to the California Coastal Commission pursuant to the California Public Resource Code, Section 30603. The applicant or any aggrieved person may appeal this decision to the Coastal Commission within TEN (10) working days following Commission receipt of this notice. Appeals must be in writing and should be addressed to: California Coastal Commission, 725 Front Street, #300, Santa Cruz, CA 95060, 531-427-4863.

EXHIBIT C

APPLICANT'S ACCEPTANCE
OF
CONDITIONS OF APPROVAL

CASE NO. CP0-544 & UP0-481

SITE LOCATION: 210 ATASCADERO ROAD, MORRO BAY, CA

APPLICANT NAME: Lawrence Guesno

APPROVAL BODY: PLANNING COMMISSION

DATE OF ACTION: 10/16/18

I, LAWRENCE GUESNO AS AGENT FOR MORRO STRAND ONE, LLC, the undersigned, have read and reviewed the conditions of approval imposed by the Approval Body in its action

approving Case Number: CP0-544 & UP0-481

I UNDERSTAND AND ACCEPT SAID CONDITIONS AND AGREE TO FULLY COMPLY WITH THEM.

APPLICANT'S SIGNATURE

DATE

EXHIBIT C

RESOLUTION NO. PC 32-18

A RESOLUTION OF THE MORRO BAY PLANNING COMMISSION FOR APPROVAL OF CONDITIONAL USE PERMIT (UP0-481) AND COASTAL DEVELOPMENT PERMIT (CP0-544) FOR A CHANGE IN USE OF A COMMERCIAL BUILDING AND PARKING LOCATED AT 210 ATASCADERO ROAD, THE FORMER FLIPPO'S SURFSIDE SKATING FACILITY.

WHEREAS, the Planning Commission of the City of Morro Bay conducted a public hearing at the Morro Bay Veteran's Hall, 209 Surf Street, Morro Bay, California, on October 16, 2018, for the purpose of considering Conditional Use Permit #UP0-481 and Coastal Development Permit #CP0-544 for a change in use of an existing commercial building with related interior and exterior improvements located within the Coastal Commission appeals jurisdiction; and

WHEREAS, notices of said public hearing were made at the time and in the manner required by law; and

WHEREAS, the Planning Commission has duly considered all evidence, including the testimony of the applicant, interested parties, and the evaluation and recommendations by staff, presented at said hearing.

NOW, THEREFORE, BE IT RESOLVED by the Planning Commission of the City of Morro Bay as follows:

Section 1: Findings. Based upon all the evidence, the Commission makes the following findings:

California Environmental Quality Act (CEQA)

- A. That for purposes of the California Environmental Quality Act, Case No. UP0-481 and CPO-544 is categorically exempt under Class 1a, Section 15301 where minor alternations of an existing building's interior or exterior involving a negligible or no expansion of use beyond that existing at the time of the lead agency's determination. Additionally, none of the Categorical Exemption exceptions, noted under section 15300.2, apply to the project.

Conditional Use Permit Findings

- A. The project will not be detrimental to the health, safety, morals, comfort and general welfare of the persons residing or working in the neighborhood in that the commercial remodel and parking lot improvements at 210 Atascadero Road are permitted uses within the zoning district. The commercial structure and proposed use comply with all

EXHIBIT C

applicable project conditions and City regulations and is consistent with the City's Local Coastal Program.

- B. The project will not be injurious or detrimental to property and improvements in the neighborhood and the general welfare of the City in that the proposed commercial remodel and parking lot improvements will provide a visitor-serving opportunity which will provide additional benefit and improvements unutilized commercial site.

Section 2. Action. The Planning Commission does hereby approve Conditional Use Permit #UP0-481 and Coastal Development Permit #CP0-544, subject to the following conditions:

STANDARD CONDITIONS

1. This permit is granted for the land described in the staff report dated October 9, 2018, for the project at 210 Atascadero depicted on plans dated May 25, 2018, on file with the Community Development Department, as modified by these conditions of approval, and more specifically described as follows: Interior remodel of an existing building and parking lot improvements, shall be designed substantially as shown on Planning Commission approved plans submitted for UP0-481 and CP0-544, unless otherwise specified herein.
2. Inaugurate Within Two Years: Unless the construction or operation of the structure, facility, or use is commenced not later than two (2) years after the effective date of this Resolution and is diligently pursued, thereafter, this approval will automatically become null and void; provided, however, that upon the written request of the applicant, prior to the expiration of this approval, the applicant may request up to two extensions for not more than one (1) additional year each. Any extension may be granted by the City's Community Development Director, upon finding the project complies with all applicable provisions of the Morro Bay Municipal Code (the "MBMC"), General Plan and certified Local Coastal Program Land Use Plan (LCP) in effect at the time of the extension request.
3. Changes: Minor changes to the project description and/or conditions of approval shall be subject to review and approval by the Community Development Director. Any changes to this approved permit determined, by the Director, not to be minor shall require the filing of an application for a permit amendment subject to Planning Commission review.
4. Compliance with the Law: (a) All requirements of any law, ordinance or regulation of the State of California, the City, and any other governmental entity shall be complied with in the exercise of this approval, (b) This project shall meet all applicable requirements under the MBMC and shall be consistent with all programs and policies contained in the LCP and General Plan for the City.

EXHIBIT C

5. Hold Harmless: The applicant, as a condition of approval, hereby agrees to defend, indemnify, and hold harmless the City, its agents, officers, and employees, from any claim, action, or proceeding against the City as a result of the action or inaction by the City, or from any claim to attack, set aside, void, or annul this approval by the City of the applicant's project; or applicants failure to comply with conditions of approval. Applicant understands and acknowledges the City is under no obligation to defend any legal actions challenging the City's actions with respect to the project. This condition and agreement shall be binding on all successors and assigns.
6. Compliance with Conditions: The applicant's establishment of the use or development of the subject property constitutes acknowledgement and acceptance of all Conditions of Approval. Compliance with and execution of all conditions listed hereon shall be required prior to obtaining final building inspection clearance. Deviation from this requirement shall be permitted only by written consent of the Director or as authorized by the Planning Commission. Failure to comply with any of these conditions shall render this entitlement, at the discretion of the Director, null and void. Continuation of the use without a valid entitlement will constitute a violation of the MBMC and is a misdemeanor.
7. Compliance with Morro Bay Standards: This project shall meet all applicable requirements under the MBMC and shall be consistent with all programs and policies contained in the LCP and General Plan of the City.
8. Conditions of Approval: The Findings and Conditions of Approval shall be included as a full-size sheet in the Building Plans.

PLANNING DEPARTMENT CONDITIONS

1. Archaeology: In the event of the unforeseen encounter of subsurface materials suspected to be of an archaeological or paleontological nature, all grading or excavation shall immediately cease in the immediate area, and the find should be left untouched until a qualified professional archaeologist or palaeontologist, whichever is appropriate, is contacted and called in to evaluate and make recommendations as to disposition, mitigation and/or salvage. The applicant shall be liable for costs associated with the professional investigation.
2. Construction Hours: Pursuant to MBMC subsection 9.28.030.1, Construction or Repairing of Buildings, the erection (including excavating), demolition, alteration or repair of any building or general land grading and contour activity using equipment in such a manner as to be plainly audible at a distance of fifty feet from the building other than between the hours of seven a.m. and seven p.m. on weekdays and eight a.m. and seven p.m. on weekends except in case of urgent necessity in the interest of public health and safety, and then only with a permit from the Community Development Department, which permit may be granted for a period not to exceed three days or

EXHIBIT C

less while the emergency continues and which permit may be renewed for a period of three days or less while the emergency continues.

3. Dust Control: That prior to issuance of a grading permit, a method of control to prevent dust and wind blow earth problems shall be submitted for review and approval by the Building Official.
4. Conditions of Approval on Building Plans: Prior to the issuance of a Building Permit, the final Conditions of Approval shall be attached to the set of approved plans. The sheet containing Conditions of Approval shall be the same size as other plan sheets and shall be the last sheet in the set of Building Plans.
5. Parking lot landscaping: Parking lot landscaping shall be provided as reflected on the approved plans. No landscape islands are required since this is an existing parking lot. (Minor Improvements to PD Overlay Zone Properties Section 17.40.030 J.).
6. The proposed project shall provide a minimum of 25 off-street parking spaces, 2 of which must be accessible (one of which must be van accessible). *As a condition of your building permit, an inspection will be required to verify that there are 2 parking spaces available in the existing residential garage.*
7. Signage included in the submittal (one wall sign and one double sided monument sign), must meet the total signage area limit of no more than 85 sq.ft.
8. Operation of any automobile engines within the building is strictly prohibited unless applicant includes appropriate ventilation and monitoring equipment in the building permit submittal satisfactory to all City departmental review criterion.
9. No cooking or heating of food will be allowed on site without further review and approval by the Community Development Department (which may require additional permits and approvals).
10. All exit pathways will need to be clearly marked with a clear pathway and accessible with appropriate panic hardware leading to a public street. See also comments from Fire Department.

BUILDING DEPARTMENT CONDITIONS:

A. PRIOR TO ISSUANCE OF A BUILDING PERMIT:

1. Building permit plans shall be submitted by a California licensed architect or engineer when required by the Business & Professions Code, except when otherwise approved by the Building Official.

EXHIBIT C

2. The owner shall designate on the building permit application a registered design professional who shall act as the Registered Design Professional in Responsible Charge. The Registered Design Professional in Responsible Charge shall be responsible for reviewing and coordinating submittal documents prepared by others including phased and staggered submittal items, for compatibility with design of the building.
3. The owner shall comply with the City's Structural Observation Program. The owner shall employ the engineer or architect responsible for the structural design, or another engineer or architect designated by the engineer of record or architect responsible for the structural design, to perform structural observation as defined in Section 220. Observed deficiencies shall be reported in writing to the owner's representative, special inspector, contractor and the building official. The structural observer shall submit to the building official a written statement that the site visits have been made and identify any reported deficiencies that, to the best of the structural observer's knowledge, have not been resolved.
4. The owner shall comply with the City's Special Inspection Program. Special inspections will be required by Section 1704 of the California Building Code. All Special Inspectors shall first be approved by the Building Official to work in the jurisdiction. All field reports shall be provided to the City Building Inspector when requested at specified increments in order for the construction to proceed. All final reports from Special Inspectors shall be provided to the Building Official when they are complete and prior to final inspection.
5. **BUILDING PERMIT APPLICATION.** To apply for building permits, submit three (3) sets of construction plans to the Building Division.
6. The Title sheet of the plans shall include:
 - a. Street address, lot, block, track and Assessor Parcel Number.
 - b. Description of use.
 - c. Type of construction.
 - d. Height of the building.
 - e. Floor area of the building(s).
 - f. Vicinity map.

All construction shall conform to the edition of the applicable California Building Code (CBC), California Residential Code (CRC), California Mechanical Code (CMC), California Plumbing Code (CPC), California Electrical Code (CEC), California Energy Code, California Green Building Standards Code (CGBC), and City of Morro Bay amendments in effect when the application for construction permit is submitted to the Building Division.

B. CONDITIONS TO BE MET DURING CONSTRUCTION:

EXHIBIT C

1. **SITE MAINTENANCE.** During construction, the site shall be maintained so as to not infringe on the adjacent property, such as debris and dust.

C. CONDITIONS TO BE MET PRIOR TO FINAL INSPECTION AND ISSUANCE OF CERTIFICATE OF OCCUPANCY:

1. Prior to building division final approval all required inspections from the other various divisions must have been completed and verified by a city inspector. All required final inspection approvals must be obtained from the various departments and documented on the permit card.

PUBLIC WORKS DEPARTMENT CONDITIONS:

1. Partial Site Plan: On building permit submittal, match site plan to approved site plan. Update note on driveway approach. Entire driveway approach to be updated per city of Morro Bay Detail B-6.

FIRE DEPARTMENT CONDITIONS:

1. Fire Safety during Construction and Demolition shall be in accordance with 2016 California Fire Code, Chapter 33. This chapter prescribes minimum safeguards for construction, alteration and demolition operations to provide reasonable safety to life and property from fire during such operations.
2. Fire Extinguishers. A minimum of one 2A-10-BC extinguisher shall be provided for each floor area, so that travel distance does not exceed 75 feet. Extinguishers shall be serviced annually and shall have a current service tag attached (CCR, Title 19, Sec.3.29)
3. Fire apparatus access roads shall be maintained clear width and unobstructed at all times, Fire apparatus access roads shall be provided such that any portion of the exterior walls, at grade level, of a building or structure by an approved route around the exterior of the building or structure.
4. Fire Lane Marking. Fire apparatus access road shall be clearly marked and identified with signs and painted curbs of No Parking-Fire Lane as required by the fire code official (CFC 503.3). Applicant shall provide the following: Fire Lane No-Parking, 3-inches high letters stencilled every 20-feet along the west side of the access road from Atascadero Road to the private residence attached to the building. Red-painted curbs along the frontage road in front of the monument signage and planter box.

EXHIBIT C

Planning Commission Resolution #32-18

CD0-544 and UP0-481

Page 7

5. Location of Trash/Dumpster. Dumpsters and containers with an individual capacity of 1.5 cubic yards or more shall not be stored in buildings or placed within 5 feet of combustible walls, openings or combustible roof lines.
6. No smoking signs shall be placed in conspicuous locations within the structure.
7. Knox Lock. Where access to an area is restricted because of secured openings or where immediate access is necessary for life-saving or fire-fighting purposes, the fire code official is authorized to require a key box or lock to be installed in an approved location (CFC 506). Provide a Knox Lock on the access gate. Please obtain a Knox application from Morro Bay Fire Department during business hours.

PASSED AND ADOPTED by the Morro Bay Planning Commission at a regular meeting thereof held on this 16th day of October 2018, on the following vote:

AYES: Chair Luhr, Commissioners Lucas, Barron and Ingraffia

NOES: Commissioner Sadowski

ABSENT:

ABSTAIN:

Chairperson Gerald Luhr

ATTEST

Scot Graham, Community Development Director

The foregoing resolution was passed and adopted this 16th day of October 2018.

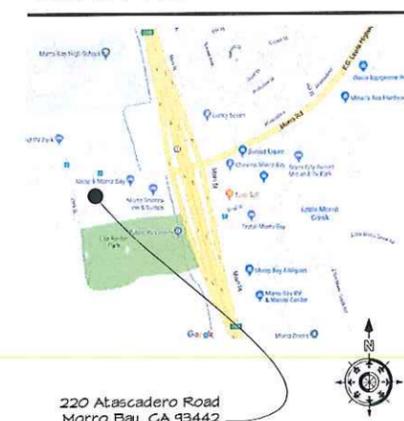
EXHIBIT C

EXHIBIT C

ABBREVIATIONS

AB - ANCHOR BOLT	FAB - FABRICATION	NU - NUT	T - TREAD
ABV - ABOVE	FAG - FACTORY	NAT - NATURAL	TB - TOYEL BAR
AC - ASPHALT CONCRETE	FAS - FASTEN FASTENER	NG - NOT IN CONTRACT	TB - TOP BOTTOM
ACG - AIR CONDITIONS	FBS - FIBERBOARD	NK - NUMBER	TELE - TELEPHONE
ACGVS - ACQUISICAL	FBLG - FIBERGLASS	NOM - NOMINAL	TEMP - TEMPERED
ADD - ADDITION	FBLK - FIRE BLOCKING	NTD - NOT TO SCALE	TG - TONGUE AND GROOVE
ADJ - ADJUSTABLE/ADJACENT	FBO - FINISHED BY OTHERS	NTS - NOT TO SCALE	TK - TRUCK (NESS)
ASS - ASSESSMENT	FD - FLOOR DRAIN	O - OVER	TRU - THROUGH
ALT - ALTERNATE	FF - FINISHED FLOOR	OA - OVERHALL	TU - TUCK UNDER
ALUM - ALUMINUM	FG - FINISH GLASS	OSB - OSB	TU - TUCK UNDER
APPROX - APPROXIMATE	FMIS - FLATHEAD MACHINE SCREEN	OC - ON CENTER (S)	TM - TOP OF MASONRY
ARCH - ARCHITECT (URAL)	FN - FINISH (ED)	OD - OVERHEAD DRAIN	TB - TOP OF BEAM
BB - BOTTOM OF BEAM	FN - FINISH (ED)	OH - OVERHEAD	TC - TOP OF CURB OF CONCRETE
BD - BOARD	FLR - FLOOR (NS)	OF - OFFSET	TF - TOILET PAPER DISPENSER
BL - BELLOW	FLUR - FLOOR/ROOF	OP - OFFSET	TPTN - TOILET PARTITION
BLDG - BUILDING	FLX - FLEXIBLE	OPF - OFFPOSITE	TS - TOP OF SHEATHING
BK - BLOCK	FOG - FOUNDATION	OPT - OPTIONAL	TSB - TOP SET BASE
BLKG - BLOCINGS	FOG - FACE OF CONCRETE	PEB - PARTICLE BOARD	TU - TOP OF SLAB
BM - BSAM	FB - FACE OF FRSH	FERM - FERMENTER	TY - TELEVISION
BT - BOTTOM	FOF - FACE OF MASONRY	FERF - FERROGRATE (D)	TY - TYPICAL
BSG - BEAMS	FOG - FACE OF STUDS	FFB - PREFABRICATION (D)	TY - TOP OF WALL
BRZ - BRONZE	FR - FRAME (D, NS)	FL - PROPERTY LINE	UN - UNLESS OTHERWISE NOTED
BUR - BUILT UP ROOFING	FRT - FURRED (NS)	FLAM - PLASTIC LAMINATE	VAR - VARES
C - CARPET	FUR - FUTURE	FLA - PLASTER	VB - VARIOUS BARRIER
CAB - CABINET	GA - GAGE, GUAGE	FLD - FLYWOOD	VCT - VINYL COMPOSITION TILE
CB - CATCH BASIN	GB - GYP-SM BOARD	FLN - PANEL	VCTB - VINYL COVERED TACK-BOARD
CDM - CEILING	GD - GRACE GRANULS	FOG - POINT OF CONNECTION	VER - VERTICAL
CDR - CERAMIC	GI - GALVANIZED IRON	PT - POINT	VG - VERTICAL GRAN
CF - CLEIC FOOT	GKT - GASKET (ED)	PT - POINT	VNR - VENEER
CFL - COUNTERFLASHING	GL - GLASS GLAZING	PTN - PARTITION	VO - VENT OVER/OFFSET
CHAM - CHAMFER	GLV - GALVANIZED	PVA - POLYVINYL ACETATE	VR - VENT RISER
CHBD - CHALKBOARD	GV - GRAVEL	PVC - POLYVINYL CHLORIDE	VTR - VENT THROUGH ROOF
CH - CAST IRON	GV - GYP-SM	R - REFR	VWC - VINYL WALL COVERING
CJ - CELLS JOIST	HB - HOSE BIB	RD - ROOF DRAIN	VC - VENT
CJT - CONTROL JOINT	HC - CERAMIC MOSAIC (TILE)	REF - REFERENCE	VD - WATER CLOSET
CLD - CELLS	HCAP - HAND CAPPED	REFR - REFRIGERATOR	VD - VOID
CLM - CONCRETE MASONRY UNIT	HDR - HANDBOARD	RENF - REINFORCE (D, NS)	VF - VENT FLOOR GLASS
CONTR - CLEAN OUT	HDR - HARDWOOD	REH - REMOVE	VG - VERTICAL GRAN
COL - COLLIM	HDR - HORIZONTAL	REGD - REGRIND	VR - VENT RISER
COMB - COMBINATION	HK - HOLLOW METAL STEEL	RES - RESIST	VN - VENT THROUGH ROOF
COMP - COMPOSITION (COMPOSITE)	HOR - HORIZONTAL	RES - RESIST	VN - VENT THROUGH ROOF
CONC - CONCRETE	HRS - HEATNS	RFL - REFLECT (ED), (I/EL), (OR)	VP - VENT PITCH
CONT - CONTINUOUS OR CONTAIN	HTG - HEATNS/VENTILATING	RH - RUSH HAND	VP - VENT PITCH
CONSTR - CONSTRUCTION	HTG - HEATNS	RHS - RIGHT OF HAND	VP - VENT PITCH
CORR - CORRUGATED	HTG - HEATNS/VENTILATING	RM - ROOM	VP - VENT PITCH
CORR - CLEAN OUT THROUGH FLOOR	HTG - HEATNS/VENTILATING	RO - ROUGH OPENING	VP - VENT PITCH
COTG - CLEAN OUT TO GRADE	HTG - HEATNS/VENTILATING	RO - ROUGH OPENING	VP - VENT PITCH
COTN - CLEAN OUT THROUGH WALL	HTG - HEATNS/VENTILATING	RO - ROUGH OPENING	VP - VENT PITCH
CR - COND RETURN	HTG - HEATNS/VENTILATING	RO - ROUGH OPENING	VP - VENT PITCH
CSK - COUNTERSINK	HTG - HEATNS/VENTILATING	RO - ROUGH OPENING	VP - VENT PITCH
CSK - CASING	HTG - HEATNS/VENTILATING	RO - ROUGH OPENING	VP - VENT PITCH
CTR - CENTER	HTG - HEATNS/VENTILATING	RO - ROUGH OPENING	VP - VENT PITCH
CY - COLD WATER	HTG - HEATNS/VENTILATING	RO - ROUGH OPENING	VP - VENT PITCH
DET - DETAIL	HTG - HEATNS/VENTILATING	RO - ROUGH OPENING	VP - VENT PITCH
DF - DRINKING FOUNTAIN	HTG - HEATNS/VENTILATING	RO - ROUGH OPENING	VP - VENT PITCH
DI - DIAMETER	HTG - HEATNS/VENTILATING	RO - ROUGH OPENING	VP - VENT PITCH
DAS - DIAGONAL	HTG - HEATNS/VENTILATING	RO - ROUGH OPENING	VP - VENT PITCH
DM - DIMENSION	HTG - HEATNS/VENTILATING	RO - ROUGH OPENING	VP - VENT PITCH
DY - DRY	HTG - HEATNS/VENTILATING	RO - ROUGH OPENING	VP - VENT PITCH
DPRS - DEPRESSION	HTG - HEATNS/VENTILATING	RO - ROUGH OPENING	VP - VENT PITCH
DR - DOOR	HTG - HEATNS/VENTILATING	RO - ROUGH OPENING	VP - VENT PITCH
DS - DOWNPOUT	HTG - HEATNS/VENTILATING	RO - ROUGH OPENING	VP - VENT PITCH
DSFR - DISPENSER	HTG - HEATNS/VENTILATING	RO - ROUGH OPENING	VP - VENT PITCH
DNS - DRAWING	HTG - HEATNS/VENTILATING	RO - ROUGH OPENING	VP - VENT PITCH
DNR - DRAINER	HTG - HEATNS/VENTILATING	RO - ROUGH OPENING	VP - VENT PITCH
E - EAVES	HTG - HEATNS/VENTILATING	RO - ROUGH OPENING	VP - VENT PITCH
EA - EACH	HTG - HEATNS/VENTILATING	RO - ROUGH OPENING	VP - VENT PITCH
EDF - ELECTRIC DRINKING FOUNTAIN	HTG - HEATNS/VENTILATING	RO - ROUGH OPENING	VP - VENT PITCH
EJ - EXPANSION JOINT	HTG - HEATNS/VENTILATING	RO - ROUGH OPENING	VP - VENT PITCH
ELEV - ELEVATION	HTG - HEATNS/VENTILATING	RO - ROUGH OPENING	VP - VENT PITCH
ELEG - ELECTRIC	HTG - HEATNS/VENTILATING	RO - ROUGH OPENING	VP - VENT PITCH
ELEG - ELECTRICAL	HTG - HEATNS/VENTILATING	RO - ROUGH OPENING	VP - VENT PITCH
ELEG - EMERGENCY	HTG - HEATNS/VENTILATING	RO - ROUGH OPENING	VP - VENT PITCH
EHR - ENAMEL	HTG - HEATNS/VENTILATING	RO - ROUGH OPENING	VP - VENT PITCH
ENCL - ENCLOSE (URE)	HTG - HEATNS/VENTILATING	RO - ROUGH OPENING	VP - VENT PITCH
EQ - EQUAL	HTG - HEATNS/VENTILATING	RO - ROUGH OPENING	VP - VENT PITCH
EQT - EQUIPMENT	HTG - HEATNS/VENTILATING	RO - ROUGH OPENING	VP - VENT PITCH
EN - ENAMEL	HTG - HEATNS/VENTILATING	RO - ROUGH OPENING	VP - VENT PITCH
EXP - EXPOSED	HTG - HEATNS/VENTILATING	RO - ROUGH OPENING	VP - VENT PITCH
EXST - EXISTING	HTG - HEATNS/VENTILATING	RO - ROUGH OPENING	VP - VENT PITCH
EXT - EXTERIOR	HTG - HEATNS/VENTILATING	RO - ROUGH OPENING	VP - VENT PITCH

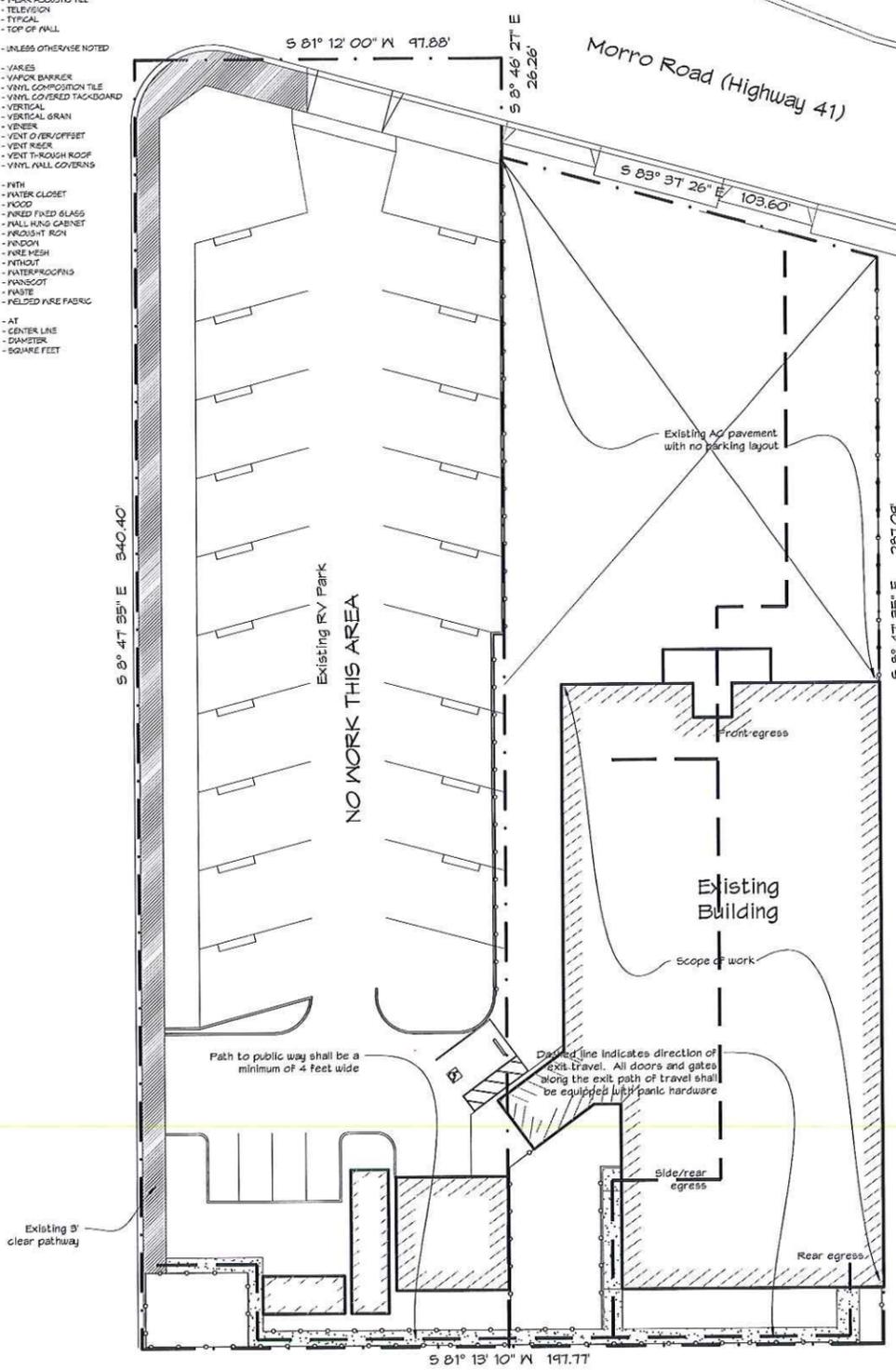
VICINITY MAP



PROJECT SUMMARY

Showroom -	5,752 s.f.
Storage/Viewing -	3,759 s.f.
Kitchen/Seating -	664 s.f.
Merchandise -	410 s.f.
Office -	260 s.f.
Restroom -	202 s.f.
TOTAL NET FLOOR AREA =	11,052

EXISTING SITE PLAN



APPLICABLE CODES

THIS PROJECT SHALL COMPLY WITH THE FOLLOWING APPLICABLE CODES AND STANDARDS

- APPLICABLE CODES - California Code of Regulations Title 24
- California Building Code (2016)
 - California Plumbing Code (2015 UPC)
 - California Mechanical Code (2015 UMC)
 - California Electrical Code (2014 NEC)
 - California Energy Code (2016)
 - California Green Building Code (2016)
 - California Fire Code (2015 IFC)
 - California Reference Standards Code (2016)

PARKING CALCULATION

Available area for parking -	12,322 s.f.
Area required for Landscaping (5%) -	616.10 s.f.
Landscaping Proposed (1.85%) -	467 s.f.

Parking Calculation:

EXISTING PARKING:	
1 parking space per RV space -	19
RV guest parking -	5
Residential Unit parking -	2 garage spaces

NEW PARKING:

Cafe parking -	12
Office parking -	1
Merchandise parking -	2
Auto storage parking -	10

TOTAL PARKING SPACES REQUIRED = 25 SPACES

PARKING SPACES PROVIDED = 21

Standard spaces = 17
compact spaces = 3
Accessible spaces = 2

LANDSCAPE CALCULATION

	Area	Landscaping
Existing Parking -	12,322 s.f.	0 s.f.
Required Landscaping (5%)		616.10 s.f.
Proposed Parking -	12,322 s.f. - 20 spaces	
Proposed Landscaping -	467 s.f. - (1.85%)	

SHEET INDEX

T1.0 TITLE SHEET

- A1.01 SITE PLAN
- A2.01 FLOOR PLAN
- A2.02 ENLARGED PLANS AND DETAILS
- A3.01 SITE CONTEXT

PROJECT DESCRIPTION

- Flat site
- Parking lot reconfiguration to maximize parking
- Kitchen enlargement and remodel
- New non-bearing partitions for vehicle showroom
- No area added to existing facility. Scope of work limited to interior with the exception of parking upgrades
- A sign shall be posted to prohibit operation of any vehicle within the building. Vehicles shall be moved by pushing only.

PROJECT DATA AND INFORMATION

ADDRESS	220 Atascadero Road Morro Bay, CA 93442
APN	066-332-012
ZONE	C-VS/FPD
LOT AREA	APPROX 30,000 S.F.
OCCUPANCY	B
CONSTRUCTION TYPE	III
MAX HEIGHT	18'
PROPOSED HEIGHT	UNCHANGED
SPRINKLERED	YES - NFPA 13 wet system

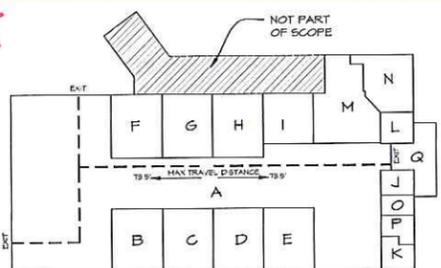
CODE ANALYSIS

Building shall be fully sprinklered per CBC 903.2
Fire Sprinkler System shall be a NFPA 13 wet system

Room/Area	Occupancy	area/person	Area	Load
A. Showroom	B	100 gross	5,752	58
B. Storage 1	S-1	300 gross	466	2
C. Storage 2	S-1	300 gross	466	2
D. Storage 3	S-1	300 gross	466	2
E. Storage 4	S-1	300 gross	466	2
F. Storage 5	S-1	300 gross	466	2
G. Storage 6	S-1	300 gross	466	2
H. Storage 1	S-1	300 gross	466	2
I. Storage 0	S-1	300 gross	364	2
J. Office 1	B	100 gross	110	2
K. Office 2	B	100 gross	150	2
L. Storage	S-1	100 gross	133	2
M. Kitchen/seating	B	100 gross	664	7
N. Merchandise	B	300 gross	410	2
O. Restrooms			202	
P. covered Entry				
			11,256 SQ. FT.	84

Maximum occupant load = 84
If occupant load is greater than 49 - two exits are required
Total exit width required is 84 x .15 = 12.6'
3 exits are provided with minimum clear opening 32" @ each
Travel distance - Sprinklered - max 100'
Max distance from any point to common path = 73.5'

CODE ANALYSIS KEY



City of Morro Bay
Planning Commission Approval
Project #(s) CPO 544 + WPO 481
Approved as Submitted
Approved with Changes

Approval Date: 10-16-18
Planner: N Hubbard
Resu 32-18

Design Solutions
3357 Via del Mar, Morro Bay, CA 93442
(805) 962-9168

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Vertical dimensions shall have precedence over scaled dimensions. Contractors shall verify and be responsible for all dimensions and conditions on the job and the Architect/Engineer shall be informed of any variations from the dimensions and conditions shown on the drawing. Shop drawings shall be submitted to the Architect/Engineer for approval before proceeding with fabrication.

220 Atascadero Road,
Morro Bay, CA 93442
APN - 066-332-012

FLIPPOS REMODEL
Title Sheet

No.	Revision	Date
1		
2		
3		

Project Manager
charlie Trenbeth
Drawn by
md
Checked by
ct
Date
May 25, 2018
Title
T1.01
Job Number
2180301
Sheet
T1.01

EXHIBIT C

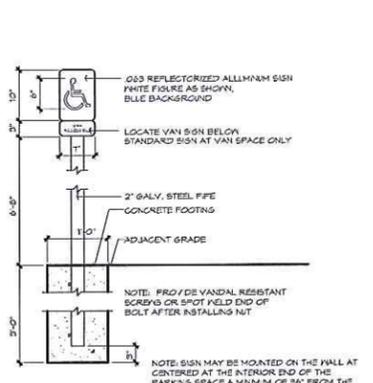
SITE ACCESSIBILITY NOTES

- The location of the parking stalls shall be on the shortest accessible route to the accessible entrance.
- Provide curb cuts and ramps to accessible pathways as needed.
- Person with disabilities must not be compelled to wheel or walk being parked cars other than their own.
- 36" x 36" outlined profile view of wheelchair with occupant, in white with blue background, visible to traffic enforcement officer when vehicle occupies space.
- SLOPE: Maximum of 1 vertical unit to 50 horizontal units in any direction.
- The surface must be stable, firm and slip resistant.
- Provide bumper or curb to prevent vehicle encroachment on walkways.
- SIGNAGE: "Van Accessible" sign for van spaces. ReflectORIZED International Symbol of Accessibility at each space, min. 10" square (min. 80" high in path of travel), and unobstructed by parked vehicles.
- Provide low away sign with telephone number at each entrance to parking area or adjacent to accessible spaces, min 11" x 22" with 1" high letters.
- ACCESSIBLE EXTERIOR ROUTES OF TRAVEL, ENTRANCES & EXITS shall be provided for all entrances and exterior ground floor exits; along normal path of travel; between buildings and accessible site facilities; at least on each from public transportation stops, accessible parking and public streets or sidewalks to the entrance they serve.
- EXTERIOR SIGNS AND IDENTIFICATION: Provide the International Symbol of Accessibility at every major junction in the accessible route; every accessible entrance; as required along route, direction persons to an accessible entrance.
- CURB RAMPS:
 - Provide curb ramps where pedestrian way crosses curb; min. 48" wide, finish to be stable, firm, slip resistant and contrasting with adjacent sidewalk.
 - SLOPE: max 1:12 (flared sides max 1:8)
 - Slope of adjoining gutters, road surface, accessible route: 1:20 for 4 feet at top and bottom of curb or slope of flared sides max. 1:12
 - TOP LANDINGS: 4 feet deep over full width or slope of flared sides max. 1:12
 - GROOVED BORDER: At level surface of sidewalk, along top and each side; 12" wide x 1/2" deep every 2'.
- WALKS AND SIDEWALKS:
 - Must be a minimum of 48" in width; max 1:20 slope in the direction of travel. Where slope exceeds 1:20, must comply with ramps standards.
 - Change in level: max 1/4" - 3/4" beveled 1:2
 - Surface must be stable, firm and slip resistant.
 - No grating if possible.
 - Level areas by doors and gates: swing side 60" x 60"; push side 48" wide x 44" deep; swing side strike edge clearance min. 24"
 - Provide warning curbs (6" high) at abrupt changes in level (greater than 4" vertical)
 - Provide detectable warnings (truncated domes) where walk crosses or adjoins or vehicular way not separated by a curb

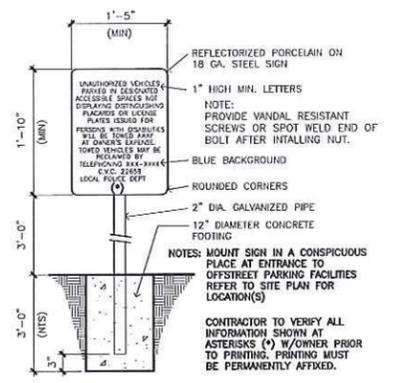
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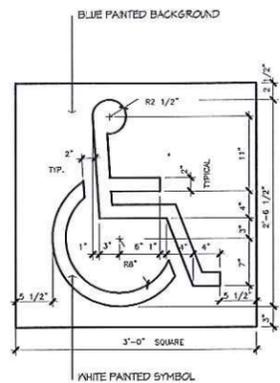
Written dimensions shall have precedence over scaled dimensions. Contractors shall verify and be responsible for all dimensions and conditions on the job and the Architect/Engineer shall be informed of any variations from the dimensions and conditions shown on the drawing. Shop drawings shall be submitted to the Architect/Engineer for approval before proceeding with fabrication.



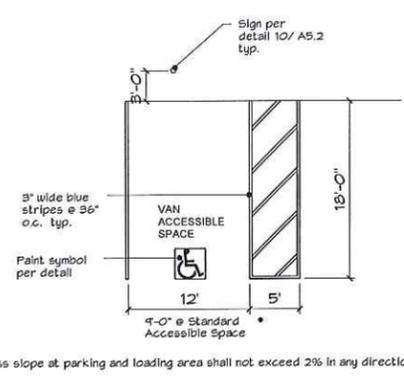
4 PARKING SIGNAGE 3/4"=1'-0"



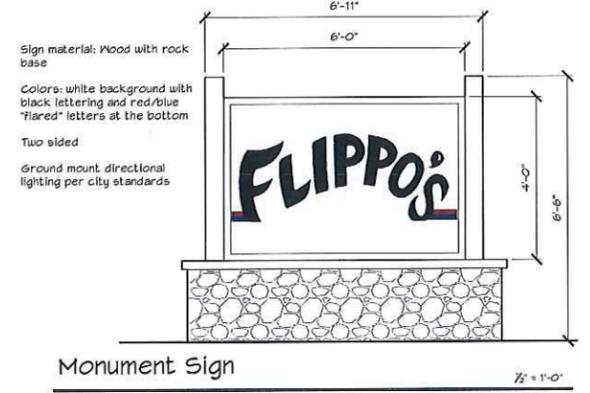
3 PARKING SIGNAGE 3/4"=1'-0"



2 PARKING SYMBOL 1"=1'-0"

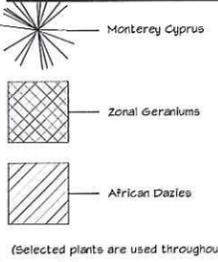


1 H.C. Striping 1/8"=1'-0"



Monument Sign 1/2"=1'-0"

Landscaping Key



(Selected plants are used throughout the neighborhood)

PLUMBING NOTES (parking lot landscaping)

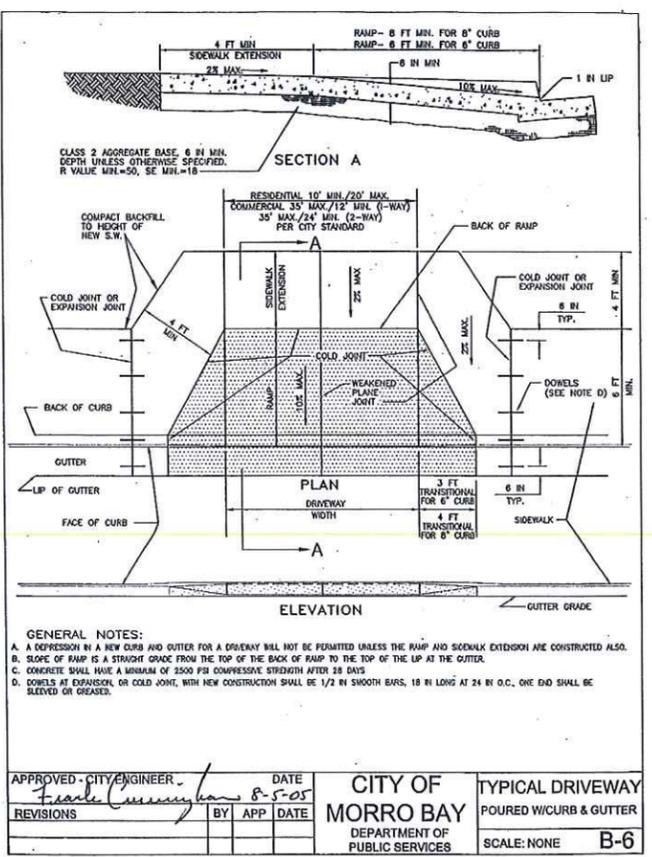
- New irrigation (drip) system for planters shall be on its own separate system and shall tie in directly to a new sidewalk water meter with a new backflow preventer adjacent to the meter.
- Verify existing (or provide new) backflow preventer at existing building water meters.
- New or replaces sewer lines at building shall have new backflow preventers as well as new cleanouts.

SITE PLAN NOTES

- All planters shall be drip irrigated using 1/2" water lines. Irrigation lines shall be under the existing asphalt paving.
- Tree and shrub species shall be approved by the City of Morro Bay.
- Parking lot shall be subject to the City of Morro Bay Planning Commission Approval.

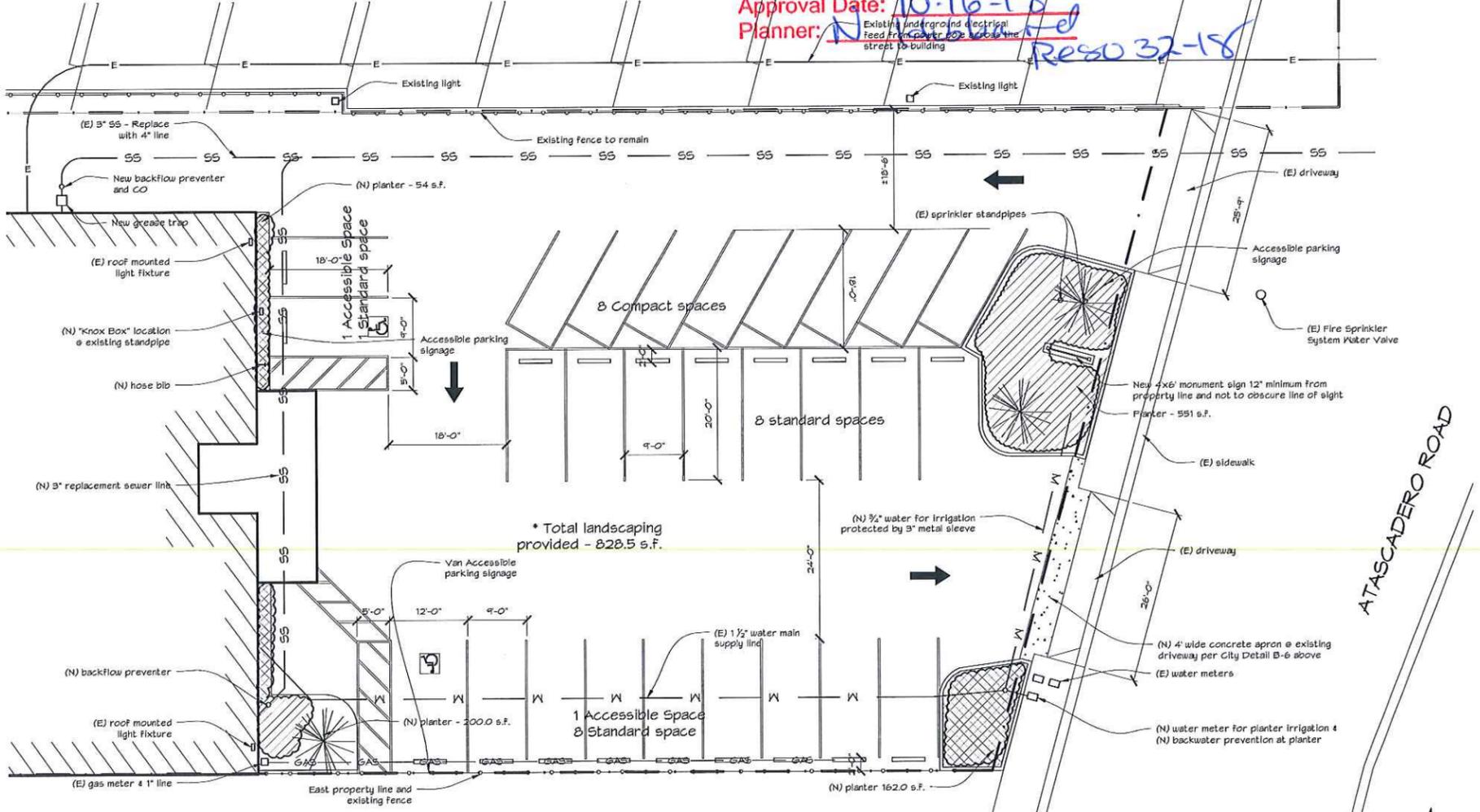
Project #(s) **CP0514 + WPD 481**
 Approved as Submitted
 Approved with Changes

Approval Date: **10-16-18**
 Planner: **N. [Signature]**



GENERAL NOTES:
 A. A DEPRESSION IN A NEW CURB AND GUTTER FOR A DRIVEWAY WILL NOT BE PERMITTED UNLESS THE RAMP AND SIDEWALK EXTENSION ARE CONSTRUCTED ALSO.
 B. SLOPE OF RAMP IS A STRAIGHT GRADE FROM THE TOP OF THE BACK OF RAMP TO THE TOP OF THE UP AT THE GUTTER.
 C. CONCRETE SHALL HAVE A MINIMUM OF 2500 PSI COMPRESSIVE STRENGTH AFTER 28 DAYS.
 D. DONNELLS AT EXPANSION OR COLD JOINT, WITH NEW CONSTRUCTION SHALL BE 1/2 IN SMOOTH BARS, 18 IN LONG AT 24 IN O.C., ONE END SHALL BE SLEEVED OR GREASED.

APPROVED - CITY ENGINEER: **Frankie Cunningham** DATE: **8-5-05**
 CITY OF MORRO BAY DEPARTMENT OF PUBLIC SERVICES
 TYPICAL DRIVEWAY POURED W/CURB & GUTTER SCALE: NONE B-6



PARTIAL SITE PLAN

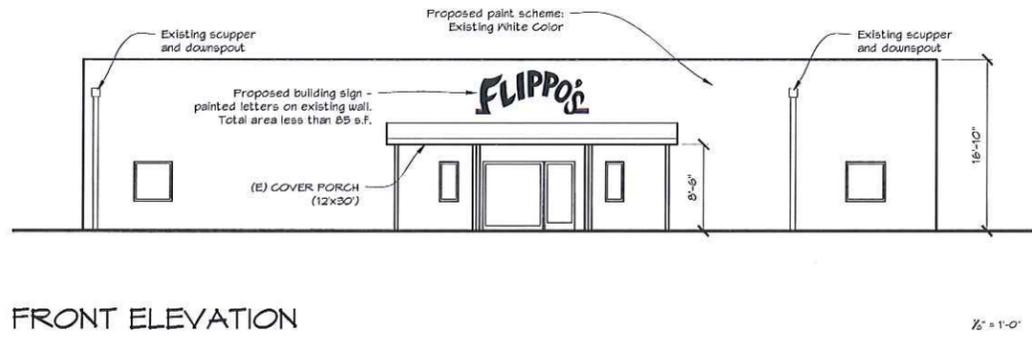
220 Atascadero Road.
 Morro Bay, CA 93442
 APN - 066-332-012

FLIPPOS REMODEL
 Partial Site Plan

No.	Revision	Date
1		
2		
3		

Project Manager: **charlie Trenbeth**
 Drawn by: **md** Checked by: **ct**
 Date: **May 25, 2018**
 Job Number: **2180301**
 Sheet: **A1.01**

EXHIBIT C



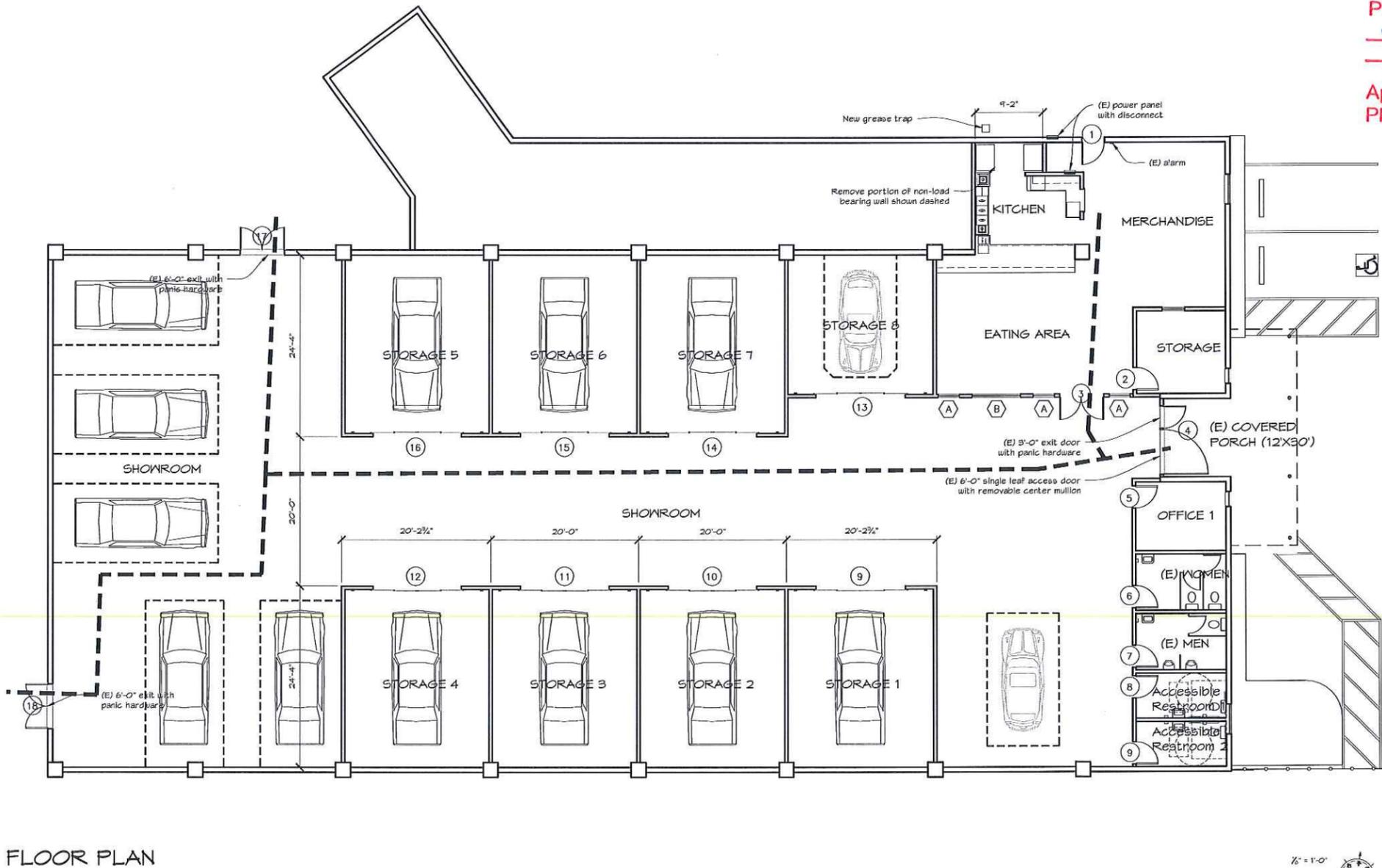
WINDOW SCHEDULE				
WINDOW SYM.	MAT	TYPE	SIZE (W x H)	REMARKS
A	AL	PICTURE	34" x 78"	TEMPERED GLAZING
B	AL	PICTURE	78" x 58"	
-	-	-	-	-

GLAZING SUBJECT TO HUMAN IMPACT SHALL BE TEMPERED PER ORD 308.3 AND 308.4 WHEN GLAZING IS WITHIN 24" OF A DOOR WHEN BOTTOM EDGE IS LESS THAN 60" ABOVE WALKING SURFACE WHEN ADJACENT TO STAIRWAYS, LANDINGS RAMP WITHIN 36" HORIZONTALLY OF THE WALKING SURFACE WHEN IN ENCLOSURES FOR OR WALLS FACING HOT TUBS, WHIRLPOOLS, SAUNAS, STEAM ROOMS, BATHINGS AND SHOWERS WHERE THE BOTTOM EXPOSED EDGE OF THE GLAZING IS LESS THAN 60" ABOVE ANY STANDING OR WALKING SURFACE

DOOR SCHEDULE										
DOOR SYM.	TYPE	MAT.	CORE	FINISH	GLASS	SIZE	FRAME		HARDWARE	REMARKS
							MAT	FINISH		
1	FL	STL	SC	PT	-	3'-0" x 7'-0"	HM	PT	LS, DB, WS, TH	EXISTING
2	FL	WD	SC	PT	-	3'-0" x 7'-0"	WD	-	LS	EXISTING
3	FL	WD	SC	PT	-	6'-0" x 7'-0"	WD	-	LS	(2) LEAFS
4	AL	GL	-	-	GL	6'-2" x 7'-0"	HM	PT	LS, DB, WS, TH	EXISTING
5	FL	WD	SC	PT	-	3'-0" x 7'-0"	WD	-	LS	EXISTING
6	FL	WD	SC	PT	-	3'-0" x 7'-0"	WD	-	LS	
7	FL	WD	SC	PT	-	3'-0" x 7'-0"	WD	-	LS	
8	FL	WD	SC	PT	-	3'-0" x 7'-0"	WD	-	LS	
9	SL	GL	-	-	GL	12'-0" x 7'-0"	WD	STN	LS	EXISTING
10	SL	GL	-	-	GL	12'-0" x 7'-0"	WD	STN	LS	TEMPERED SAFETY GLAZING
11	SL	GL	-	-	GL	12'-0" x 7'-0"	WD	STN	LS	TEMPERED SAFETY GLAZING
12	SL	GL	-	-	GL	12'-0" x 7'-0"	WD	STN	LS	TEMPERED SAFETY GLAZING
13	SL	GL	-	-	GL	12'-0" x 7'-0"	WD	STN	LS	TEMPERED SAFETY GLAZING
14	SL	GL	-	-	GL	12'-0" x 7'-0"	WD	STN	LS	TEMPERED SAFETY GLAZING
15	SL	GL	-	-	GL	12'-0" x 7'-0"	WD	STN	LS	TEMPERED SAFETY GLAZING
16	SL	GL	-	-	GL	12'-0" x 7'-0"	WD	STN	LS	TEMPERED SAFETY GLAZING
17	FL	STL	SC	PT	-	6'-0" x 8'-0"	HM	PT	LS, DB, WS, TH	(2) LEAFS
18	FL	STL	SC	PT	-	6'-0" x 8'-0"	HM	PT	LS, DB, WS, TH	(2) LEAFS

LEGEND										
AL	ALUMINUM	GL	GLAZING	PFL	POCKET FLUSH LOCK	SLB	SLIDER - Born Type			
BF	B-FOLDING	HM	HOLLOW METAL	PPF	POCKET FLUSH PULL	STL	STEEL			
BP	B-PASS	INS	INSULATED	PRE	PRE-FINISHED	STN	STAIN			
CL	CLOSER	LH	LEVER HANDLE	PT	PAINT	TH	THRESHOLD			
CO	CASED OPENING	LL	LEVER LATCH	PVT	PIVOT	WD	WOOD			
DB	DEAD BOLT	LPS	LEVER PULL SET	RH	RECESSED HANDLE	WS	WEATHER STRIPPING			
FCY	FACTORY	LS	LOCK SET	RO	REMOTE OPERATOR					
FL	FLUSH	OHS	OVERHEAD SECTIONAL	SC	SOLID CORE					
FR	FRENCH	P	POCKET	SL	SLIDER					

City of Morro Bay
 Planning Commission Approval
 Project #(s) CPO 544 + UPO 481
 Approved as Submitted
 Approved with Changes
 Approval Date: 10-16-18
 Planner: N Hubbard



- GENERAL NOTES**
- All gates and exit doors shall be equipped with panic hardware
 - See Sheet T1.01 for continued exit pathway beyond the building

NOTE:
 THIS BUILDING IS REQUIRED TO BE EQUIPPED WITH A DUAL GAS MONITORING SYSTEM INSTALLED PER MANUFACTURER'S SPECIFICATIONS.
 MONITORING SYSTEMS SHALL BE INSTALLED IN ALL AREAS WHERE A VEHICLE MOTOR WILL BE RUNNING.
 A STAND-ALONE SYSTEM MAY BE USED AND SHALL BE DIRECT CONNECT TO THE BUILDING MANAGEMENT SYSTEM FOR ACTIVATION WHEN GASSES ARE DETECTED.
 SPECIFIC LOCATION FOR MONITOR WILL BE IDENTIFIED ON THE CONSTRUCTION DRAWINGS SUBMITTED FOR BUILDING PERMIT. THE MANUFACTURER WILL BE CONSULTED FOR OPTIMUM LOCATION.
 INSTALL AN ACME ENGINEERING PROD. TWINSET STAND-ALONE DUAL GAS MONITOR (MGN-TWS-120-1). THIS SYSTEM IS ADEQUATE TO COVER UP TO 20,000 SQUARE FEET.

Drawings prepared by
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 3357 W. 1st St., Morro Bay, CA 93442
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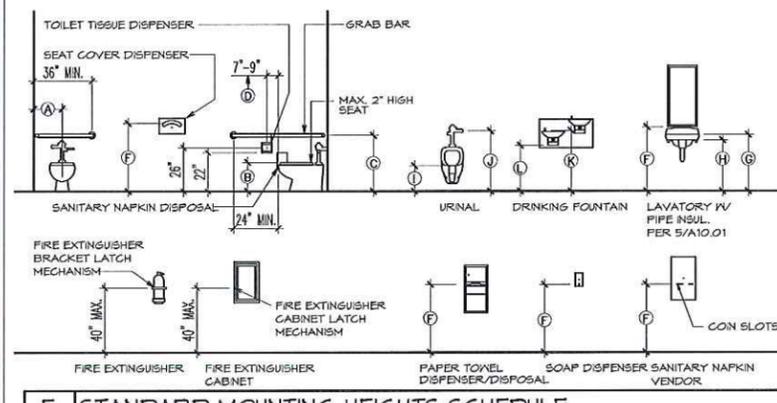
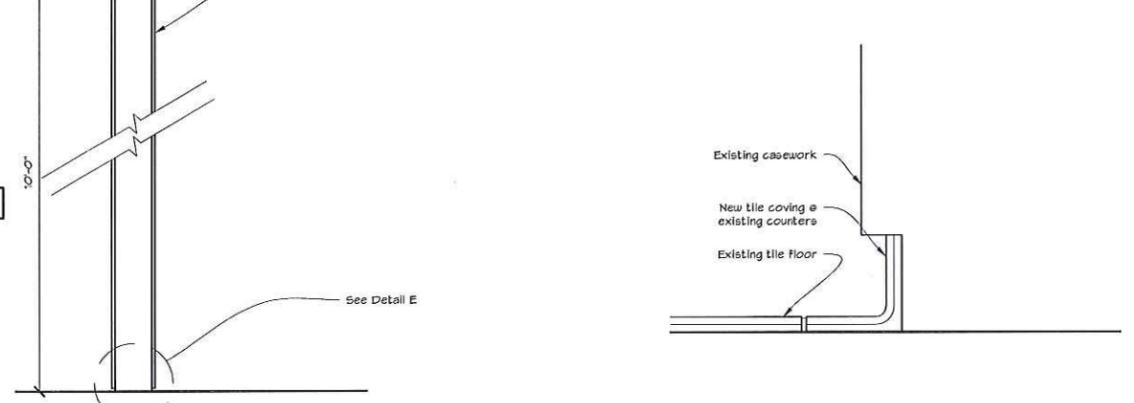
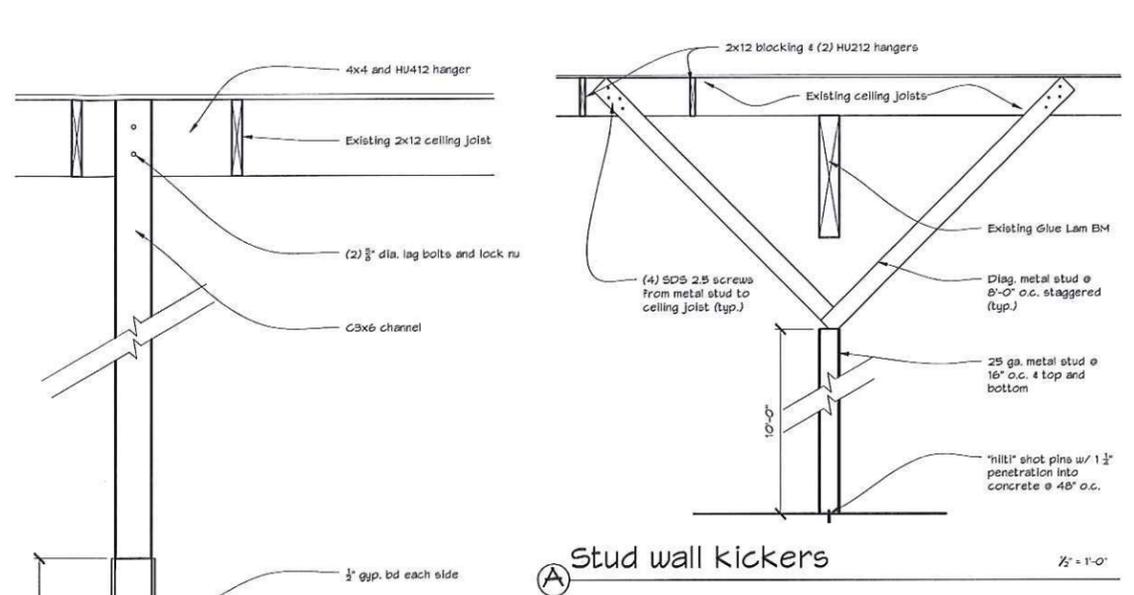
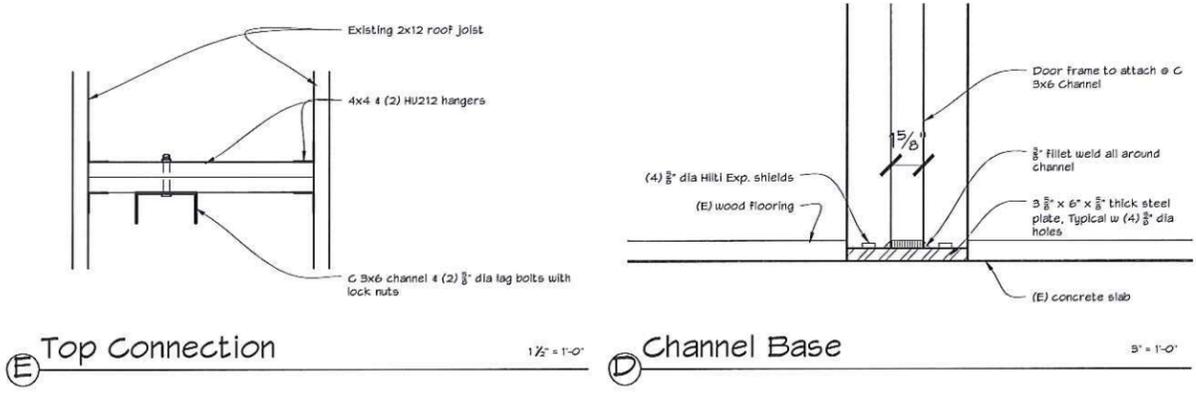
220 Atascadero Road,
 Morro Bay, CA 93442
 APN - 066-332-012

FLIPPOS REMODEL
 Floor Plan

No.	Revision	Date
1	-	-
2	-	-
3	-	-

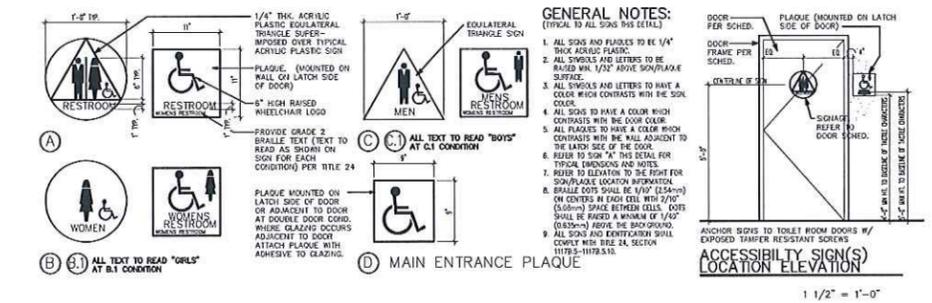
Project Manager
 charlie Trenbeth
 Drawn by
 md ct
 Date
 May 25, 2018
 Job No.
 2180301
 Sheet
A2.01

Design Solutions
 3357 N. 1st, Redwood, CA 93422
 (209) 462-9488
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 Written dimensions shall have precedence over scaled dimensions. Contractors shall verify and be responsible for all dimensions and conditions on the job and the Architect/Engineer shall be informed of any variations from the dimensions and conditions shown on the drawing. Shop drawings shall be submitted to the Architect/Engineer for approval before proceeding with fabrication.

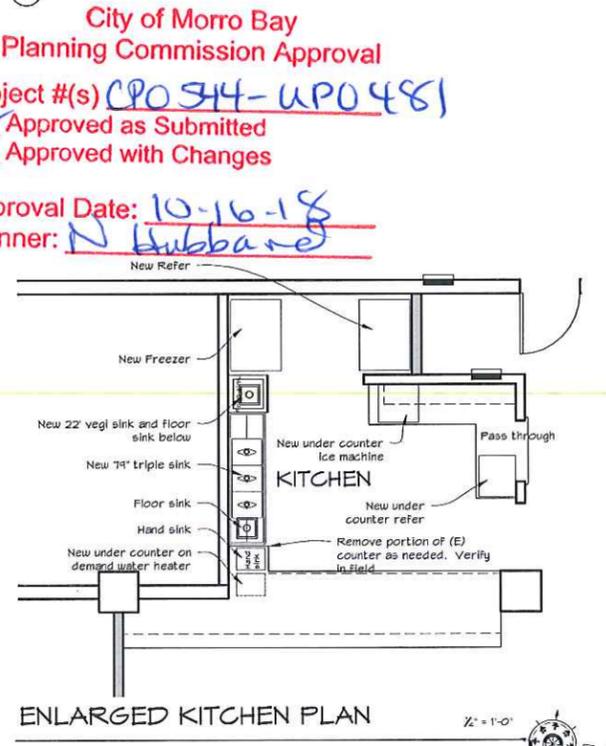
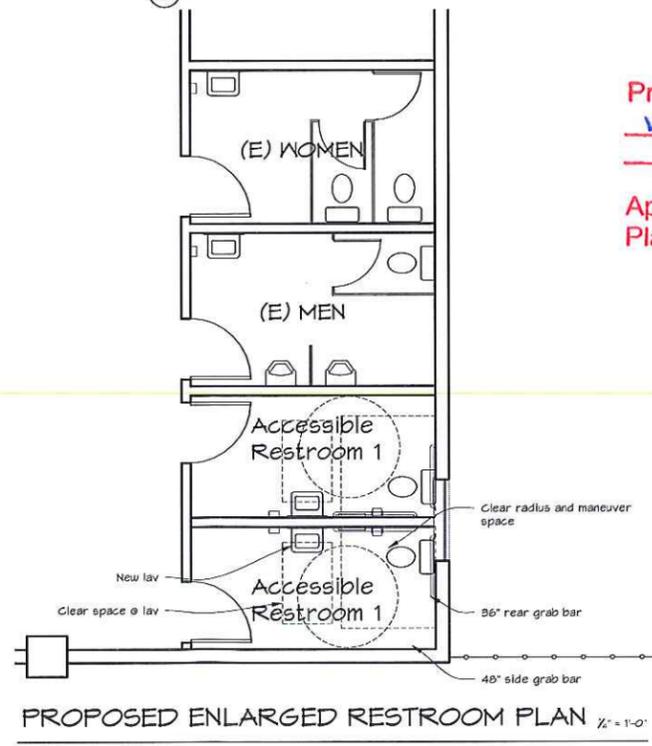
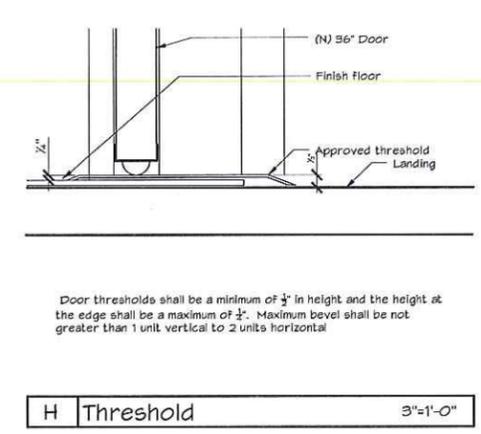
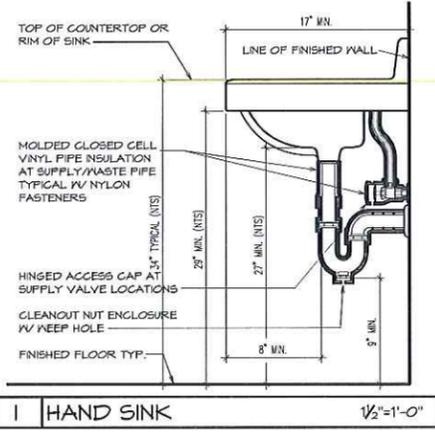


NOTES:
 1. NOT ALL FIXTURES/ACCESSORIES NECESSARILY OCCUR IN THIS PROJECT.
 2. HEIGHTS NOTED ON INTERIOR ELEVATIONS GOVERN OVER THOSE SHOWN HERE.
 3. THE ITEMS IN THIS DETAIL ARE SHOWN AT HEIGHTS ACCESSIBLE TO ADULT PERSONS WITH DISABILITIES. FOR ADULT AND JUVENILE MOUNTING HEIGHTS (AS OUTLINED IN DSA POLICY 94-15, DATED AUG. 1, 1994) SEE DETAIL 4/A10.01.
 4. WATER CLOSET FLUSH VALVE SHALL BE ORIENTED TO THE WIDE SIDE OF THE ROOM/STALL.

A	TOILET CENTERLINE FROM WALL	10"
B	TOILET SEAT HEIGHT (DIMENSION TO TOP OF SEAT)	17"-19"
C	GRAB BAR HEIGHT (SIDE)	33"-36"
D	TOILET PAPER IN FRONT OF TOILET	7"-9"
E	NAPKIN DISP. IN FRONT OF TOILET	12" MAX
F	DISPENSER OR MIRROR HEIGHT	40" MAX
G	LAVATORY/SINK TOP HEIGHT	34" MAX
H	LAVATORY/SINK KNEE CLEARANCE	24" MIN
I	URINAL LIP HEIGHT	17" MAX
J	URINAL FLUSH HANDLE HEIGHT	44" MAX
K	DRINKING FOUNTAIN BUBBLER HEIGHT	36" MAX
L	DRINKING FOUNTAIN KNEE CLEARANCE	27" MIN



Where permanent identification is provided for rooms and spaces, raised letters shall be provided and accompanied by approved Braille. Mounting location and height as follows: Install on wall adjacent to outside door latch. Tactile characters on signs shall be located 48 inches above the finish floor, measured from the baseline of the lowest Braille cells and 60 inches maximum above the finish floor, measured from the baseline of the highest line of raised characters.



220 Atascadero Road.
 Morro Bay, CA 93442
 APN - 066-332-012

FLIPPOS REMODEL
 Enlarged Plans & Details

City of Morro Bay
 Planning Commission Approval
 Project #(s) CPO 514 - WPO 481
 ✓ Approved as Submitted
 Approved with Changes
 Approval Date: 10-16-18
 Planner: N Hubbard

No.	Revision	Date
1		
2		
3		

Project Manager
 charlie Trenbeth
 Drawn by
 md
 Checked by
 ct
 Date
 May 25, 2018
 500 lbs
 Job Number
 2180301
 Sheet
A2.02

EXHIBIT C



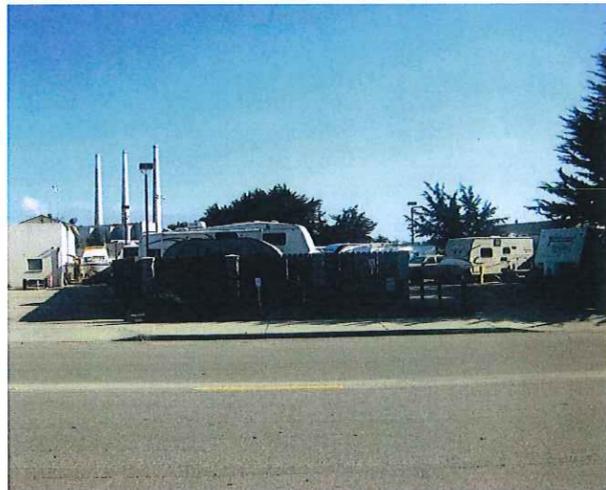
③ Elevations of Flippo's adjacent properties



② Elevations of Flippo's adjacent properties



① Elevations of Flippo's adjacent properties



⑥ Elevations of Flippo's adjacent properties



⑤ Elevations of Flippo's adjacent properties



④ Elevations of Flippo's adjacent properties

City of Morro Bay
 Planning Commission Approval
 Project #(s) CPO 544 & LPO 481
 Approved as Submitted
 Approved with Changes
 Approval Date: 10-16-18
 Planner: N. Hubbard



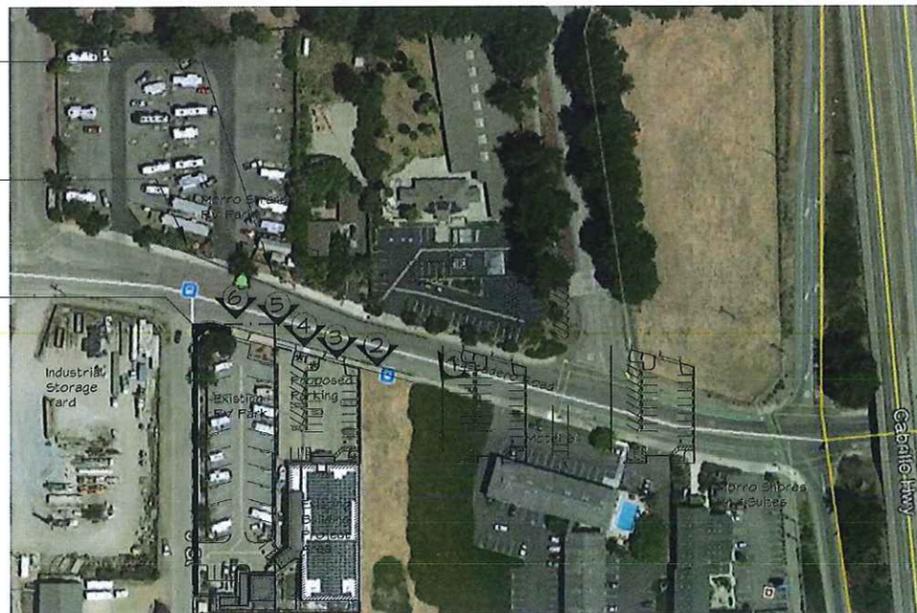
African Daisies



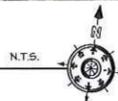
Zonal Geraniums



Monterey Cypress



SITE CONTEXT



Drawings prepared by
Design Solutions
 3357 Via Lido, Morro Bay, CA 93442
 (805) 462-9488
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220 Atascadero Road,
 Morro Bay, CA 93442
 APN - 066-332-012

FLIPPOS REMODEL
 Site Context

No.	Revision	Date
1		
2		
3		

Project Manager
 charlie Trenbeth
 Drawn by
 md
 Checked by
 ct
 Date
 May 25, 2018
 Job No.

Job Number
 2180301

Sheet
A3.01



AGENDA NO: B-2
MEETING DATE: November 5, 2019

Staff Report

TO: Planning Commissioners **DATE:** October 25, 2019

FROM: Nancy Hubbard, Contract Planner

SUBJECT: Application for Conceptual Review of a proposed 35-unit affordable housing project, designed as one 2-story and three 3-story buildings surrounding a courtyard area. The project is designed to provide a variety rooflines and exterior articulation through window heights, roof lines, window overhangs and a strong ground floor expression from the step-back in the 2nd floor. The project totals 26,349 square foot on .94 acres. The design provides vehicular access to Sunset Ave and a parking lot with 35 spaces. The project is zoned MCR/R-4/PD/SP and is not within the Coastal Commission Appeals Jurisdiction.

RECOMMENDATION:

PROVIDE GUIDANCE AND RECOMMENDATIONS FOR THE PROJECT to proceed to formal submittal for Planning Commission review and decision. Specifically address the exceptions that will be requested in order to allow this project to move forward. (See **EXCEPTIONS** below)

APPLICANT: Housing Authority of San Luis Obispo (HASLO)

ADDRESS/APN: 405 ATASCADERO ROAD/ 066-323-034, 035, 036

ZONING: MCR/R-4/PD/SP (Mixed use/High density Residential/Planned Development/North Main Specific Plan area)

Proposed
project



GENERAL PLAN/COASTAL LAND USE PLAN: Area 3 – Del Mar with land use designation of Mixed Use “F”, which encourages uses that can function compatibly in a mixed-use area and include high density apartments and condominiums. This project will require a Conditional Use Permit, Coastal Development Permit, Parking Exception and lot merger prior to building permits.

Adjacent Zoning			
North	R-2 – Duplex Residential. <i>Currently a mix of single family and duplex homes</i>	East	C-1/C-2/SD – Central Business and General Commercial. <i>Use since before 1965 has been a mobile home park</i>
South	C-VS – Visitor serving commercial. <i>Currently, liquor store and mobile home park</i>	West	MCR/R-4/SP – mixed use commercial/residential. <i>Site of future Sonic Burger (fast food).</i>

SITE INFORMATION:

This site is vacant and has been proposed for several uses, but no previous submittal has been approved. The site has several challenges: street frontages on three sides; Caltrans ROW on the south side; a mild slope to the SW on the majority of the site, but a steep slope in the northeast corner (approximately a 20 foot change in elevation in a 45 foot distance as it climbs up to meet Rockview Street); the site is not exempt from CEQA and requires an initial study.



PROJECT DESCRIPTION:

The applicant has proposed a 35-unit affordable apartment project with one, two and three-bedroom apartments primarily for extremely low-income tenants (up to 30% of AMI (Area Median Income)), and very low-income tenants (31% to 50% of AMI) with one unit for a low-income level tenant (51% to 80% of AMI). To best utilize the site, they have tucked four buildings surrounding a courtyard into the north half of the site, taking advantage of the steep slope in the NE corner. All the apartments have an entry door facing the central courtyard with access along an open walkway, accessed by 2 sets of stairs (one near the parking lot, the other

near the north side of the courtyard area. There are one, two- and three-bedroom apartments on each floor.

The project requires consideration of three development standards that cannot be met without impacting the design and reducing the number of affordable housing units. However, the site is located in the planned development (PD) overlay zone, *which provides for detailed and substantial analysis of development on parcels which, because of location, size or public ownership, warrant special review. This overlay zone is also intended to allow for the modification of or exemption from the development standards of the primary zone which would otherwise apply if such action would result in better design or other public benefit.*

See **Exceptions and Incentives** section below.



EXCEPTIONS AND DEVELOPER INCENTIVES: The site is in the MCR/R-4/PD/SP zoning districts and overlay areas. Residential uses are allowed in the MCR zoning district and since the site has an R-4 secondary zoning, the R-4 development standards will apply. See discussions below on each of the areas where the development standards need special consideration.

Density: The R-4 zoning district provides for residential uses with a minimum lot area per unit of 1800 square feet. The site is 40,770 square feet, resulting in a density allowed of 22.65 units. The maximum density bonus allowed pursuant to Section 17.50.040 B.6 is 35%. The maximum density bonus is allowed if a project

provides 11% very low-income units, 20% low income units or 40% moderate income units. The applicant is providing 100% of the units below the moderate-income level, so they qualify for the full 35% which increases the 22-unit density to 30 units. The project has proposed a design with 35 units.

Projects that qualify for a density bonus are also entitled to developer incentives (pursuant to MBMC 17.50.040 C.2-5). This project qualifies for 3 developer incentives, one of which can be a density bonus greater than the amount allowed in Section 17.50.040. The applicant is requesting an additional density bonus to allow 35 total units on the site (equates to a total density of 37 units per acre).

Note: The affordable senior housing project at 555 Main Street (C-1/R-4/S.4) was approved at a density of 53 units per acre using 2 different density bonuses (this project was for very low- and low-income residents). Another recent project at 600 Morro Bay Blvd (C-1/S.4) was approved at a density that equates to 41 units per acre. This project had 13 residential units and included only one affordable unit.

Height: The height limit in the R-4 zoning district is 30 feet from the Average Natural Grade. However, the North Main Specific Plan area, MBMC Section 17.40.110 D.2. states that the maximum height shall be 'generally' 2 stories (above subterranean or semi-subterranean parking) and not to exceed 25 feet, except that Planning Commission may allow up to 30 feet to encourage roofline variations and sloping roof treatments, provided that the additional height is required for such roof treatment and that corridors protecting significant views are provided. In this case, the site slope is both an advantage and a challenge, however since the site is archaeologically and culturally sensitive, the developer is attempting to minimize excavation. Pursuant to the developer incentives available, a reduction in site development standards (17.50.050 C.4.a) is available that includes, **but is not limited to:** reduction in setback and square footage requirements and ratio of vehicular parking spaces that would otherwise be required as long as the reduction results in identifiable, financially sufficient, actual cost reductions.

The applicant is requesting a maximum height of 30 feet from average natural grade in order to provide the three stories of proposed housing and provide a varied and interesting roof line for the project.

Parking: The MBMC code parking requirements in Section 17.44.020 C.1. i. specifically addressing parking ratios for affordable housing projects that are restricted to tenants earning less than moderate-income levels and have a deed restriction for 30 years or more. The parking required under this section requires one covered parking space for a studio or one-bedroom unit. For larger units, one covered and one uncovered space per unit is required. For this project, that equates to 35 covered spaces and 18 uncovered (53 total parking spaces). The typical requirement for guest parking can be waived for these affordable, deed restricted projects. The developer incentive related to Parking does not change the total number of spaces required for this project but does eliminate the requirement for 'covered' spaces. However, using the same development incentive referenced above related to the height of the buildings, also allows for a reduction in the ratio of vehicular parking spaces that would otherwise be required as long as it results in identifiable cost reductions.

The applicant requests that 35 total (uncovered) spaces be approved for this project, including the required handicapped spaces, but waiving the guest parking requirement. The applicant would prefer this be granted through the provision in the Planned Development overlay zone under the criterion that the parking reduction will provide a *better design and a greater public benefit*. Additionally, there is public transportation available at the motel west of Highway 1 and Highway 41 (650 feet from the subject property) and south at Errol and Main Street (by Wee Shack) (500 feet from the subject property). The subject site is also very suitable for walking and bike riding to goods and services.

DEVELOPER INCENTIVES: This applicant is also requesting fees waivers or deferrals. Based on the above analysis, the third developer incentive may be available to apply toward deferred or waived fees, direct financial aid in the form of a loan or grant to assist with off-site improvements, land or construction costs or other incentives proposed by the developer or the city that result in identifiable, financially sufficient and actual cost reductions. (MBMC 17.50.050 C.4.d-f)

CONCLUSION:

The project is consistent with the General Plan and Local Coastal Program. This project will be tax credit qualified, grant funded and deed restricted for 55 years. This well-designed, architecturally interesting project will provide 100% affordable housing units to a very low-income population that has not been previously provided for in Morro Bay in permanent housing of this magnitude. This project meets many of the Housing Element goals that Morro Bay has not previously been able to address.

PUBLIC HEARING NOTICE:

Notice of a public hearing on this item was published in the San Luis Obispo Tribune newspaper on October 25, 2019, and all property owners and occupants of record within 500 feet of the project site were notified of the scheduled public hearing and invited to voice any concerns on this application. The project site was also posted with a public notice sign.

RECOMMENDATION:

PROVIDE GUIDANCE AND RECOMMENDATIONS FOR THE PROJECT to proceed to formal submittal for Planning Commission review and decision. Specifically address likelihood of granting exceptions that will be requested in order to allow this project to move forward.

ATTACHMENTS:

Exhibit A – PLANS with Exterior Color Board (Sheet A.5.0)

405 ATASCADERO ROAD

Morro Bay, California



ADDRESS
1327 ARCHER ST, SUITE 220
SAN LUIS OBISPO, CA 93401

CONTACT
805.547.2240
ARRIS-STUDIO.COM

THOMAS E. JESS
ARCHITECT #C27608
STEPHEN A. RIGOR
ARCHITECT #C33672

MORRO BAY HOUSING

405 Atascadero Road
Morro Bay, CA

COVER SHEET

Project A19022
Date OCTOBER 24, 2019
Sheet

A0.0

405 ATASCADERO ROAD

Morro Bay, California

PROJECT STATISTICS

SITE STATISTICS:

ADDRESS	405 ATASCADERO ROAD MORRO BAY, CA
ASSESSOR PARCEL NUMBER	068-323-034, -035, -036
PARCEL AREA:	40,770 SF (0.94 ACRES)
068-323-034	29,621 SF
068-323-035	5,000 SF
068-323-036	6,149 SF
LOCAL ZONING	MCR / R-4 / PD / SP MIXED NEIGHBORHOOD COMMERCIAL (NC) / RESIDENTIAL NORTH MAIN STREET SPECIFIC PLAN
ADJACENT USE:	
NORTH	RESIDENTIAL - S.F.R. & ROCKVIEW STREET
WEST	RESIDENTIAL - S.F.R. & SUNSET AVENUE
SOUTH	ATASCADERO ROAD & MORRO ROAD
EAST	RESIDENTIAL - MOBILE HOME PARK
SETBACKS:	
FRONT / WEST (SUNSET AVE.)	15'
SIDE / NORTH & SOUTH (ROCKVIEW ST. & ATASCADERO RD.)	20% OF PARCEL WIDTH, 10' MIN. - 15' MAX
REAR / EAST	5'
OPEN SPACE:	
REQUIRED	5,250SF 150 SF PER RESIDENTIAL UNIT (PER CITY OF MORRO BAY ZONING CODE SECTION 17.06.030)
PROVIDED	17,563SF
LOT COVERAGE:	
REQUIRED	60% MAXIMUM = 24,462SF (0.56 ACRES)
PROVIDED	31.4% = 12,809SF (0.29 ACRES)

PARKING CALCULATIONS

TOTAL REQUIRED	35 SPACES
(35) DWELLING UNITS X 1 SPACE/UNIT = 35 SPACES	
*GUEST PARKING WAIVED FOR LOW INCOME HOUSING PROJECTS PER CHAPTER 17.44.020.C.1.g	
TOTAL PROVIDED:	35 SPACES

BUILDING STATISTICS:

CONSTRUCTION TYPE	TYPE V-B SPRINKLERED
PROPOSED USE	APARTMENT
OCCUPANCY GROUPS	R-2
OCCUPANCY SEPARATION REQ'D?	NO
FIRE SPRINKLERS REQ'D?	YES
NUMBER OF STORIES	3-STORY
ALLOWABLE MAX HEIGHT	25'-0" (PER NORTH MAIN SPECIFIC PLAN) 30'-0" (PER R-4 ZONE) 30'-0" above avg. nat. grade (30' + 43.55' ANG = 73.55')
PROPOSED MAX HEIGHT	
DENSITY:	
ALLOWED:	26 UNITS
ALLOWED BASE DENSITY IN MCR/R-4 = 15-27 UNITS PER GROSS ACRE USING 27 UNITS PER GROSS ACRE: 0.94 ACRES X 27 = 25.38 UNITS* = 26.00 UNITS *EACH COMPONENT OF THE DENSITY BONUS CALCULATION THAT RESULTS IN A FRACTIONAL NUMBER SHALL BE ROUNDED UP TO THE NEXT WHOLE NUMBER	
PROPOSED:	35 UNITS
THIS PROJECT IS SEEKING A DENSITY BONUS OF 35%, 11% (4 UNITS) VERY LOW INCOME DENSITY BONUS: 26 UNITS X 34.6% = 9.00 UNITS ALLOWABLE DENSITY WITH DENSITY BONUS APPLIED: 9 UNITS + 26 UNITS = 35 UNITS AFFORDABLE UNITS: 36 UNITS X 0.11 = 3.96 UNITS = 4 VERY LOW-INCOME UNITS	
BUILDING AREA:	26,052 SF
BUILDING A:	3,313 SF
FIRST FLOOR	1,573 SF
TRASH ROOM	182 SF
AMENITY SPACES / LAUNDRY	1,391 SF
SECOND FLOOR	870 SF
PATIO (not included in bldg area)	326 SF
THIRD FLOOR	870 SF
BUILDING B:	10,623 SF
FIRST FLOOR	3,047 SF
SECOND FLOOR	3,788 SF
THIRD FLOOR	3,788 SF
BUILDING C:	2,492 SF
FIRST FLOOR	0 SF
SECOND FLOOR	1,246 SF
THIRD FLOOR	1,246 SF
BUILDING D:	9,624 SF
FIRST FLOOR	3,208 SF
SECOND FLOOR	3,208 SF
THIRD FLOOR	3,208 SF

UNIT AREA

BUILDING A:	NUMBER	PLAN TYPE	UNIT AREA
	201/301	PLAN 2B 2-BEDROOM	870 SF
BUILDING B:	NUMBER	PLAN TYPE	UNIT AREA
	102/202/302	PLAN 3C 3-BEDROOM	940 SF
	103/203/303	PLAN 1B 1-BEDROOM	505 SF
	104/204/304	PLAN 1A 1-BEDROOM	550 SF
	105/205/305	PLAN 1B 1-BEDROOM	505 SF
	106/206/306	PLAN 1A 1-BEDROOM	550 SF
	207/307	PLAN 2A 2-BEDROOM	745 SF
BUILDING C:	NUMBER	PLAN TYPE	UNIT AREA
	208/308	PLAN 2A 2-BEDROOM	745 SF
	209/309	PLAN 1B 1-BEDROOM	505 SF
BUILDING D:	NUMBER	PLAN TYPE	UNIT AREA
	110/210/310	PLAN 3B 3-BEDROOM	975 SF
	111/211/311	PLAN 2A 2-BEDROOM	745 SF
	112/212/312	PLAN 1B 1-BEDROOM	505 SF
	113/213/313	PLAN 3A 3-BEDROOM	985 SF

PROJECT DESCRIPTION

THIS APPLICATION PROPOSES A NEW MULTI-FAMILY HOUSING PROJECT ON AN EXISTING VACANT LOT ON THE CORNER OF ATASCADERO ROAD AND SUNSET AVENUE IN MORRO BAY, CALIFORNIA. THIS IS A TYPE V-B CONSTRUCTION, AND THERE WILL BE THREE NEW 3-STORY BUILDINGS AND ONE NEW 2-STORY BUILDING, WITH A TOTAL OF 35 RESIDENTIAL UNITS SURROUNDING AN OUTDOOR COURTYARD AREA.

THIS SITE IS APART OF THE CA-SLO-165, MAKING THIS A SENSITIVE ARCHAEOLOGICAL AREA, PLEASE REFER TO CULTURAL RESOURCES SURVEY AND REPORT PREPARED BY NANCY FARRELL OF CULTURAL RESOURCE MANAGEMENT SERVICES (CRMS), DATED OCTOBER 2015 AND PHASE II ARCHAEOLOGICAL EVALUATION OF CA-SLO-165 (DATED DECEMBER 2017) BY ALBION ENVIRONMENTAL, INC. THIS PROJECT PROPOSES A MITIGATED NEGATIVE DECLARATION, PLEASE REFER TO "MITIGATION RECOMMENDATIONS" SECTION ON PAGE 80 OF THE PHASE II ARCHAEOLOGICAL EVALUATION OF CA-SLO-165 BY ALBION FOR SPECIFIC MITIGATED NEGATIVE DECLARATION INFORMATION.

FIRE DEPARTMENT NOTES

FIRE PROTECTION SYSTEMS SHALL BE INSTALLED IN ACCORDANCE WITH THE CFC AND CBC:

1. AN APPROVED NFPA 13 SYSTEM WILL BE REQUIRED FOR THIS PROJECT.
2. FIRE MAIN AND ALL ASSOCIATED CONTROL VALVES SHALL BE INSTALLED PER NFPA 24 STANDARDS AND CITY ENGINEERING STANDARDS.
3. THE FIRE DEPARTMENT CONNECTION (FDC) SHALL BE LOCATED ALONG A FIRE APPARATUS ACCESS, AND THE LOCATION OF THE BACKFLOW PREVENTION DEVICE AND FDC SHALL BE LOCATED ON THE SITE PLAN
4. BUILDINGS UNDERGOING CONSTRUCTION, ALTERATION OR DEMOLITION SHALL BE IN ACCORDANCE WITH CHAPTER 14 OF THE CFC.

VICINITY MAP



PROJECT TEAM

PROJECT OWNER

HOUSING AUTHORITY OF SAN LUIS OBISPO
487 LEFF STREET
SAN LUIS OBISPO, CA 93463
TEL: (805) 594-5330
CONTACT: MICHAEL BURKE
EMAIL: mburke@haslo.org

CIVIL ENGINEER

NORTH COAST ENGINEERING
725 CRESTON ROAD, SUITE B
PASO ROBLES, CA 93446
TEL: (805) 239-3127
CONTACT: GREG JAEGER
EMAIL: gregj@northcoastengineering.com

ARCHITECT

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TEL: (805) 547-2240
CONTACT: THOM JESS
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LANDSCAPE ARCHITECT

OASIS ASSOCIATES INC.
3247 MIGUELITO COURT
SAN LUIS OBISPO, CA 93401
TEL: (805) 541-4509
CONTACT: MICHAEL CRIPE
EMAIL: scoff@oasisassoc.com

SHEET INDEX

ARCHITECTURAL

- A0.0 COVER SHEET
- A0.1 PROJECT DATA
- A1.0 SITE & FIRST FLOOR PLAN
- A1.1 SECOND FLOOR PLAN
- A1.2 THIRD FLOOR PLAN
- A2.0 TYPICAL UNIT PLANS:
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- A2.1 TYPICAL UNIT PLANS:
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- A2.2 TYPICAL UNIT PLANS:
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- A2.3 TYPICAL UNIT PLANS:
3-BEDROOM
- A3.0 CONCEPTUAL PERSPECTIVE
- A3.1 CONCEPTUAL PERSPECTIVE
- A3.2 CONCEPTUAL PERSPECTIVE
- A4.0 EXTERIOR ELEVATION
- A4.1 EXTERIOR ELEVATION
- A4.2 EXTERIOR ELEVATION
- A4.3 EXTERIOR ELEVATION
- A5.0 COLOR & MATERIAL BOARD

CIVIL

- PRELIMINARY GRADING & DRAINAGE PLAN
- PRELIMINARY UNDERGROUND PLAN
- SITE CROSS SECTIONS

LANDSCAPE

- L-1.1 CONCEPTUAL LANDSCAPE PLAN
- L-1.2 PLANT LIST, PHOTOS, & NOTES

MORRO BAY HOUSING

405 Atascadero Road
Morro Bay, CA

PROJECT DATA

Project A19022
Date OCTOBER 24, 2019
Sheet

A0.1



ADDRESS
1327 ARCHER ST, SUITE 220
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MORRO BAY HOUSING
405 Atascadero Road
Morro Bay, CA

PROPOSED SITE / FIRST FLOOR PLAN

Project A19022
Date OCTOBER 24, 2019
Sheet

A1.0

PROJECT NORTH TRUE NORTH

11x17 SHEET SCALE: 1" = 30'-0"
24x36 SHEET SCALE: 1" = 15'-0"



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STEPHEN A. RIGOR
ARCHITECT #C33672

MORRO BAY HOUSING
405 Atascadero Road
Morro Bay, CA

PROPOSED SECOND FLOOR PLAN

01 5 10 20 40
11x17 SHEET SCALE: 1" = 30'-0"
24x36 SHEET SCALE: 1" = 15'-0"

PROJECT NORTH TRUE NORTH

Project A19022
Date OCTOBER 24, 2019
Sheet

A1.1



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STUDIO ARCHITECTS

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STEPHEN A. RIGOR
ARCHITECT #C33672

MORRO BAY HOUSING
405 Atascadero Road
Morro Bay, CA

PROPOSED THIRD FLOOR PLAN

0 5 10 20 40
11x17 SHEET SCALE: 1" = 30'-0"
24x36 SHEET SCALE: 1" = 15'-0"

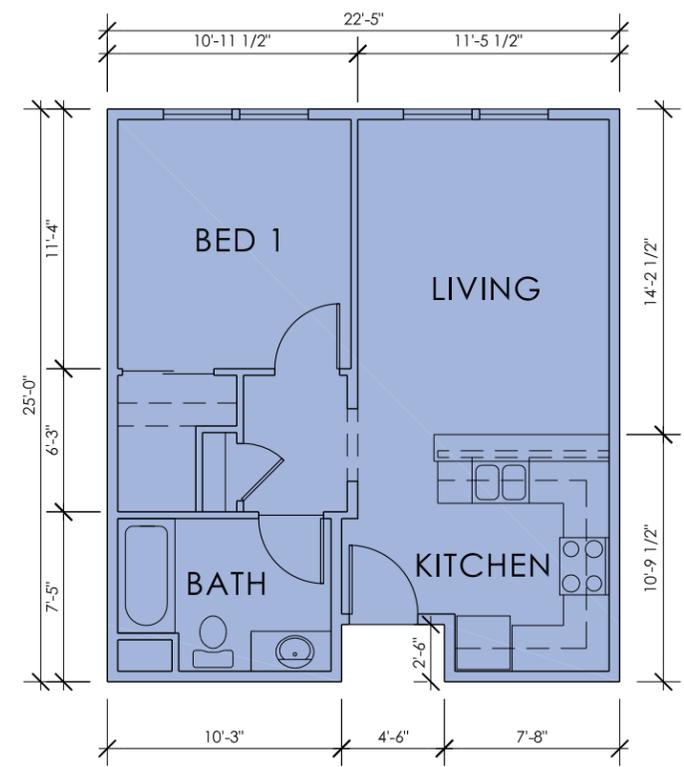
PROJECT NORTH TRUE NORTH

Project A19022
Date OCTOBER 24, 2019
Sheet

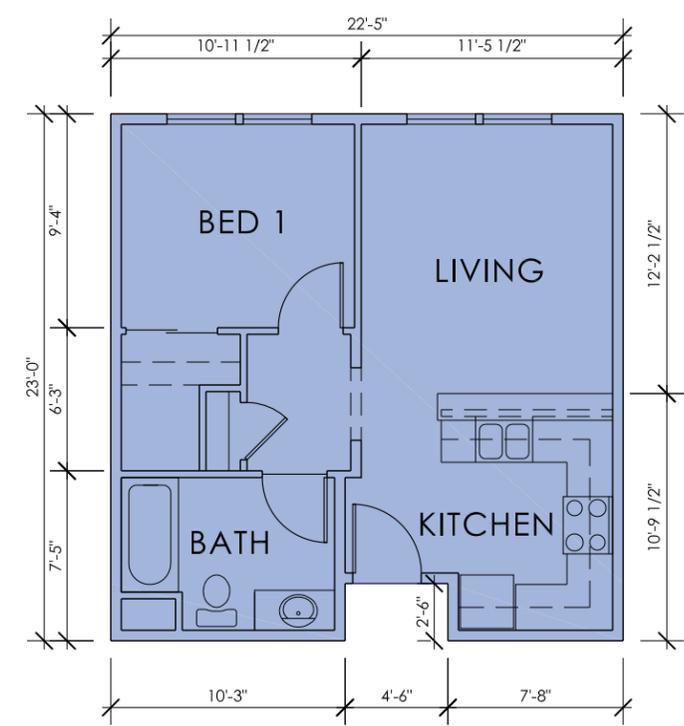
A1.2

FLOOR AREA CALCS

PLAN 1A:	550 SF
PLAN 1B:	505 SF
PLAN 2A:	745 SF
PLAN 2B:	870 SF
PLAN 3A:	985 SF
PLAN 3B:	975 SF
PLAN 3C:	940 SF



PLAN 1A: ONE-BEDROOM UNIT



PLAN 1B: ONE-BEDROOM UNIT



Arris
 STUDIO ARCHITECTS

ADDRESS
 1327 ARCHER ST, SUITE 220
 SAN LUIS OBISPO, CA 93401

CONTACT
 805.547.2240
 ARRIS-STUDIO.COM

THOMAS E. JESS
 ARCHITECT #C27608
 STEPHEN A. RIGOR
 ARCHITECT #C33672

MORRO BAY HOUSING

405 Atascadero Road
Morro Bay, CA

ONE-BEDROOM UNIT PLANS

0 5 10 20 40

11x17 SHEET SCALE: 1/8" = 1'-0"

24x36 SHEET SCALE: 1/4" = 1'-0"

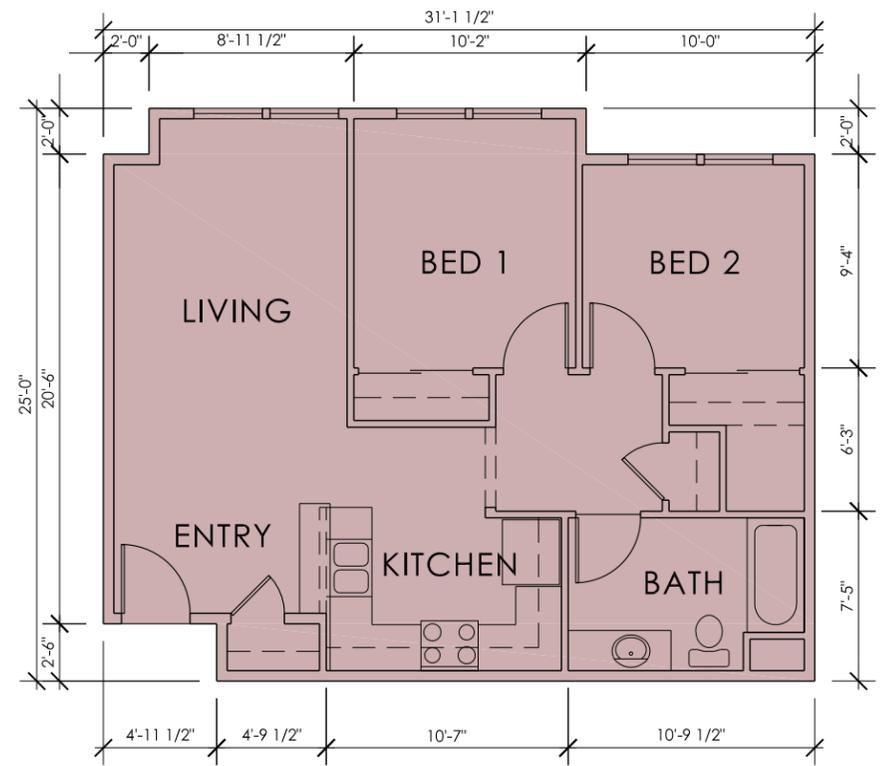
PROJECT NORTH

TRUE NORTH

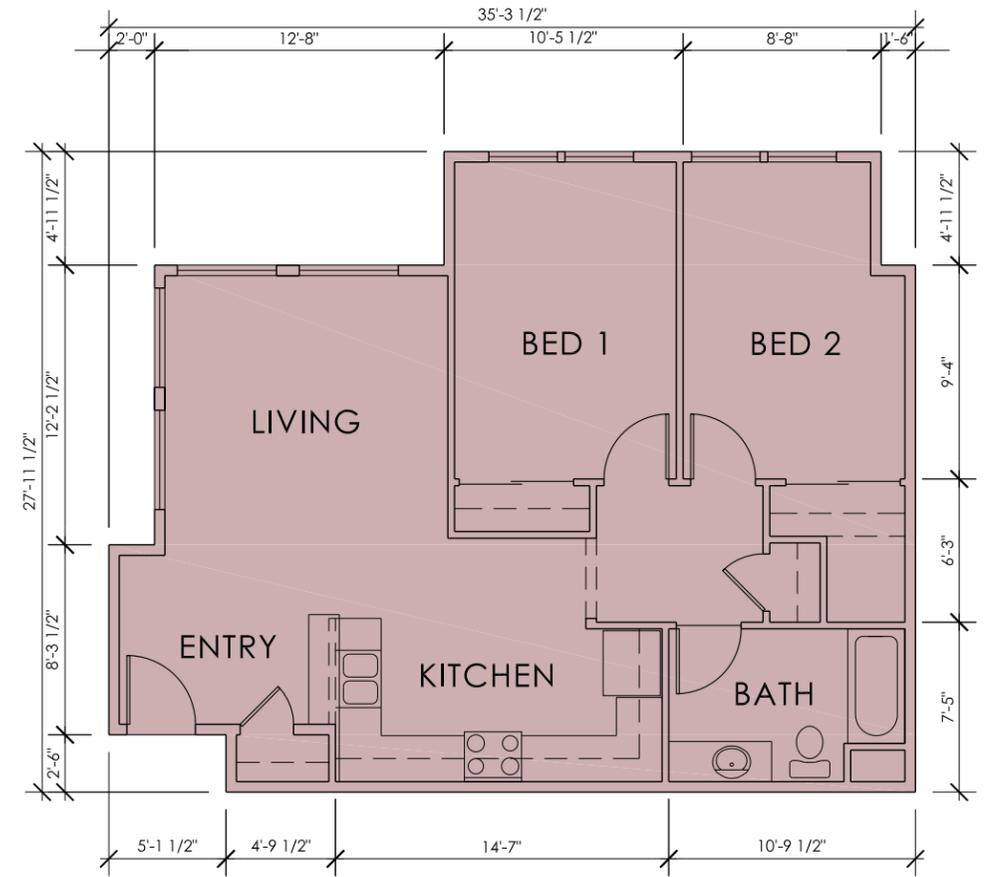
Project	A19022
Date	OCTOBER 24, 2019
Sheet	A2.0

FLOOR AREA CALCS

PLAN 1A:	550 SF
PLAN 1B:	505 SF
PLAN 2A:	745 SF
PLAN 2B:	870 SF
PLAN 3A:	985 SF
PLAN 3B:	975 SF
PLAN 3C:	940 SF



PLAN 2A: TWO-BEDROOM UNIT



PLAN 2B: TWO-BEDROOM UNIT



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405 Atascadero Road
Morro Bay, CA

TWO-BEDROOM UNIT PLANS

0 5 10 20 40

11x17 SHEET SCALE: 1/8" = 1'-0"

24x36 SHEET SCALE: 1/4" = 1'-0"

PROJECT NORTH



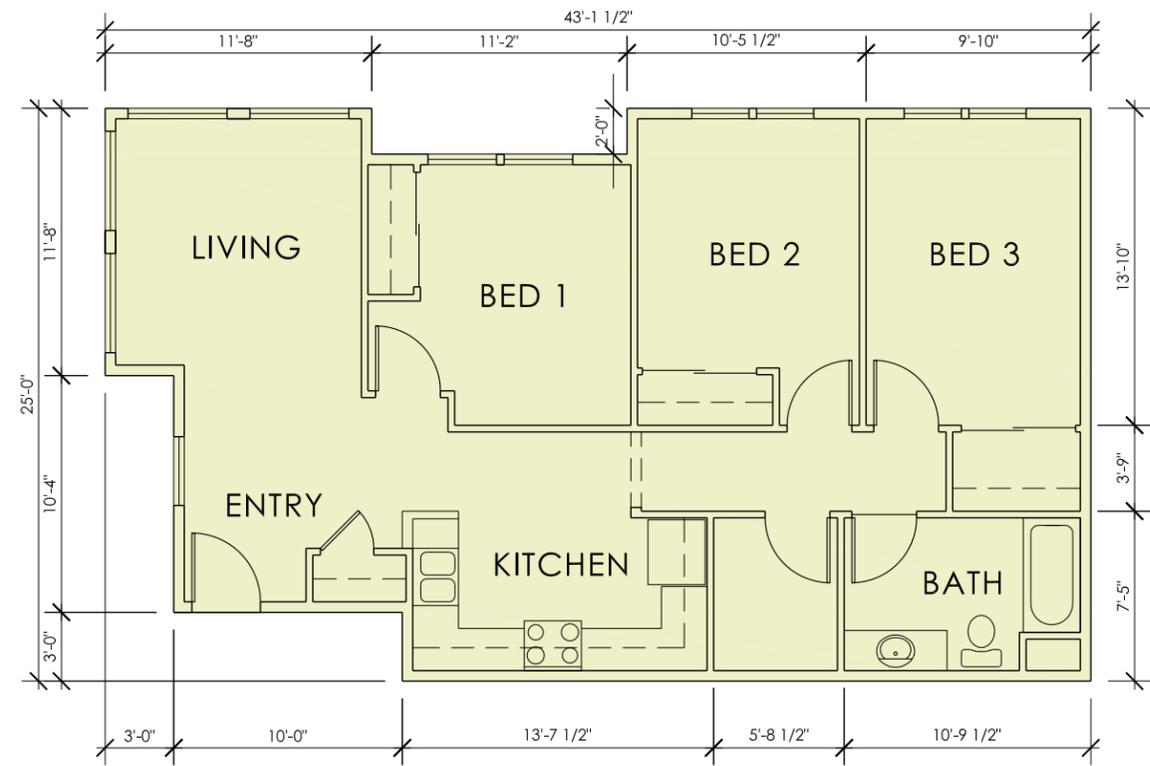
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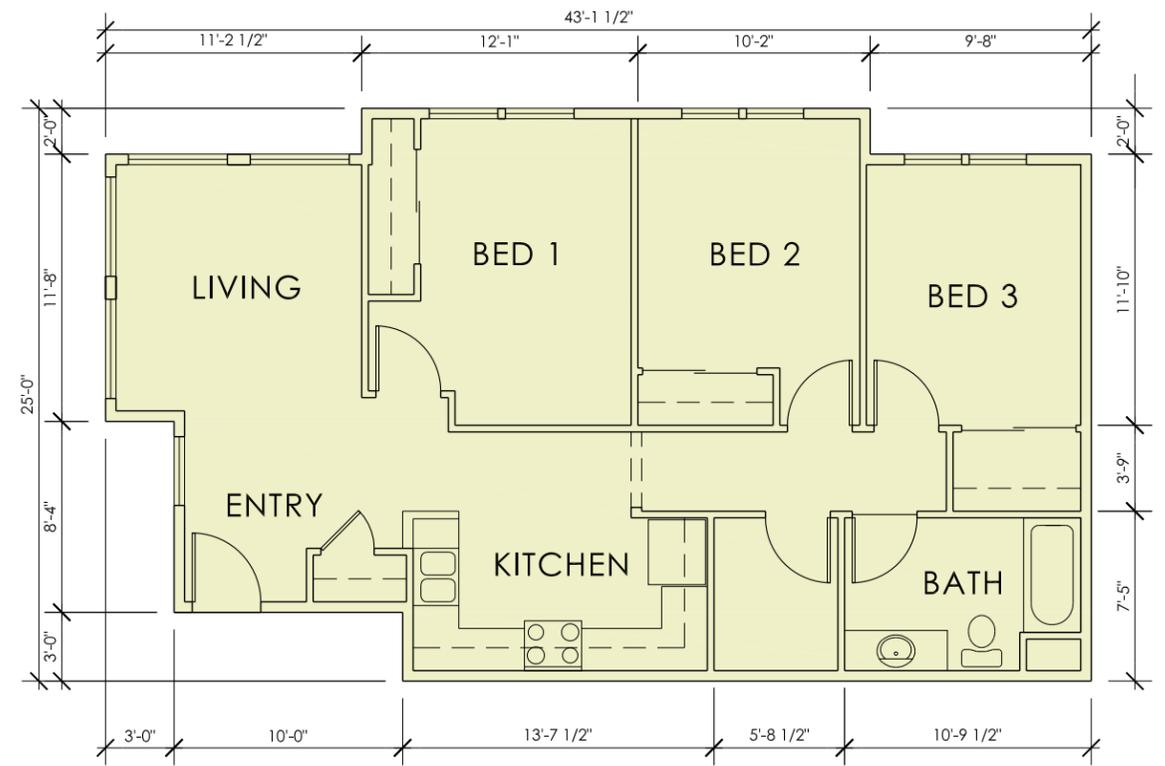
Project	A19022
Date	OCTOBER 24, 2019
Sheet	A2.1

FLOOR AREA CALCS

PLAN 1A:	550 SF
PLAN 1B:	505 SF
PLAN 2A:	745 SF
PLAN 2B:	870 SF
PLAN 3A:	985 SF
PLAN 3B:	975 SF
PLAN 3C:	940 SF



PLAN 3A: THREE-BEDROOM UNIT



PLAN 3B: THREE-BEDROOM UNIT

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THREE-BEDROOM UNIT PLANS

01 5 10 20 40
11x17 SHEET SCALE: 1/8" = 1'-0"
24x36 SHEET SCALE: 1/4" = 1'-0"

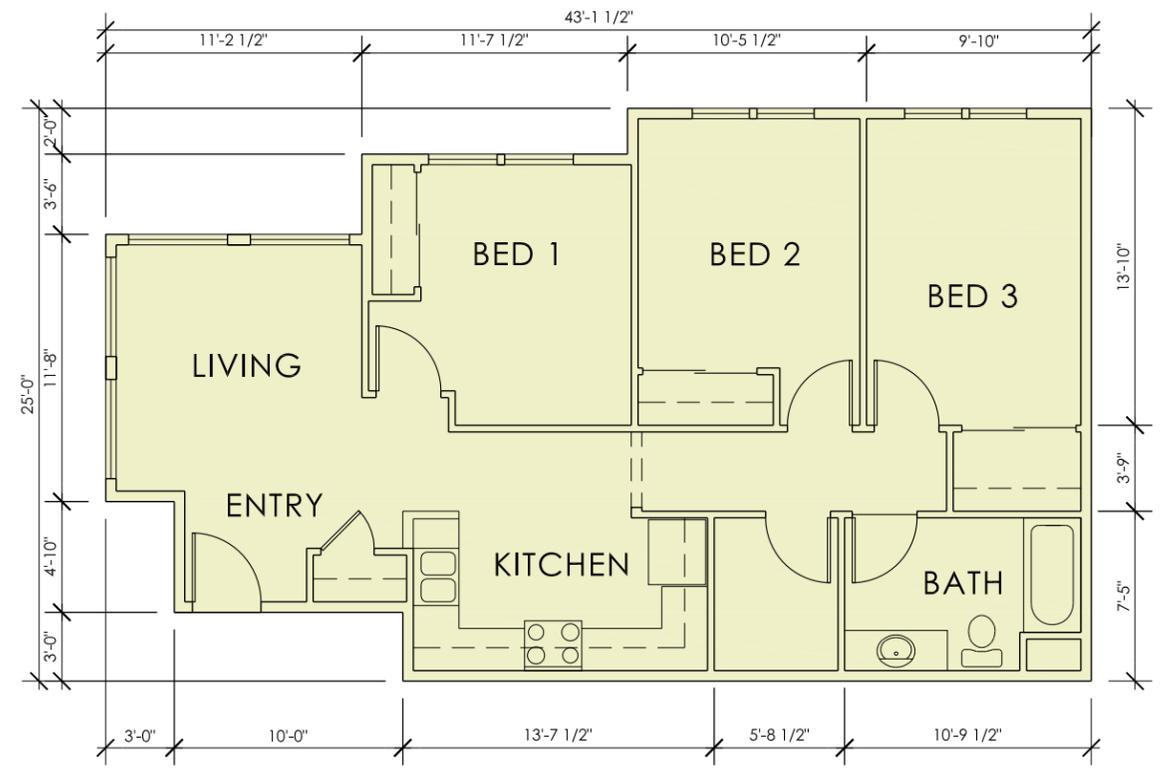
PROJECT NORTH TRUE NORTH

Project A19022
Date OCTOBER 24, 2019
Sheet

A2.2

FLOOR AREA CALCS

PLAN 1A:	550 SF
PLAN 1B:	505 SF
PLAN 2A:	745 SF
PLAN 2B:	870 SF
PLAN 3A:	985 SF
PLAN 3B:	975 SF
PLAN 3C:	940 SF



PLAN 3C: THREE-BEDROOM UNIT



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MORRO BAY HOUSING

405 Atascadero Road
Morro Bay, CA

THREE-BEDROOM UNIT PLANS

11x17 SHEET SCALE: 1/8" = 1'-0"

24x36 SHEET SCALE: 1/4" = 1'-0"

PROJECT NORTH

TRUE NORTH

Project

A19022

Date

OCTOBER 24, 2019

Sheet

A2.3



CONCEPTUAL PERSPECTIVE VIEW - CORNER OF BUILDING A



ADDRESS
1327 ARCHER ST, SUITE 220
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STEPHEN A. RIGOR
ARCHITECT #C33672

MORRO BAY HOUSING

405 Atascadero Road
Morro Bay, CA

PERSPECTIVE VIEW

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A3.0



CONCEPTUAL PERSPECTIVE VIEW - MAIN ENTRY AT BUILDING A



ADDRESS
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ARCHITECT #C33672

MORRO BAY HOUSING

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Morro Bay, CA

PERSPECTIVE VIEW

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A3.1



CONCEPTUAL PERSPECTIVE VIEW - BUILDING A & B FROM SUNSET AVENUE



ADDRESS
1327 ARCHER ST, SUITE 220
SAN LUIS OBISPO, CA 93401

CONTACT
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ARCHITECT #C27608
STEPHEN A. RIGOR
ARCHITECT #C33672

MORRO BAY HOUSING

405 Atascadero Road
Morro Bay, CA

PERSPECTIVE VIEW

Project A19022
Date OCTOBER 24, 2019
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A3.2



ATASCADERO ROAD (FRONT) ELEVATION



ADDRESS
1327 ARCHER ST, SUITE 220
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STEPHEN A. RIGOR
ARCHITECT #C33672

MORRO BAY HOUSING

405 Atascadero Road
Morro Bay, CA

CONCEPTUAL EXTERIOR ELEVATION

0 5 10 20 40
11x17 SHEET SCALE: 1/16" = 1'-0"
24x36 SHEET SCALE: 1/8" = 1'-0"



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A4.0



SUNSET AVENUE (EAST) ELEVATION



ADDRESS
1327 ARCHER ST, SUITE 220
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STEPHEN A. RIGOR
ARCHITECT #C33672

MORRO BAY HOUSING

405 Atascadero Road
Morro Bay, CA

CONCEPTUAL EXTERIOR ELEVATION

01 5 10 20 40
11x17 SHEET SCALE: 1/16" = 1'-0"
24x36 SHEET SCALE: 1/8" = 1'-0"



Project A19022
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Sheet

A4.1



ROCKVIEW STREET (REAR) ELEVATION



ADDRESS
1327 ARCHER ST, SUITE 220
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STEPHEN A. RIGOR
ARCHITECT #C33672

MORRO BAY HOUSING

405 Atascadero Road
Morro Bay, CA

CONCEPTUAL EXTERIOR ELEVATION

0 5 10 20 40
11x17 SHEET SCALE: 1/16" = 1'-0"
24x36 SHEET SCALE: 1/8" = 1'-0"

PROJECT NORTH
TRUE NORTH

Project A19022
Date OCTOBER 24, 2019
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A4.2



SIDE (WEST) ELEVATION



ADDRESS
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CONTACT
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STEPHEN A. RIGOR
ARCHITECT #C33672

MORRO BAY HOUSING

405 Atascadero Road
Morro Bay, CA

CONCEPTUAL EXTERIOR ELEVATION

01 5 10 20 40
11x17 SHEET SCALE: 1/16" = 1'-0"
24x36 SHEET SCALE: 1/8" = 1'-0"



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Sheet

A4.3

R
STANDING SEAM METAL ROOF
 AEP SPAN -DESIGN SPAN HP
 "COOL OLD TOWN GRAY"



S1
STONE VENEER BASE
 ELDORADO STONE
 "WHITEBARK" CLIFFSTONE



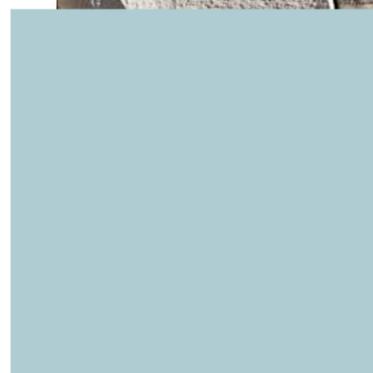
P4
PAINTED EXTERIOR WOOD SIDING
 BENJAMIN MOORE
 "ICE MIST" 2123-70



P5
PAINTED EXTERIOR COLOR
 BENJAMIN MOORE
 "BOLD BLUE" 2064-10



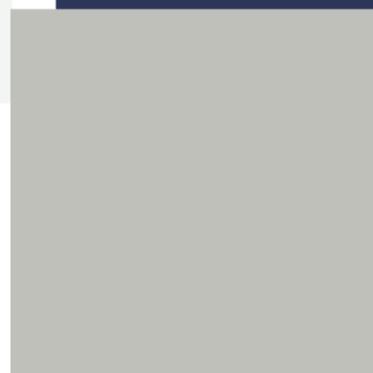
P1
PAINTED EXTERIOR WOOD SIDING
 BENJAMIN MOORE
 "BAY MARINA" 1655



P2
PAINTED EXTERIOR WOOD SIDING
 BENJAMIN MOORE
 "SHERWOOD GREEN" HC-118



P3
PAINTED EXTERIOR WOOD SIDING
 BENJAMIN MOORE
 "SMOKE EMBERS" 1466



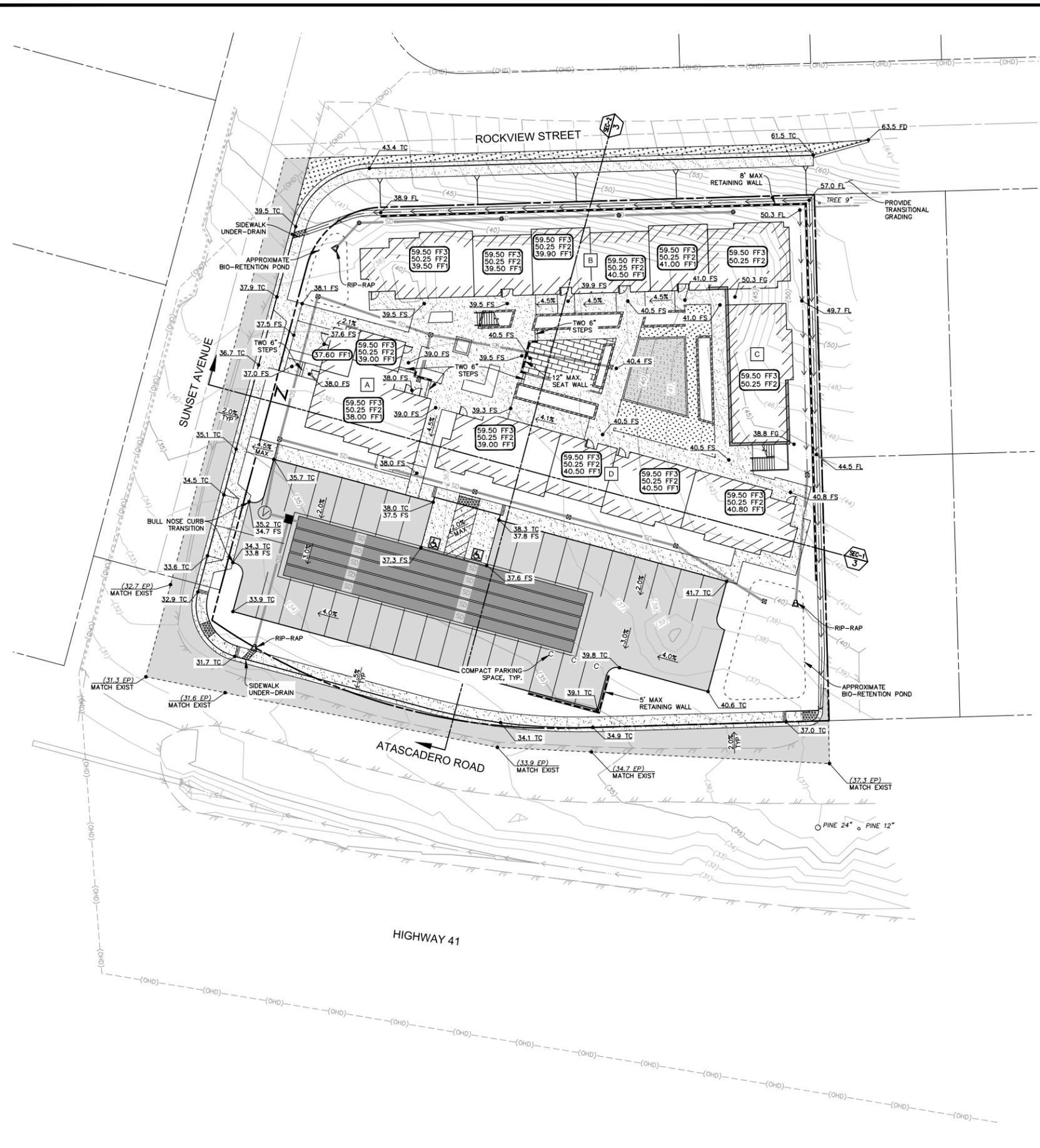
PROPOSED COLOR & MATERIAL BOARD



ADDRESS
 1327 ARCHER ST, SUITE 220
 SAN LUIS OBISPO, CA 93401
 CONTACT
 805.547.2240
 ARRIS-STUDIO.COM
 THOMAS E. JESS
 ARCHITECT #C27608
 STEPHEN A. RIGOR
 ARCHITECT #C33672

MORRO BAY HOUSING
 405 Atascadero Road
 Morro Bay, CA
COLOR & MATERIAL BOARD

Project A19022
 Date OCTOBER 24, 2019
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A5.0



GRADING AND DRAINAGE LEGEND

	BUILDING NUMBER		HYDRODYNAMIC SEPARATOR
	FINISHED FLOOR ELEVATION		STORM DRAIN MANHOLE
	EXISTING GRADE		STORM DRAIN INLETS
	FINISHED GRADE		EXISTING TREE TRUNK & SIZE
	2:1 SLOPE, UON		RETAINING WALL
	DRAINAGE DIRECTION		SCREEN WALL
	EXISTING CONTOUR		PROPOSED BUILDING
	PROPOSED CONTOUR		EXTENDED FOOTING
	STREET LIGHT		CONCRETE
	STORM DRAIN		AGGREGATE BASE
	EXISTING OVERHEAD POWER/TEL		RUBBER PLAY SURFACE
	EXISTING EDGE OF PAVEMENT		SYNTHETIC TURF
	EDGE OF PAVEMENT		HMA PAVEMENT
	EXISTING FENCE		
	RIGHT-OF-WAY		
	PROPERTY LINE		
	EASEMENTS		

SITE STATISTICS - OVERVIEW

TOTAL AREA: 1.20 ACRES (52,272 SQ FT)
 RESIDENTIAL LOT: 1

RECORD OWNER: HOUSING AUTHORITY SAN LUIS OBISPO
 487 LEFF STREET
 SAN LUIS OBISPO, CA 93401
 (805) 543-4478

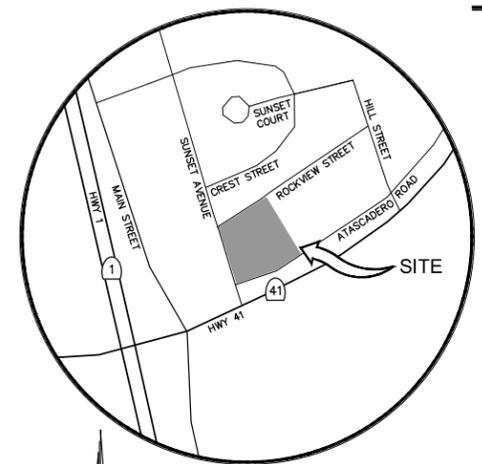
APPLICANT: HOUSING AUTHORITY SAN LUIS OBISPO
 487 LEFF STREET
 SAN LUIS OBISPO, CA 93401
 (805) 543-4478

ENGINEER: NORTH COAST ENGINEERING, INC.
 725 CRESTON RD., STE. B,
 PASO ROBLES, CA 93446
 GREG S. JAEGER
 R.C.E. 58030
 CONTACT: (805) 239-3127

ARCHITECT: ARRIS STUDIO ARCHITECTS
 1327 ARCHER ST, SUITE 220
 SAN LUIS OBISPO, CA 93401
 (805) 547-2240

A.P.N.: 068-323-034, 068-323-036, 068-323-036

PROPOSED USE OF PROPERTY: RESIDENTIAL

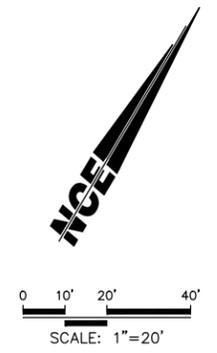


LOCATION MAP
NO SCALE

SHEET INDEX

1. PRELIMINARY GRADING & DRAINAGE PLAN
2. PRELIMINARY UNDERGROUND PLAN
3. SITE CROSS SECTIONS

PRELIMINARY EARTHWORK		
AREA OF DISTURBANCE	ACRES	1.20
MAX DEPTH CUT	FT	10.4
MAX DEPTH FILL	FT	10.2
EARTHWORK QUANTITY:		
CUT	CU YD	863
FILL	CU YD	2433

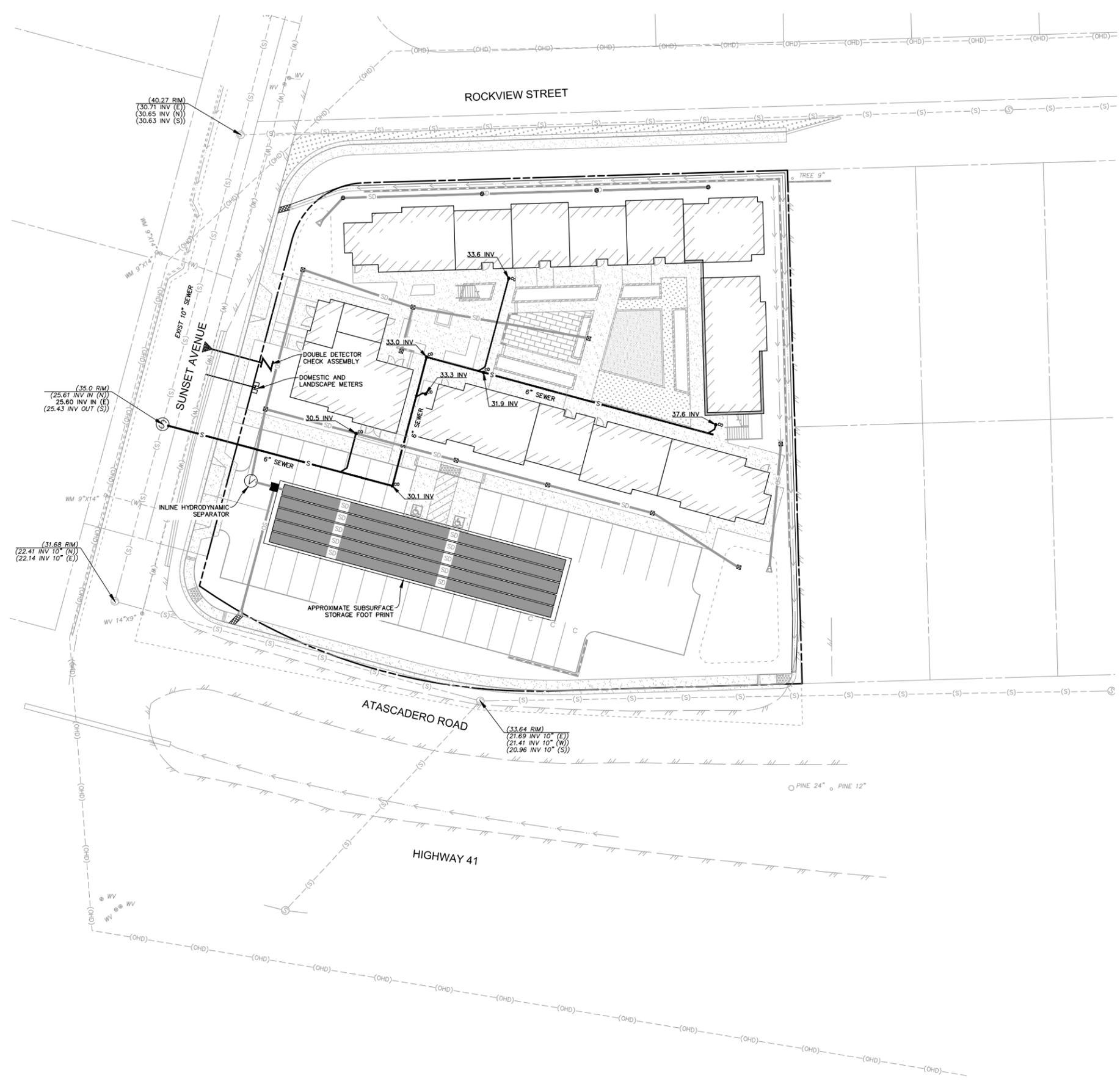


MORRO BAY HOUSING PRELIMINARY GRADING AND DRAINAGE PLAN

IN THE CITY OF MORRO BAY, COUNTY OF SAN LUIS OBISPO, STATE OF CALIFORNIA
 BEING LOTS 9-11, 19, & 20 OF TRACT NO. 52, MORRO GARDEN FARMS, UNIT NO. 2, ACCORDING TO THE MAP RECORDED IN BOOK 5 OF PARCEL MAPS, AT PAGE 71 AND PARCEL 1 & 2 OF DOC. #2005-016496 IN THE OFFICE OF THE COUNTY RECORDER OF SAID COUNTY.

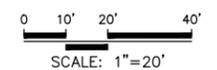
725 CRESTON ROAD, SUITE B
 PASO ROBLES, CA
 805.239.3127

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PRELIMINARY UTILITY LEGEND

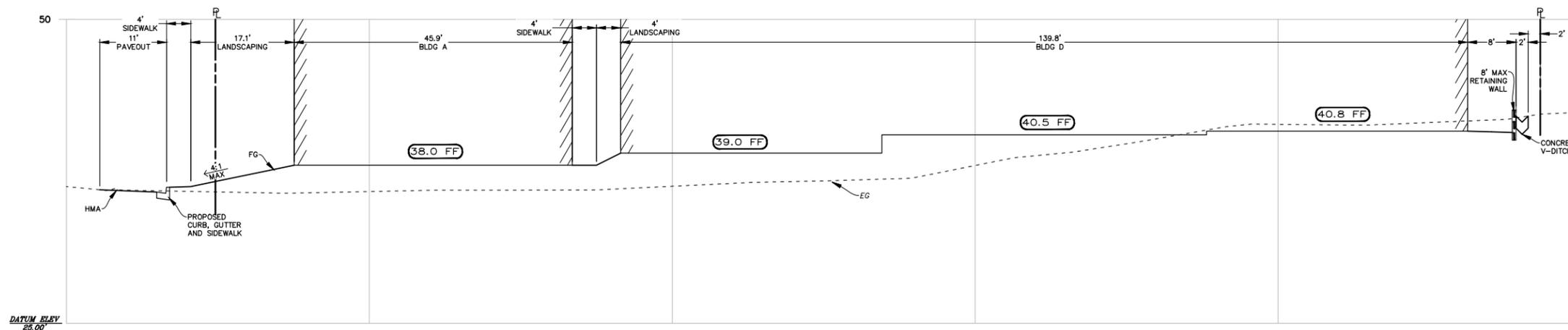
710.0 FF	FINISHED FLOOR ELEVATION	S	SEWER LINE
⊗	STREET LIGHT	-(S)-	EXISTING SEWER LINE
⊕	FIRE HYDRANT ASSEMBLY	W	WATER LINE
⊙	WATER VALVE	-(W)-	EXISTING WATER LINE
⊙	SANITARY SEWER CLEANOUT	SD	STORMDRAIN
⊙	SEWER LATERAL (4" AT 2% MIN)	-(SD)-	EXISTING STORMDRAIN
N	DOUBLE DETECTOR CHECK VALVE	G	GAS LINE
6	WATER SERVICE MANIFOLD (NUMBER OF METERS NOTED)	-(G)-	EXISTING GAS LINE
⊕	FIRE DEPARTMENT CONNECTION	-(OHD)-	EXISTING OVERHEAD POWER/TEL
⊙	POST INDICATOR VALVE	///	EXISTING EP
⊙	SEWER MANHOLE	-X-X-X-	EXISTING FENCE
⊙	STORMDRAIN MANHOLE	---	RIGHT-OF-WAY
⊙	HYDRODYNAMIC SEPARATOR	---	PROPERTY LINE
⊙	STORMDRAIN INLETS	---	EASEMENTS
⊙	DRAIN INLET WITH GRATE ABOVE FLOWLINE TO PROMOTE DETENTION.	---	RETAINING WALL
24" OAK	EXISTING TREE TRUNK & SIZE		



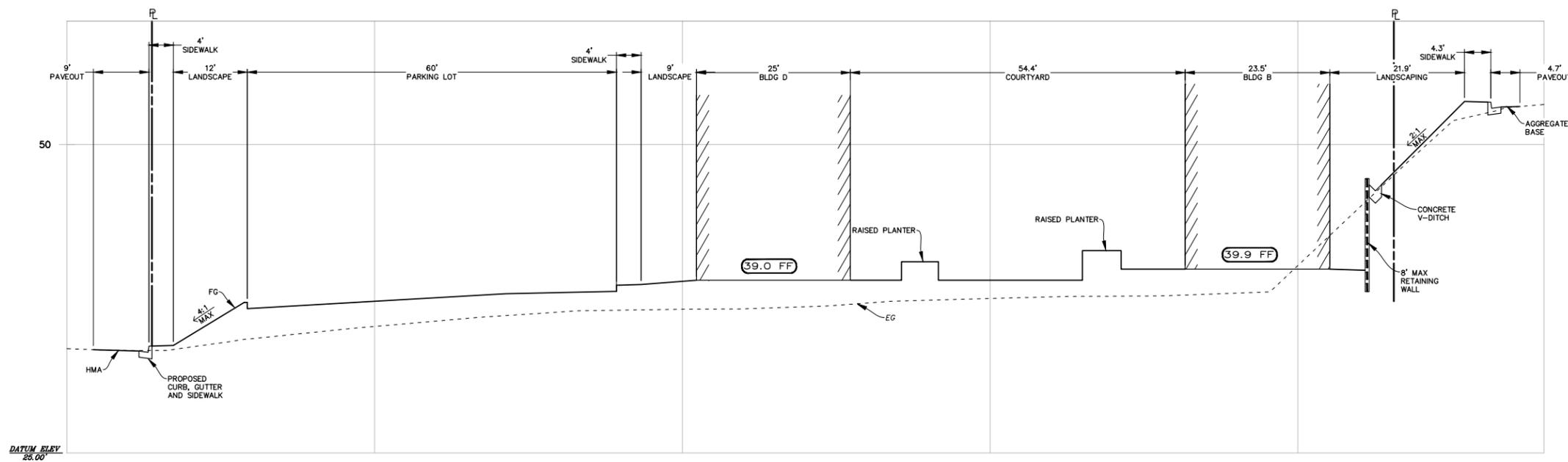
**MORRO BAY HOUSING
PRELIMINARY UNDERGROUND
PLAN**

IN THE CITY OF MORRO BAY, COUNTY OF SAN LUIS OBISPO, STATE OF CALIFORNIA BEING LOTS 9-11, 19, & 20 OF TRACT NO. 52, MORRO GARDEN FARMS, UNIT NO. 2, ACCORDING TO THE MAP RECORDED IN BOOK 5 OF PARCEL MAPS, AT PAGE 71 AND PARCEL 1 & 2 OF DOC. #2005-016496 IN THE OFFICE OF THE COUNTY RECORDER OF SAID COUNTY.

725 CRESTON ROAD, SUITE B
PASO ROBLES, CA
805.239.3127



SEC-1 SITE CROSS SECTION
 VERTICAL: 1" = 5
 HORIZONTAL: 1" = 10



SEC-2 SITE CROSS SECTION
 VERTICAL: 1" = 5
 HORIZONTAL: 1" = 10

MORRO BAY HOUSING SITE CROSS SECTIONS

IN THE CITY OF MORRO BAY, COUNTY OF SAN LUIS OBISPO, STATE OF CALIFORNIA BEING LOTS 9-11, 19, & 20 OF TRACT NO. 52, MORRO GARDEN FARMS, UNIT NO. 2, ACCORDING TO THE MAP RECORDED IN BOOK 5 OF PARCEL MAPS, AT PAGE 71 AND PARCEL 1 & 2 OF DOC. #2005-016496 IN THE OFFICE OF THE COUNTY RECORDER OF SAID COUNTY.

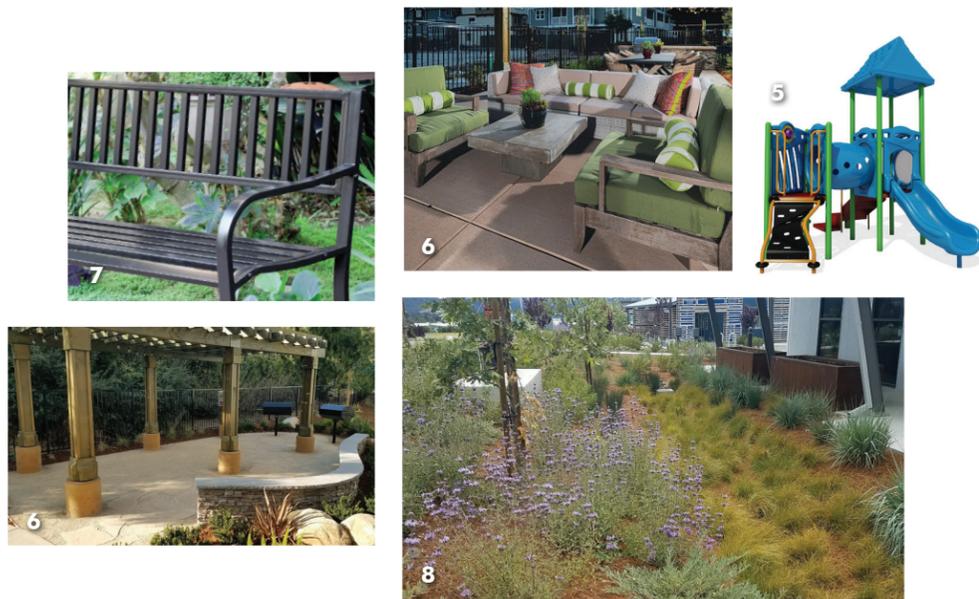
725 CRESTON ROAD, SUITE B
 PASO ROBLES, CA
 805.239.3127

NCE
 NORTH COAST ENGINEERING

KEYNOTE LEGEND #

- 1 18" TALL RAISED PLANTER WITH DROUGHT-TOLERANT PLANT MATERIAL
- 2 SLOPE PLANTING WITH STREET TREES
- 3 DECORATIVE PAVING AT COURTYARD
- 4 ARTIFICIAL TURF PLAY AREA
- 5 CHILD'S (2-5 Y.O.) PLAY STRUCTURE
- 6 LOUNGE AND DINING PATIO WITH WOODEN PERGOLA
- 7 PEDESTRIAN PLAZA WITH BENCH SEATING
- 8 STORMWATER BASIN WITH NATIVE VEGETATION AND BOULDERS
- 9 CITY-APPROVED STREET TREES
- 10 EVERGREEN SCREENING TREES

PROPOSED LANDSCAPE ELEMENTS



CONCEPT NOTES

1. PLANT MATERIAL WAS CHOSEN FOR ITS COMPATABILITY WITH THE MACRO/MICROCLIMATIC CONDITIONS OF THE REGION AND SITE; TOLERANCE OF WIND; TOLERANCE OF DROUGHT CONDITIONS; LONGEVITY; SCREENING CAPABILITIES; AND OVERALL ATTRACTIVENESS.
2. IRRIGATION SYSTEM SHALL BE DESIGNED FOR MAXIMUM WATER EFFICIENCY AND SHALL INCLUDE AN AUTOMATIC CONTROLLER, BACKFLOW PREVENTION DEVICE, AND LOW-GALLONAGE HEADS FOR TURF AND LARGE GROUND COVER AREAS. A DRIP-TYPE SYSTEM SHALL BE USED WHERE APPROPRIATE. TREES SHALL BE IRRIGATED ON SEPARATE BUBBLER SYSTEMS.
3. PLANT MATERIAL QUANTITIES, NARRATIVE SPECIFICATIONS, SITE DETAILS, AND MATERIAL DEFINITIONS WILL BE DETERMINED AND NOTED ON THE CONSTRUCTION DRAWINGS.



PRELIMINARY PLANT LIST

	TREES	SIZE (H X W)	CONTAINER	WUCOLS*	NOTES
A	AGONIS FLEXUOSA / PEPPERMINT TREE	30' X 20'	24" BOX	L	EVERGREEN, WILLOW-LIKE
B	ARBUTUS 'MARINA' / STRAWBERRY TREE	15' X 15'	24" BOX	L	PEELING BARK, EVERGREEN
C	CHAMAEROPS HUMILIS / MEDITERRANEAN FAN PALM	10' X 10'	15 GAL	L	SILVERY, WAXY LEAVES
D	MELALEUCA QUINQUENERVIA / CAJEPUT TREE	30' X 20'	24" BOX	L	EVERGREEN, PEELING BARK
E	METROSIDEROS EXCELSA / N. ZEALAND CHRISTMAS TREE	40' X 30'	24" BOX	L	RED BLOOMS
F	OLEA EUROPAEA 'SWAN HILL' / FRUITLESS OLIVE	20' X 20'	48" BOX	L	EVERGREEN, SILVER FOLIAGE
SHRUBS					
G	CISTUS X PURPUREUS / ORCHID ROCKROSE	5' X 5'	5 GAL	L	PURPLISH-PINK FLOWERS
H	LEUCOSPERMUM CORD. 'YELLOW BIRD' / PINCUSHION	5' X 5'	5 GAL	L	YELLOW DOME FLOWERS
I	LEUCADENDRON 'SAFARI SUNSET' / CONEBUSH	5' X 5'	5 GAL	L	RED, GREEN FOLIAGE
J	WESTRINGIA 'MORNING LIGHT' / COAST ROSEMARY	3' X 3'	5 GAL	L	CREAM VARIATION
K	YUCCA FIL. 'COLOR GUARD' / ADAM'S NEEDLE	3' X 3'	5 GAL	L	YELLOW-GREEN LEAVES
SUCCULENTS					
L	AGAVE ATTENUATA / FOXTAIL AGAVE	3' X 3'	5 GAL	L	SMOOTH GREEN ROSETTES
M	ALOE STRIATA / CORAL ALOE	3' X 2'	5 GAL	L	ORANGE BLOOMS
N	EUPHORBIA TIRUCALLI 'STICKS ON FIRE' / FIRE STICKS	3' X 5'	5 GAL	L	BRIGHT, PENCIL-LIKE STEMS
PERENNIALS					
O	ACHILLEA MILLEFOLIUM 'MOONSHINE' / YARROW	2' X 1'	1 GAL	L	YELLOW FLOWERS
P	BULBINE FRUTESCENS 'HALLMARK' / BULBINE	2' X 4'	1 GAL	L	ORANGE FLOWERS
Q	KNIPHOFIA UVARIA / RED HOT POKER	3' X 2'	1 GAL	L	ORANGE STALKS
R	LAVANDULA ANGUSTIFOLIA / ENGLISH LAVENDER	2' X 2'	1 GAL	L	AROMATIC
GROUNDCOVER					
S	FESTUCA GLAUCA 'ELIJAH BLUE' / BLUE FESCUE	1' X 1'	1 GAL	L	BLUE-GRAY FOLIAGE
T	GREVILLEA LAN. 'COASTAL GEM' / WOOLLY GREVILLEA	1' X 4'	1 GAL	L	PINK SPIDER-LIKE FLOWERS
U	JUNIPERUS CONFERTA 'EMERALD SEA' / SHORE JUNIPER	1' X 5'	1 GAL	L	CONIFER, EVERGREEN
V	SENECIO MANDRALISCAE / BLUE CHALKSTICKS	1' X 5'	1 GAL	L	BLUE, PENCIL-LIKE LEAVES

*WUCOLS (WATER USE CLASSIFICATIONS OF LANDSCAPE SPECIES) IS A GUIDE TO HELP IDENTIFY IRRIGATION WATER NEEDS OF PLANT SPECIES. DEVELOPED BY THE UNIVERSITY OF CALIFORNIA COOPERATIVE EXTENSION, CALIFORNIA DEPARTMENT OF WATER RESOURCES, 2000.

WATER CONSERVATION STATEMENT

THE CONCEPTUAL LANDSCAPE PLAN, CONCURRENT WITH THE PLANTING AND IRRIGATION CONSTRUCTION DOCUMENTS, PLAN INSTALLATION, RELATED SPECIFICATIONS AND NOTES, QUALIFIES THIS PROJECT AS ONE WHICH EMBRACES THE FOLLOWING CURRENT WATER CONSERVATION TECHNOLOGY AND METHODOLOGIES:

1. UTILIZATION OF STATE OF THE ART IRRIGATION CONTROLLER(S) ALLOWING FOR PRECISION INCREMENTAL WATER SCHEDULING IN ALL HYDROZONES.
2. USE OF DRIP-TYPE AND/OR MICROSPRAY SYSTEMS ONLY.
3. INTEGRATED PLANT DESIGN. PLANT PALETTES HAVE BEEN FORMED TO REFLECT PARALLEL WATERING REQUIREMENTS WITHIN EACH HYDROZONE GROUP.
4. PLANTS INSTALLED WITH MOISTURE RETENTIVE SOIL AMENDMENTS, ENABLING STRONG ROOT AND PLANT GROWTH, WITH THE USE OF LESS WATER.
5. 2" DEEP MULCHING OF ALL PLANT BASINS AND PLANTING AREAS, INHIBITING EVAPORATION.
6. USE OF LOW WATER USE PLANTS.





AGENDA NO: B-3

MEETING DATE: November 5, 2019

Staff Report

TO: Planning Commissioners

DATE: October 29, 2019

FROM: Cindy Jacinth, Senior Planner

SUBJECT: 833 Embarcadero Road: Precise Plan approval (#CUP19-11) of Conditional Use Permit for demolition of 6,687sf two-story visitor-serving building and new construction of 7,994sf two-story 25-foot tall building to include ground floor retail and restaurant uses, with 8 boutique hotel rooms on the second floor, replace existing side-tie dock and gangway, piling replacements, and public access improvements including new Harborwalk access and redesigned view corridor. The project is located in the WF/PD/S.4 zoning district and is subject to the Waterfront Master Plan. The project site is located in the original jurisdiction of the California Coastal Commission (CDP #3-19-0011).

RECOMMENDATION:

CONDITIONALLY APPROVE THE PROJECT by adopting a motion including the following action(s):

Adopt Planning Commission Resolution 28-19 which includes the Findings and Conditions of Approval for the project depicted on site development plans dated September 1, 2019 (Exhibit D).

APPLICANT/AGENT: TLC Family Enterprises, Applicant / Chris Parker, CP Parker Architect, Agent

LEGAL DESCRIPTION/APN: City lease sites 87/88 and 87W/88W / APN: 066-322-001

PROJECT SUMMARY: The Applicant is seeking Precise Plan (#CUP19-11) Conditional Use Permit approval for demolition of 6,687sf two-story visitor-serving building at 833 Embarcadero. Project proposes to then construct a new 7,994sf two-story 25-foot tall building to include ground floor retail and restaurant uses, with 8 boutique hotel rooms on the second floor. Anticipated uses and associated square footages include 1,565sf of retail space, 262sf frozen yogurt space, and a combined 2,072sf of restaurant, bar, and kitchen area. The hotel room sizes will vary between 248 to 449 square feet. The project also proposes to replace the existing side-tie dock and gangway and relocate it 2.5 feet north and 11.5 feet west to support the new Harborwalk as well as provide for gangway access on the lease site where it is now accessed from the lease site to the north. (Planning condition 5 has been added to ensure

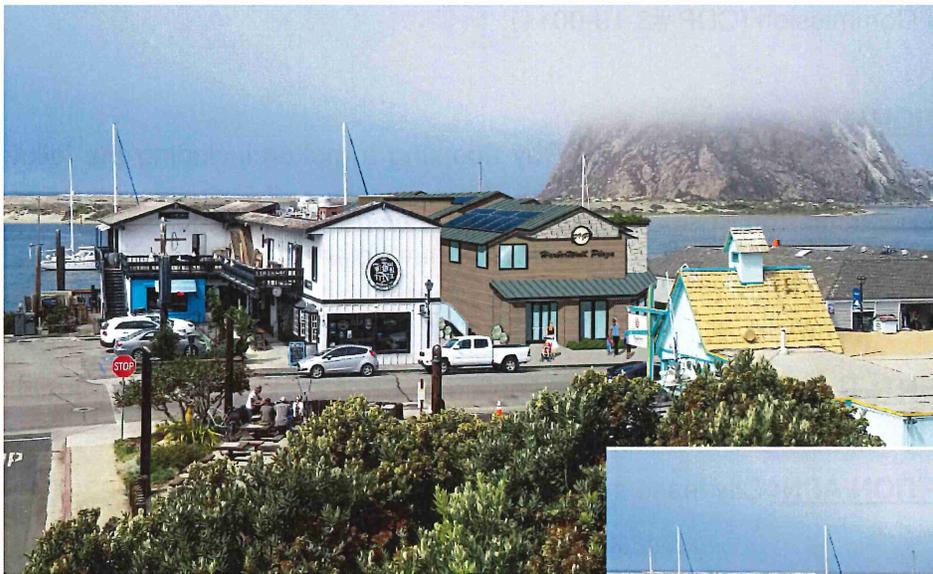
Prepared By: CJ

Department Review: SG

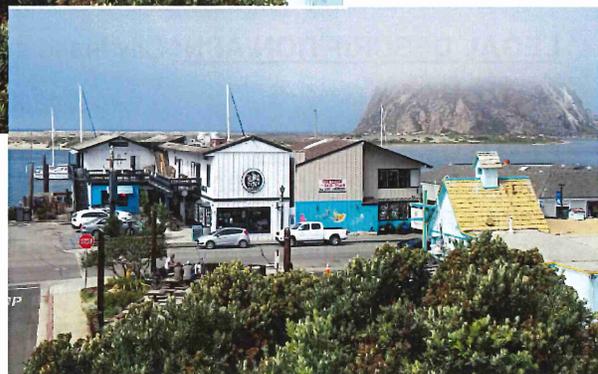
pursuant to the DWSP that consistent materials for the dock are used). The project also includes removal of 9 existing wood piles and replacement with 9 new steel or concrete piles; public access improvements including extension of bayside Harborwalk connecting it with the Boatyard lease site to the north, , new 180sf of outdoor public seating along the Harborwalk and 287sf of outdoor public seating adjacent to the restaurant, 3 public restrooms, redesigned children's play area as public benefit. No change in use to the existing side-tie dock is proposed. The project is located in the WF/PD/S.4 zoning district and is subject to the Waterfront Master Plan. The project site is located in the original jurisdiction of the California Coastal Commission (CDP #3-19-0011).

PROJECT SETTING:

The location is a City lease site (87/88/ 87W/88W) which is occupied with a two-story visitor-serving commercial building previously known as "Off the Hook". The new project is titled Harborwalk Plaza.



Proposed Structure



Existing Structure

**HARBORWALK
PLAZA**

RETAIL, RESTAURANT, HOTEL

FOR

**LEASE SITE
87-88 / 87W-88W**

TLC FAMILY ENTERPRISES
TRAVIS LEAGE & CHERISE HANSSON
665 KINGS AVENUE
MORRO BAY, CA 93442

Adjacent Zoning/Land Use			
North:	Waterfront (WF/PD, S.4) / visitor-serving retail uses	South:	Waterfront (WF/PD, S.4) visitor-serving retail uses
East:	Commercial Visitor-Serving(C-VS, PD/S.4), Commercial, Centennial Plaza, giant Chessboard	West:	Harbor

Site Characteristics	
Overall Site Area	Approximately 10,700 sf
Existing Use	City land and water lease – Existing use is visitor-serving commercial on first floor. The existing second floor is office space. On the water lease is an existing side-tie dock system.
Terrain	Land portion previously developed and paved surface
Vegetation/Wildlife	An eelgrass survey was performed on October 17, 2014 which did not find any eelgrass growing in the proposed project area. Previous survey performed in 2006 also did not find evidence of eelgrass.
Access	Embarcadero
Archaeological Resources	No known resources.

Development Standards	
<u>Setbacks:</u> Front Side Rear	Front setback is average of 5' for first floor and 10' setback at second floor. Rear setback is 0 feet. Side setback to south of building is 5'10" and north is approx. 30'. 10 foot setback required for waterside lateral access. Project provides 10 foot waterside lateral access and is compliant with all setbacks
Sloping Roof requirement minimum 80% at 4:12	Two-story roof-top area: 4,178sf. 89% of roof area (3,379sf) at 4:12 pitch. Project complies with roof requirement
Height maximum; 25 feet only with finding of significant public benefit	Project proposed 25 feet tall and lists several public benefits. See project discussion section.
View Corridor requirement is 30% of lease site	Lease site is 75 feet wide which equals view corridor requirement of 22.5 feet. Public plaza on south side of building meets this requirement. Tables, benches, seating, and play area within this view corridor area limited to 30

	inches maximum in height per the Waterfront Master Plan.
Sloping Roof, 4 in 12 for 80%	Existing roofline. Proposed rear addition 4 in 12 on northwest and 4 in 12 shed roof on southwest.. New flat roof addition area is 18%
Lot Coverage – 1 st floor 70% max. of land portion. 2nd floor is 70% of allowable first floor coverage.	Proposed lot coverage is 70% 2nd floor proposed lot coverage is 70% of proposed first floor.

General Plan, Zoning Ordinance & Local Coastal Plan Designations	
General Plan/Coastal Plan Land Use Designation	Visitor-serving commercial uses
Base Zone District	WF, Waterfront Zoning district
Coastal Land Use Plan	Planning Area 6 - Bayfront
Zoning Overlay District	PD, Planned Development overlay (required to also obtain City Council approval of Concept Plan)
Special Treatment Area	S.4
Combining District/Spec. Plan	N/A
Coastal Zone	Coastal Commission original jurisdiction. Applicant required to obtain Coastal Development permit from Coastal Commission prior to issuance of any building permit.
Parking Requirements (MBMC 17.44): Restaurant dining: 1 space/60 sf Outdoor dining (front): 1 space/120 sf Hotel: 1 space/1 room plus 1 space for each group of 10 rooms Side-tie dock: 1 space per 35' of boat tie-down area	Historic parking credit of 58 spaces per City records. Parking demand for retail, restaurant, outdoor dining, frozen yogurt customer area, children's play area, side-tie boat dock, and hotel uses equals 52 parking spaces. Project complies with parking requirements.
View Corridor Requirement & Significant Public Benefit Finding	The lease site is 75 feet wide which requires a 30% view corridor requirement and a finding of significant public benefit to allow an increase in height up to 25 feet. See public benefit discussion below.

PROJECT BACKGROUND:

Pursuant to the City's Planned Development Overlay requirements (MBMC 17.40.030), projects along the Embarcadero require both a Concept and Precise Plan Conditional Use Permit. The Planning Commission reviewed the Concept Plan (#UP0-509) during a public hearing on August 21, 2018 and forwarded a favorable recommendation to the City Council. The City Council then reviewed and approved the Concept Plan CUP at a public hearing on October 9, 2018.

The Coastal Commission then reviewed and approved a coastal development permit (CDP#3-19-0011) for the project on May 8, 2019. Coastal Commission conditions added to the project are listed on Plan sheet A1.3. In addition to the standard conditions of approval for a commercial project, the project is also subject to annual monitoring report for provision of low-cost hotel units as is required under the Coastal Act, as well as the City's LCP Policy 2.07 regarding low-cost visitor-serving accommodations. For this project the Applicant has proposed 1 and 2/3 lower-cost rooms to offset impacts of higher-cost rooms. This means that one room would be low cost (less than or equal to the area's low-cost threshold) year round and a second room would be offered at low cost rates for eight out of the twelve months in a year. The methodology for this calculation is explained in further detail in the Coastal Commission staff report linked at the end of this staff report.

PROJECT DISCUSSION:

At the August 21, 2018 Planning Commission meeting, the Planning Commission added two conditions (Exhibit A). Applicant's precise plan submittal response follows in bullet formatting:

Planning Commission condition 19 requires that the outdoor table area "...be delineated with differential paving material in order to distinguish between public and private seating areas. The outdoor tables shall be delineated at both the west side of the building adjacent to the 10 foot width of Harborwalk as well as the proposed tables at the northwest corner of the building adjacent to the view corridor which has a required width of 22.5 feet."

- Plan sheet A2.1 denotes outdoor seating area delineated with note for fiberglass deck grating with color change at public seating areas. Paver material shown on color and material board also (Exhibit C).

Planning Commission condition 20 states "reduce the depth of the proposed planter adjacent to the street sidewalk to increase sidewalk width. Information to be included on landscape plan to be provided with the Precise Plan submittal."

- Plan revised to narrow front planter by 6 inches in order to increase sidewalk width to 8'6". As shown on Plan sheet A2.1

At the October 9, 2018 City Council meeting, the City Council reviewed the PC recommendations and added four additional conditions which are reflected in the Precise plans (Exhibit D).

City Council condition 21: *No restaurant condiments or table setups shall be allowed at the outdoor public seating location on the west and north sides of the building.*

- Condition is noted on Plan sheet A1.2 (Coastal Commission Condition III.2(e)). This is also addressed through the building permit plan check process.

City Council condition 22: *A 4-8 capacity bike rack shall be installed on the site and placed so as not to impede public pedestrian flow. Location of bike rack shall be identified on plans to be included with the Precise Plan submittal. Brand of bike rack shall be consistent with other City facilities or as otherwise approved by the Community Development Director.*

- Plan sheet A 2.2 shows detail image of proposed 4 capacity bike rack with ocean wave design located on the north side of the building near children's play area

City Council condition 23: *A minimum of three trash cans with self-closing lid or other bird deterrent as approved by the Community Development Director shall be identified on plans to be included with Precise Plan submittal.*

- Plan sheet A2.1 with detail image of proposed self-closing trash lid

City Council condition 24: *Project shall include soft landing material added to the children's play area. Playground protective surfaces shall be installed and maintained per the requirements of the U.S. Consumer Product Safety Commission's Public Playground Safety Handbook: California Health and Safety Code Sections 115725-115750, and ASTM F1292-09; Standard Specification for Impact Attenuation of Surfacing Materials Within the Use Zone of Playground Equipment.*

- Note added to Plan sheet A2.2

Children's Play Area

At the 2018 Planning Commission meeting, the Planning Commission discussed the redesigned play area and expressed concern regarding the look of the redesigned play area. The Applicant has prepared a revised simulation of the view corridor to include the playground area which is shown below. In addition, the precise plans include a proposed play area site plan shown on plan sheet A2.2. The plan depicts 7 children's ride or play structure each no taller than the 30-inch maximum height allowed within the view corridor. The play area is proposed to be bordered by landscaping in potted planters and installed on dura turf bonded rubber surfacing as shown on Plan sheet A2.2. The plan also includes a whimsical shark

head trash container. The playground area is also proposed to be recessed 12 inches with bio-filtration and drains to maintain stormwater.

VIEW CORRIDOR



PROPOSED PROJECT



EXISTING SITE PHOTO

HARBORWALK PLAZA

RETAIL, RESTAURANT, HOTEL

FOR

LEASE SITE
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PRECISE PLAN DETAILS:

Visual Simulations

The Applicant has submitted two new visual simulations, in addition to the Concept Plan simulations, which include a view of the east elevation looking northwest from Embarcadero Road (below on page 7), and a second image which shows a visual simulation of the view corridor and play area looking directly west.

Color & Materials Board

A color and materials board was also provided (Exhibit C) which depicts the proposed exterior finishes for the project. These finishes include hemlock green metal roofing with horizontal Trespa Pura NFC siding, cultured stone on north and east elevations, with a dark bronze for trim and fascia. Bronze flat-bar railing is proposed for the second floor hotel balconies. The Harborwalk is proposed with a stainless cable-rail to match adjoining lease site Harborwalk railing. The project and its proposed materials are consistent with the Concept Plan and provide for architectural character consistent with existing Embarcadero development as well

as adds overall ambiance to the waterfront area.

Lighting Plan

Lighting details are denoted on plan sheet A1.7 which propose slant style downtown facing LED outdoor sconce around the building as well as bollard site lighting for the play area.

Landscaping Plan

Plan sheet A4.1 includes the project's Roof and Landscaping Plan. This plan sheet details the proposed roof-top garden boxes and proposed concrete formed pots utilizing a mix of succulents, and other drought tolerant landscaping such as deer grass, California primrose, seaside daisy, and California fescue plants.



Precise Plan Simulation

Sign Program:

The Applicant's sign program is included on plan sheet A1.6 which depicts an array of wall signs, pub style signs, and 2 wall-mounted suites signs used as building directory signs. Proposed signage locations are shown on plan sheet A3.1 and depict the proposed sign locations visible from all 4 sides of the building; though the majority of signs are located on north and east side of the building. The Applicant is proposing a total of 82 square feet of signage whereas based on the City's sign ordinance the maximum allowance sign square footage would be 99.5 square feet. Maximum sign allowance determination is per MBMC

17.68.110.C1b which establishes a one-to one ratio for each linear foot of building frontage. Pursuant to MBMC 17.68.110.C.8, Frontage and Placement, this allows businesses in a building facing on more than one public right of way to count the full linear building frontage on one street (Embarcadero Road) and half of the linear building frontage on the second frontage. Past City practice has allowed Embarcadero buildings to consider the view corridor as a second public right of way in order to provide an appropriate amount of signage for the multi-tenant spaces within these buildings.

The proposed sign materials consist of wood sign panels with cream colored sign backing. These sign materials are consistent among all proposed sign types. The pub signs are proposed to be mounted with a bronze finish metal sign bracket.

Public coastal access signs are shown on Plan sheet 1.5. They are also denoted on the site plan on Plan sheet A2.1. This includes four categories of signs: public seating signage, public Harborwalk signage, dock access signage, and interpretive public benefit signage.

Public Bathroom Signs

The project proposes three public bathrooms for general public use. Two of these bathrooms have doors on the exterior of the building and are located on the north and south sides of the building (plan sheet A2.1, Exhibit D). The third public bathroom will be accessed from inside of the proposed restaurant. Although the public access plan (sheet A1.5) details all of the public access signage proposed, it does not include a detail for the public bathroom signs. The elevation sheets show proposed public bathroom signs on sheet A3.1 for the exterior bathrooms. In order to ensure the third public bathroom inside the restaurant is available for general public use, a condition of approval has been added which requires submittal of public bathroom sign design and final location to the Community Development Director for review and approval prior to issuance of a building permit (Planning Condition 18).

Construction Plan

Project plans shown the construction plan proposed to minimize construction impacts. The shaded areas on plan sheet A1.4 indicate areas that will be maintained as open to the public area during construction. The view corridor will be closed during construction and will be used as a construction lay-down area with straw wattles used to maintain construction activities and minimize debris. For water-side work, BMPS include installation of floating containment booms in the water to prevent construction debris from entering the bay. As well as silt screens to reduce potential turbidity-associated impacts.

Public Benefit:

The project proposes a number of public benefits in support of the request for increased height to 25 feet as is required by the Planned Development (PD) overlay. As required by the Waterfront Master Plan (WMP) and consistent with the Downtown Waterfront Strategic Plan (DWSP), the project provides a bayside lateral access to the lease site to the north, in the form of a pedestrian walkway, where none currently exist. As public benefit, the project

expands upon the bayside lateral access by providing a 180sf outdoor bayside public seating area between the Harborwalk and the building, ecological exhibits for public education, energy feature exhibits, a view-finder/telescope along the Harborwalk for enhanced bay and Rock views, a redesigned and upgraded children's play area, as well as three public restrooms.

In addition, the project proposes seeking LEED certification which would include multiple green features comprised of roof-top solar, roof top garden boxes with succulent, rain-water collection/re-use system, grey-water collection/re-use with dual piping for collection and re-use, LED smart lighting systems, and solar shading over west facing glass to reduce energy use along with fire-resistant canvas awnings.

Downtown Waterfront Strategic Plan (DWSP)

The project is consistent with the Waterfront Specific Design Guidelines in the DWSP as noted by category below with guidelines paraphrased:

Buildings: Guidelines state building massing and design should be guided by objective of avoiding walling-off public visual access to the water from the Embarcadero.

- This project redesigns the view corridor and overall public views are improved through the site through project implementation and the view corridor is widened consistent with the Waterfront Master Plan.

Character-Defining Elements and Architectural Quality: Guidelines state features of nautical/fishing village style should be perpetuated such as horizontal and boat-shaped forms and elements; preferred siding types include ship lap, board and batten, corrugated metal; muted, seaside colors; simple or rustic detailing; walkways and other pedestrian areas should be surfaced with pressure-treated wood, brick, pavers, or stamped concrete.

- Project proposes horizontal trespa pura siding, with cultured stone architectural elements, and muted colors. Project laid out in style that is in scale with the pedestrian orientation of the waterfront.

Design Materials: Guidelines state materials used in development of waterfront access paths should be uniform in design and relate to the surrounding areas to create lateral continuity. Recommended railing should be made mostly of metal and provide a high level of transparency.

- Project proposes Harborwalk railing to be stainless cable railing to match materials of adjacent lease site. This material provides a high level of transparency for views through the railing. Planning condition 5 has been added to Exhibit A which would require that the dock material be revised to be composite decking material and remove

the two foot of fiberglass decking shown on the site plan (plan sheet A2.1) in order to be consistent with the DWSP design guidelines unless otherwise required by the preconstruction eelgrass survey and the California Eelgrass Mitigation Policy (CEMP).

Connectivity: Guidelines state open view corridors should be incorporated into the design of new structures on the west side of the Embarcadero to enhance overall visual access to the water. Encourage buildings or shops to provide direct pedestrian access to the bay/harbor. Provide lateral bayside access extending the full width of the site. Lateral access should connect seamlessly and directly to lateral waterfront access and/or public viewing platforms on adjacent sites.

- Project proposes open view corridors; increases direct pedestrian access to the bay. Project provides 10 foot lateral bayside access across the full width of the site where none currently exists. In addition, project proposes 180sf of outdoor public seating in area between Harborwalk lateral access and the new building.

Commercial Signage: Guidelines state nautical design theme is encouraged for commercial signage with shapes reminiscent of nautical elements.

- Proposed signage utilizes a cut metal lettering with a brush “cursive” script consistent in style with commercial signage depicted in DWSP. Children’s play area although not commercial signage is designed with a nautical theme.

Public Signage and Wayfinding: Sculptural and artistic gateway elements are encouraged at key entries into the waterfront area. Guidelines state Coastal Commission-approved signage should be used throughout the project.

- Project includes sign plan with approved Coastal Commission public access signage as shown on plan sheet A1.5. Project also includes expanded children’s play area with sculptural-style nautical themed whimsical children’s play equipment.

Public Street Furnishings: Guidelines state type, design, and materials of street furnishing in the Embarcadero should reference Morro Bay’s heritage as a fishing community ...and through the artistic incorporation of shapes, images and themes from the waterfront and commercial fishing industry. Such marine materials should be employed with creativity and originality. Guidelines state appropriate signage, benches, and overlook platforms along and near the lateral accessways should create a network of outdoor spaces to enjoy and appreciate views of the bay. Pedestrian comfort should be enhanced with amenities such as public restrooms, bicycle racks, etc.

- Children’s redesigned play area includes enhanced amenities such as benches, whimsical shark head trash container, wave style bicycle rack. Project includes 3

public restrooms. Both the 180sf outdoor public seating area along the Harborwalk and the children's play area creates an outdoor space to socialize, enjoy natural serenity, and appreciate views of the bay.

Lighting: Guidelines state waterfront should be well lit to encourage safety and comfort; but must be dark sky-compliance with downcast, shielded, diffused or indirect features to avoid glare. Appropriate lighting along the coast should be both functional and decorative.

- Project proposes a lighting plan on plan sheet A1.7 with downcast, shielded lighting fixtures. Lighting proposed is appropriate for size of building and the mix of proposed indoor and outdoor uses.

ENVIRONMENTAL:

Best management practices (BMPs) have been incorporated into project conditions as reviewed with the concept CUP. No project changes have occurred with the Precise Plan project from the Concept approval that would create additional environmental impacts or change the previous CEQA determination for the project. As determined with the Concept review and as conditioned (Planning conditions 12-17) the project would be eligible for a categorical exemption under CEQA, Section 15302, Class 2b where under replacement or reconstruction of commercial structure with a new structure of substantially the same size, purpose, and capacity is allowed for which the proposed Harborwalk Plaza project would qualify for an exemption. In addition, none of the exceptions found in CEQA Section 15300.2 apply to this project.

PUBLIC NOTICE:

Notice of a public hearing on this item was posted at the site and published in the Tribune newspaper on October 25, 2019, and mailed directly to all property owners and occupants of record within 500 feet of the subject site. The notices invited the public to attend the hearing and express any concerns they may have regarding the proposed project.

CONCLUSION:

The proposed project would demolish and reconstruct an existing underutilized two story waterfront commercial building and replace with a new two-story building known as the Harborwalk Plaza. The new Harborwalk Plaza is proposed to provide for an invigoration of this lease site by offering new restaurant, bar, and retail space constructed on the ground floor, along with 8 boutique hotel units on the second floor which will replace existing 2nd floor office space. In addition, the project will provide an important extension/connection to the City's Harborwalk by installing a new 10foot wide section of bayside lateral access between the neighboring lease sites from the north and south, educational and ecological exhibits, and viewfinder/periscope along the Harborwalk. New public access amenities include outdoor public seating, a remodeled view corridor area which includes removal of current view blockages such as the electrical box, and covered patio in the existing view corridor. The

remodeled view corridor also proposes an expanded children's play area offering expanded recreational amenities for visitors. The expanded children's play area is also consistent with the DWSP which encourages development of outdoor family-oriented entertainment activities and identified a lack of sufficient entertainment for people of all ages.

With the removal of the rear outdoor dining area, bay views will be opened up through the view corridor. The proposed height of the building would be 25 feet which is allowed in the Waterfront Master Plan with a finding of significant public benefit via the planned development overlay (MBMC 17.40.030). As evaluated with the concept plan CUP, the project as proposed does not diminish or detract from existing public views of the water or of Morro Rock. The project as proposed meets development standards, improves views through the site and provides an interesting and varied design consistent with the DWSP that will enhance visitor and pedestrian experience in that it creates the required bayside lateral access as well as provides for a new source of lodging accommodations which is conditioned accordingly.

The project as proposed will invigorate the lease site by providing for a new mix of uses including retail, restaurant, food vendors, and second floor hotel lodging. In addition, it greatly increases coastal public access by providing Harborwalk bayside lateral access and vertical coastal access which meets City goals in the Waterfront Master Plan and will add to the ambiance of the waterfront area. It is consistent with the City's General Plan and Local Coastal Program (LCP) and goals of the Downtown Waterfront Strategic Plan. Furthermore, as described in the staff report and project plans, the PC can make the finding that the Precise Plan project is in substantial conformance with the Concept Plan approval by City Council. Therefore, with the incorporation of recommended conditions, staff recommends that Planning Commission conditionally approve the project.

EXHIBITS:

Exhibit A – Planning Commission Resolution 28-19

Exhibit B – Photo simulations

Exhibit C - Color and Materials Board.

Exhibit D – Plans/ Reductions dated September 1, 2019

Online links to previous staff reports:

August 21, 2018 Planning Commission Concept Plan staff report

<http://morrobayca.gov/ArchiveCenter/ViewFile/Item/4724>

October 9, 2018 City Council Concept Plan staff report

<http://morrobayca.gov/ArchiveCenter/ViewFile/Item/4777>

May 8, 2019 Coastal Commission staff report

<https://documents.coastal.ca.gov/reports/2019/5/W23a/w23a-5-2019-report.pdf>

RESOLUTION NO. PC 28-19

A RESOLUTION OF THE MORRO BAY PLANNING COMMISSION FOR PRECISE PLAN
 APPROVAL OF CONDITIONAL USE PERMIT (#CUP19-11) FOR DEMOLITION AND
 RECONSTRUCTION OF TWO-STORY BUILDING WITH 8 UNIT BOUTIQUE HOTEL,
 RESTAURANT, RETAIL, PUBLIC ACCESS IMPROVEMENTS, INCLUDING CHILDREN'S
 COURTYARD PLAY AREA AND RECONSTRUCTION OF NEW SIDE-TIE DOCK
 SYSTEM AND GANGWAY,
 AT 833 EMBARCADERO, HARBORWALK PLAZA

WHEREAS, the Planning Commission of the City of Morro Bay conducted a public hearing at the Morro Bay Veteran's Hall, 209 Surf Street, Morro Bay, California, on August 21, 2018, for the purpose of considering Concept Plan approval of Conditional Use Permit #UP0-509 and adopted PC Resolution 25-18 to forward a favorable recommendation with conditions to the City Council for Concept Plan approval; and

WHEREAS, the City Council conducted a public hearing at the Morro Bay Veteran's Hall, 209 Surf Street, Morro Bay, California, on October 9, 2018, pursuant to the Planned Development regulations (Morro Bay Municipal Code (MBMC) section 17.40.030), and accepted the Planning Commission recommendation for approval of Concept Plan #UP0-509; and

WHEREAS, the Planning Commission of the City of Morro Bay conducted a public hearing at the Morro Bay Veteran's Hall, 209 Surf Street, Morro Bay, California, on November 5, 2019, for the purpose of considering a Precise Plan approval of Conditional Use Permit #CUP 19-11.

WHEREAS, notices of said public hearing were made at the time and in the manner required by law; and

WHEREAS, the Planning Commission has duly considered all evidence, including the testimony of the applicant, interested parties, and the evaluation and recommendations by staff, presented at said hearing.

NOW, THEREFORE, BE IT RESOLVED by the Planning Commission of the City of Morro Bay as follows:

Section 1: Findings. Based upon all the evidence, the Commission makes the following findings:

California Environmental Quality Act (CEQA)

- A. That for purposes of the California Environmental Quality Act, Case No. CUP19-11 is categorically exempt under Section 15302, Class 2b where under replacement of reconstruction of commercial structure with a new structure of substantially the same, size, purpose, and capacity is allowed for which the proposed Harborwalk Plaza project would qualify for an exemption. In addition, an eelgrass survey was performed on October 17, 2014 which found no eelgrass growing in the proposed waterfront project area. The project will be subject to marine mammal monitoring during construction with implementation of best management practices (BMPs) as conditioned by Planning conditions 12-17. Additionally, none of the Categorical Exemption exceptions, noted under section 15300.2, apply to the project.

Conditional Use Permit Findings

- A. The project will not be detrimental to the health, safety, morals, comfort and general welfare of the persons residing or working in the neighborhood in that demolition/reconstruction of mixed use two story building of 8 hotel units and ground floor retail, and restaurant uses with reconstructed dock system at 833 Embarcadero are permitted uses within the zoning district and said structures comply with all applicable project conditions and City regulations and is consistent with the City's Local Coastal Program. In addition, as shown on project plans
- B. The project will not be injurious or detrimental to property and improvements in the neighborhood and the general welfare of the City in that the proposed hotel use, new restaurant, retail, and children's outdoor play area along with reconstructed side-tie dock and gangway will provide a visitor-serving recreational opportunity which will provide additional benefit and improvement to a visitor-serving commercial use and is consistent with the character of the existing development.

Waterfront Master Plan Findings

- A. The proposed project makes a positive contribution to the visual and public accessibility to the bay while increasing and maintaining commercial fishing industry:
 - a. Meets the Waterfront plan height limit and maximum building coverage, bulk, and scale requirements in that the proposed project does not exceed the maximum height allowed and interesting articulation breaks up the bulk and scale.
 - b. In the case of granting height greater than 17 feet, the proposed project also provides significant public benefit pursuant to the Planned Development Overlay zone requirements in that the proposed project is creating an expanded and upgraded children's play area, adds three public restrooms on both sides of the building, public seating, ecological exhibits, energy feature exhibits and viewfinder/telescope along the 10 foot Harborwalk with outdoor public seating adjacent to the harborwalk.
 - c. The proposed project provides the amenities identified in the WF Plan, facilitates pedestrian visual and physical access to the waterfront, and takes advantage of outward views and characteristics of the topography in that the courtyard is improved to allow for easier pedestrian access, enjoyment and better bay views through the removal of the rear dining patio. It preserves and enhances the views as seen from street-ends and around the building.
 - d. The proposed project makes a positive contribution to the working fishing village character and quality of the Embarcadero area in that the new project will add to the pedestrian orientation while maintaining the side tie dock and also with the removal of the rear dining patio which will maintain and enhance views of the bay as well as better views of docked boats.
 - e. The proposed project recognizes the pedestrian orientation of the Embarcadero and provides an interesting and varied design that will enhance the pedestrian experience in that the new building will open up to the passing pedestrian through

- creation of 10 foot bayside lateral access where none currently exists and removal of the rear dining patio for better bay views through the view corridor.
- f. The project gives its occupants and the public some variety in materials and/or application in that the building will consist of brown cement siding and shingles, gray metal roofing, glass railings at the hotel unit balconies, and rooftop garden boxes.
 - g. The project contains the elements of harmony, continuity, proportion, simplicity, and balance, and its appearance matches its function and the uses proposed in that the new structure will provide more horizontal and vertical articulation, with an enhanced courtyard with new children's play area, removal of outdoor dining area which will increase bay views, and creation of 10 foot wide bayside lateral access also known as the Harborwalk all of which provides articulation that is consistent with the character of the existing development.
 - h. The proposed project does not diminish, either directly or by cumulative impact of several similar projects, the use, enjoyment, or attractiveness of adjacent buildings and provides a visual and pedestrian transition to its immediate neighbor in that the existing and new construction is in keeping with the architectural style, massing, materials, scale, and use of its surroundings.

Architectural Consideration

- A. As required by Ordinance Section 17.48.200 the Planning Commission finds that the architectural treatment and general appearance of all proposed structures and open areas are in keeping with the character of the surrounding areas, are compatible with any design themes adopted by the city, and are not detrimental to the orderly and harmonious development; of the city or to the desirability of investment of occupation in the area.

Precise Plan Finding

- A. Pursuant to MBMC 17.40.030, the Planning Commission finds that the Precise Plan (Case No. CUP19-11) is in substantial conformance with the Concept Plan (Case No. UPO-509) approved by City Council on October 9, 2018.

Downtown Waterfront Strategic Plan Finding

- A. The Planning Commission finds that the project as proposed is consistent with the Waterfront Specific Design Guidelines in the Downtown Waterfront Strategic Plan adopted by City Council in January 2018 as evaluated in the staff report dated October 29, 2019. The project redesigns and widens the view corridor and improves overall public views through to the Bay. The project proposes design materials consistent with the fishing village character of the community and consistent with the materials of the adjacent lease site. The project proposes an open view corridor, and provides 10 feet of bayside lateral access where none currently exists with outdoor public seating. The project proposes a nautical design theme through the proposed commercial signage and whimsical, nautical-themed children's play area. The project includes enhanced amenities such as benches, wave style bicycle rack, public seating, and the project also proposed appropriate lighting to encourage safety and comfort, but with downcast, shielded lighting fixtures.

Section 2. Action. The Planning Commission does hereby approve Precise Conditional Use Permit #CUP19-11 subject to the following conditions:

STANDARD CONDITIONS

1. This permit is granted for the land described in the staff report dated October 29, 2019, for the project at 833 Embarcadero depicted on plans dated September 1, 2019, on file with the Community Development Department, as modified by these conditions of approval, and more specifically described as follows: Site development, including all buildings and other features, shall be located and designed substantially as shown on Planning Commission approved plans submitted for CUP19-11, unless otherwise specified herein.
2. **Inaugurate Within Two Years:** Unless the construction or operation of the structure, facility, or use is commenced not later than two (2) years after the effective date of this Resolution and is diligently pursued, thereafter, this approval will automatically become null and void; provided, however, that upon the written request of the applicant, prior to the expiration of this approval, the applicant may request up to two extensions for not more than one (1) additional year each. Any extension may be granted by the City's Community Development Manager (the "Director"), upon finding the project complies with all applicable provisions of the Morro Bay Municipal Code (the "MBMC"), General Plan and certified Local Coastal Program Land Use Plan (LCP) in effect at the time of the extension request.
3. **Changes:** Minor changes to the project description and/or conditions of approval shall be subject to review and approval by the Community Development Director. Any changes to this approved permit determined, by the Director, not to be minor shall require the filing of an application for a permit amendment subject to Planning Commission review.
4. **Compliance with the Law:** (a) All requirements of any law, ordinance or regulation of the State of California, the City, and any other governmental entity shall be complied with in the exercise of this approval, (b) This project shall meet all applicable requirements under the MBMC, and shall be consistent with all programs and policies contained in the LCP and General Plan for the City.
5. **Hold Harmless:** The applicant, as a condition of approval, hereby agrees to defend, indemnify, and hold harmless the City, its agents, officers, and employees, from any claim, action, or proceeding against the City as a result of the action or inaction by the City, or from any claim to attack, set aside, void, or annul this approval by the City of the applicant's project; or applicants failure to comply with conditions of approval. Applicant understands and acknowledges the City is under no obligation to defend any legal actions challenging the City's actions with respect to the project. This condition and agreement shall be binding on all successors and assigns.
6. **Compliance with Conditions:** The applicant's establishment of the use or development of the subject property constitutes acknowledgement and acceptance of all Conditions of Approval. Compliance with and execution of all conditions listed hereon shall be required prior to obtaining final building inspection clearance. Deviation from this

requirement shall be permitted only by written consent of the Director or as authorized by the Planning Commission. Failure to comply with any of these conditions shall render this entitlement, at the discretion of the Director, null and void. Continuation of the use without a valid entitlement will constitute a violation of the MBMC and is a misdemeanor.

7. Compliance with Morro Bay Standards: This project shall meet all applicable requirements under the MBMC, and shall be consistent with all programs and policies contained in the LCP and General Plan of the City.
8. Conditions of Approval: The Findings and Conditions of Approval shall be included as a full-size sheet in the Building Plans.

BUILDING CONDITIONS:

A. PRIOR TO ISSUANCE OF A BUILDING PERMIT:

1. Building permit plans shall be submitted by a California licensed architect or engineer when required by the Business & Professions Code, except when otherwise approved by the Chief Building Official.
2. The owner shall designate on the building permit application a registered design professional who shall act as the Registered Design Professional in Responsible Charge. The Registered Design Professional in Responsible Charge shall be responsible for reviewing and coordinating submittal documents prepared by others including phased and staggered submittal items, for compatibility with design of the building.
3. The owner shall comply with the City's Structural Observation Program. The owner shall employ the engineer or architect responsible for the structural design, or another engineer or architect designated by the engineer of record or architect responsible for the structural design, to perform structural observation as defined in Section 220. Observed deficiencies shall be reported in writing to the owner's representative, special inspector, contractor and the building official. The structural observer shall submit to the building official a written statement that the site visits have been made and identify any reported deficiencies that, to the best of the structural observer's knowledge, have not been resolved.
4. The owner shall comply with the City's Special Inspection Program. Special inspections will be required by Section 1704 of the California Building Code. All Special Inspectors shall first be approved by the Building Official to work in the jurisdiction. All field reports shall be provided to the City Building Inspector when requested at specified increments in order for the construction to proceed. All final reports from Special Inspectors shall be provided to the Building Official when they are complete and prior to final inspection.
5. Mitigation measures for natural occurring asbestos require approval from San Luis Obispo County Air Pollution Control District.
6. A soils investigation performed by a qualified professional shall be required for this project. All cut and fill slopes shall be provided with subsurface drainage as necessary for stability; details shall be provided. Alternative, submit a completed City of Morro Bay soils report waiver request.

BUILDING PERMIT APPLICATION. To apply for building permits submit three (3) sets of construction plans to the Building Division.

7. The Title sheet of the plans shall include:
 - a. Street address, lot, block, track and Assessor Parcel Number.
 - b. Description of use.
 - c. Type of construction.
 - d. Height of the building.
 - e. Floor area of the building(s).
 - f. Vicinity map.
 - g. Minimum building set back per zoning designation or conditional use approval.

All construction shall conform to the active edition of the applicable California Building Code (CBC), California Residential Code (CRC), California Mechanical Code (CMC), California Plumbing Code (CPC), California Electrical Code (CEC), California Energy Code, California Green Building Standards Code (CGBC), and City of Morro Bay amendments in effect when the application for construction permit is submitted to the Building Division.

B. CONDITIONS TO BE MET DURING CONSTRUCTION:

BUILDING DIVISION:

1. **SITE MAINTENANCE.** During construction, the site shall be maintained so as to not infringe on neighboring property, such as debris and dust.
2. **ARCHAEOLOGICAL MATERIALS.** In the event unforeseen archaeological resources are unearthed during any construction activities, all grading and or excavation shall cease in the immediate area and the find left untouched. The Building Official shall be notified so that the extent and location of discovered materials may be recorded by a qualified archaeologist, Native American, or paleontologist, whichever is appropriate. The qualified professional shall evaluate the find and make reservations related to the preservation or disposition of artifacts in accordance with applicable laws and ordinances. If discovered archaeological resources are found to include human remains, or in any other case when human remains are discovered during construction, the Building Official shall notify to county coroner. If human remains are found to be of ancient age and of archaeological and spiritual significance, the Building Official shall notify the Native American Heritage Commission. The developer shall be liable for costs associated with the professional investigation.
3. A licensed surveyor or engineer shall verify pad elevations, setbacks, prior to foundation inspection, and building height prior to framing inspection when determined necessary by the Planning Division.

C. CONDITIONS TO BE MET PRIOR TO FINAL INSPECTION AND ISSUANCE OF CERTIFICATE OF OCCUPANCY:

BUILDING DIVISION:

1. Prior to Building Division final approval all required inspections from the other various divisions must have been completed and verified by a city inspector. All required final inspection approvals must be obtained from the various departments and documented on the permit card.
2. Title 24 form(s) 2F-6R (Certificate of installation) for building, mechanical, electrical and plumbing systems.

Fire Department Conditions:

1. Fire Safety. during Construction and Demolition shall be in accordance with 2016 California Fire Code, Chapter 33. This chapter prescribes minimum safeguards for construction, alteration and demolition operations to provide reasonable safety to life and property from fire during such operations.
2. Automatic Fire Sprinklers. The applicant shall provide fire sprinkler protection of all cantilevered water side elements, restaurant space, retail structure, hotel space and trash area, in accordance with Morro Bay Municipal Code (Section 14.08.090(L)) and 2016 California Fire Code (Section 903).
3. Standpipes. Marinas and boatyards shall be equipped throughout with standpipe systems in accordance with NFPA 303. Systems shall be provided with hose connections located such that no point on the pier or float system exceeds 150 feet from the standpipe hose connection. (CFC 3604.2, 905, and MBMC 14.52.060)
4. Fire Alarm and Detection Systems. Applicant shall provide an approved fire alarm system, in accordance with NFPA 72 and 2013 California Fire Code (Section 907).
5. Knox key box. Where access to or within a structure or an area is restricted because of secured openings or where immediate access is necessary for life-saving or fire-fighting purposes, the fire code official is authorized to require a key box to be installed in an approved location (CFC 506). Provide a Knox Box on exterior of the structure, in an approved location. Please obtain a Knox application from Morro Bay Fire Department during business hours.
6. Fire extinguishers. One Provide one wall mounted 2A:10-B:C fire extinguisher, and approved signage, for each 3,000 square feet of light hazard fuel load, Travel distance shall not in accordance with California Code of Regulations, Title 19, Division 1.
7. Carbon monoxide. alarms in new dwellings and sleeping units. An approved carbon monoxide alarm shall be installed in dwellings having a fossil fuel-burning heater or appliance, fireplace or an attached garage. Carbon monoxide alarms shall be listed as complying with UL 2034 and be installed and maintained in accordance with NFPA 720 and the manufacturer's instructions. (CRC R315.2)
8. Address identification. All new and existing single family residence and ADU's shall have their own approved address numbers or building numbers placed in a position to be plainly legible

from the street or road fronting the property (CFC 505). Provide approved address numbers 4 inches high with ½ inch stroke in contrasting numbers.

9. Elevator Car to Accommodate Ambulance Stretcher. Where elevators are provided, at least one elevator shall be provided for fire department emergency access to all floors. The elevator car shall be of such a size and arrangement to accommodate an ambulance stretched 24-inches by 84-inches with not less than 5-inch radius corners, in the horizontal, open position and shall be identified by the international symbol for emergency medical services (star of life). The symbol shall not be less than 3-inches high and shall be placed inside on both sides of the hoist way door frame. (MBMC 14.08.090(I))

Provide above language in Site Plan General Notes.

Public Works Conditions:

The following Public Works conditions shall be satisfied prior to Building Plan submittal:

1. Stormwater Management: The City has adopted Low Impact Development (LID) and Post Construction requirements. The completed "Appendix C-Performance Requirement Determination Form" had determined that this project will need to submit Performance Requirements No. 1 and 2.
2. Frontage Improvements: The installation of frontage improvements is required. Remove all non-standard exposed aggregate sidewalk. Update any deteriorated frontage improvements and non-ADA compliant frontage. Remove the driveway approach along the frontage. City standard 8-foot sidewalk is required along the entire frontage. An encroachment permit is required for any work within the Right of Way.
3. Sewer Lateral: Indicate and label new or existing sewer lateral and connection. If an existing lateral is used, perform a video inspection of the lateral (including the connection to the mainline) and submit to Public Works via flash drive or DVD, prior to building permit plan approval. Lateral shall be repaired as determined to prohibit inflow/infiltration. All repairs shall be noted on approved set of plans.
4. Sewer Backwater Valve: Indicate and label sewer backwater valve on plan. A backwater valve, extended to and accessible from grade for maintenance, shall be installed on every Building sewer. Exception: Installation of backwater valve shall not be required when, to the satisfaction of Building Official, it is determined that the intent and purpose of this section is otherwise met.
5. Erosion and Sediment Control Plan: For small projects less than one acre and less than 15% slope, provide a standard erosion and sediment control plan. Show on plans the control measures to provide protection against erosion of adjacent property and prevent sediment or debris from entering the City right of way, adjacent properties, any harbor, waterway, or ecologically sensitive area.
6. Water Meter: Indicate and label new or existing water meter on plans and include size of meter(s).

7. Water Backflow Prevention Device: Verify and label all new or existing water backflow preventers. Water backflow preventer devices are required for fire water systems, irrigation systems (on a dedicated water meter), systems which may change in character of use (commercial rentals, etc.), gray water systems, or any plumbing system which has cross-connections or the ability to allow water of deteriorated sanitary quality to enter the public water supply. Add note to plan that device is required to be an approved domestic water backflow prevention device.
8. Grading and Drainage: Indicate on plans the existing and updated contours, drainage patterns, spot elevations, finish floor elevation and all existing and proposed drainage pipes and structures.
9. Utilities: Show all existing and proposed locations of the sewer lateral, water service, and water and sewer mains on the building plans. Include sizes where appropriate. Note the location of all overhead utilities and construction underground service entrances per the CBC.
10. Flood Zone Requirements: A Flood Hazard Development Permit is required. The City's Flood Hazard Prevention Ordinance describes the requirements to obtain this permit. Pertinent requirements include, but are not limited to:
 - a) Per Section 14.72.040(A)(2). Certification from a registered Civil Engineer or Architect that a nonresidential floodproofed building meets the floodproofing criteria in Section 12.72.050 (A)(3)(b).
 - b) Submit a FEMA Elevation Certificate (for plans) which will indicate the base flood elevation to be used with the proposed construction drawings. Prior to Final Sign-off also submit an Elevation Certificate to indicate the finish elevations of the completed building.

Add the following Notes to the Plans:

1. Any damage, as a result of construction operations for this project, to City facilities, i.e. curb/berm, street, sewer line, water line, or any public improvements shall be repaired at no cost to the City of Morro Bay.
2. No work shall occur within (or use of) the City's Right of Way without an encroachment permit. Encroachment permits are available at the City of Morro Bay Public Works Office located at 955 Shasta Ave. A standard encroachment permit shall be required for the proposed driveway; the driveway shall comply with B-9 (Driveway Ramps: Size & Location). A sewer encroachment permit shall be required for any repairs or installation of a sewer lateral within the City right-of-way or within a utility easement. If a construction dumpster is used, the dumpster location shall be on private property, unless allowed by an encroachment permit within the City right-of-way.

Harbor Department Conditions:

1. The new children's play area shall be so designed and constructed so as to not interfere with or impede ingress/egress to/from the adjacent building's (845 Embarcadero) glass door facing the children's play area at the southeast portion of the building.

Planning Conditions:

1. A Coastal Development Permit shall be submitted to the Community Development Department prior to issuance of a building permit.
2. Inspection: The applicant shall comply with all City conditions of approval and conditions imposed by the California Coastal Commission and obtain final inspection clearance from the Planning Division at the necessary time in order to ensure all conditions have been met.
3. Bayside Lateral Public Accessway. The bayside lateral access, also known as the Harborwalk, shall maintain a 10-foot wide coastal access with open unobstructed access at all times with no tables or dining encroachments in order to maximize public access. Any uses that obstruct the lateral access such as private uses or barriers including furniture, planters, ropes, or restaurant seating within the 10 foot lateral access shall be prohibited.
4. Floating dock. The floating dock shall be publicly available for general public pedestrian access and either short-term or long-term use by recreational or commercial boats. Signs discouraging the public from walking on the docks during daylight hours are prohibited. The dock shall be open to the general public during at least daylight hours (i.e. one hour before sunrise to one hour after sunset).
5. Dock material as shown on Precise Plans dated September 1, 2019 shall be revised with the building plan submittal to be composite decking material removing the two foot of fiberglass decking in order to have consistent materials pursuant to the DWSP design guidelines unless otherwise required by the preconstruction eelgrass survey and the California Eelgrass Mitigation Policy (CEMP).
6. Twenty five percent of hotel rooms shall be set at rates equal to the City's area low-cost threshold pursuant to LUP Policy 2.07 or as otherwise approved consistent with the coastal development permit. The low cost threshold would be established by setting the Lodging rates as the 85% of the average daily rate of all lodging facilities along both sides of the Embarcadero
7. The 30% view corridor located along the north side of the building shall be maintained with no furniture item or table umbrellas to exceed 30 inches in height per the Waterfront Master Plan. No podium, hostess stand or station shall be allowed within the entire plaza area.
8. The Applicant shall participate toward the development of Centennial Plaza. The amount of contribution to be negotiated as part of future lease site negotiations.
9. Precise Plan shall include a specific sign plan with both commercial tenant and public access signs shown, including but not limited to, plans denoting size and material of sign, location of signs and method of attachment.
10. Precise Plan submittal shall include additional detail regarding the proposed children's play area including, but not limited to, a color and materials board and photo simulations.
11. Plans shall ensure lateral access at the south end of the lease site is able to accommodate a connection point to future lateral access to the lease site at 801 Embarcadero.

12. Eelgrass – Applicant shall be subject to the California Eelgrass Mitigation Policy (CEMP) which requires that a pre-construction survey shall be completed within 30-60 days prior to issuance of a building permit. Post-construction survey shall be completed within 30 days of construction completion or as otherwise determined by the National Marine Fisheries Service (NMFS) in order to determine amount of impact if any and CEMP-required annual reporting and mitigations. Any eelgrass habitat shall be documented and reported to the Community Development Director. If the report identifies a reduction in eelgrass coverage then a plan shall be prepared to identify the appropriate mitigations necessary and in line with the specifications for mitigation of eelgrass habitat as provided for in the California Eelgrass Mitigation Policy, dated October 2014
13. A Marine Wildlife Contingency Plan shall be developed and approved by the City of Morro Bay prior to the initiation of pile driving activities. This plan shall describe specific methods that will be used to reduce pile-driving noise. Power to the pile driver shall be ramped up to allow marine wildlife to detect a lower sound level and depart the area before full-power noise levels are produced. The plan shall identify a USFWS-approved biologist to monitor all construction within the water-lease area who shall be retained by the applicant. The plan shall describe on-site marine wildlife monitoring and reporting requirements as well as identify specific conditions when the biological monitor shall be allowed to stop work, such as observance of a marine mammal within 100 feet of the project area. The biologist shall be responsible to monitor for compliance with all environmental mitigation measures, and regulatory permit conditions (as applicable). The approved biological monitor shall be present onsite during construction and shall have the authority to stop construction if any individuals of southern sea otter are seen within 100 feet of the project area. Construction will be allowed to resume after sighted otters have left the 100-foot radius of the project area. The species shall not be disturbed or forced from the project site by equipment, noise, or other disruptive activity. The monitor will have discretionary authority to temporarily halt the project if it is determined that the otter, or other marine mammal, could be affected by the project, even if the animal is beyond the 100-foot boundary. All construction crew employees shall be informed on the requirements of this condition.
14. A project-specific Oil Spill Response and Recovery Plan that includes specifics on reporting and response procedures, available on-site equipment and contracted services, and responsibilities shall be completed and approved prior to the initiation of construction activities. Specifically, the project shall include the following Best Management Practices (BMPs) and shall be included on building plans submitted for approval:
 - a. No refueling of equipment without adequate containment and spill response equipment. The barge shall have only double contained fuel storage below decks, with the spill containment and clean up kits on-site and easily accessible. Spill containment and clean up kits shall include the following:
 - b. 150 feet Absorbent Boom 200 square feet Absorbent Tarp (for use during pile driving operations)
 - c. Barrel Absorbent Pads
 - d. Container Absorbent Granules
 - e. Rainwater runoff pollution from equipment stored on deck shall be prevented through ongoing equipment maintenance and appropriate double containment.

- f. The work area shall be contained within a boom to prevent debris from falling into the water.
 - g. All equipment fueling shall take place on the barge, with containment in-place. No refueling between vessels shall occur.
 - h. An Absorption Tarp shall be placed underneath any portable equipment while in use.
 - i. No equipment shall be permitted to enter the water with any petroleum products.
 - j. All equipment used during pile driving operations shall be in good condition without fuel or oil leakage.
 - k. Should any equipment begin to leak, that equipment shall be removed immediately from the barge and repaired or replaced.
 - l. All vessels shall have portable, regularly serviced sanitation equipment. No overboard discharge is permitted.
15. Prior to issuance of a building permit, a pile driving plan and hydroacoustical noise mitigation plan shall be submitted to the Community Development Director to ensure that underwater noise generated by pile driving activities is minimized to the maximum extent feasible and does not exceed: (1) an accumulated 187 dB SEL as measured 5 meters from the source; and (2) peak dB above 208 dB as measured 10 meters from the source as determined by the Fisheries Hydroacoustic Working Group. In the instance anything other than a vibratory hammer is to be used for pile driving activities, the plan shall provide for a hydro-acoustical monitor to ensure that underwater noise generated by pile driving activities does not exceed such limits. The plan shall identify the type of method used to install pilings. Vibratory hammers shall be used where feasible; if another method is used, a bubble curtain shall be employed to contain both noise and sediment. The plan shall also provide for additional acoustical BMPs to be applied if monitoring shows underwater noise above such limits (including, but not limited to, alternative pile driving methods (press-in pile placement, drilling, dewatered isolation casings, etc.) and additional noise dampening measures (sound shielding and other noise attenuation devices).
16. Netting or fencing around and underneath the project site shall be installed to catch and remove debris released during and after construction.
17. To reduce potential turbidity-associated impacts, silt screens should be used when and where they will be effective. The relatively high tidal currents within Morro Bay could reduce the effectiveness of silt screens and should be considered prior to placing of these screens.
18. Public Bathroom Signs. Building plan submittal shall include location and detail of public bathroom signs for the three proposed public bathrooms. For the third public bathroom accessed from inside the building, a sign shall be placed outside the building denoting that a public restroom is available inside and another sign shall be placed on the door of the inside public restroom. The bathroom sign design and final location shall be submitted for review and approval by the Community Development Director prior to issuance of the building permit.

Planning Commission conditions 19-20 added 8/21/2018:

19. Outdoor table areas shall be delineated with differential paving material in order to distinguish between public and private seating areas. The outdoor tables shall be delineated at both the west side of the building adjacent to the 10 foot width of Harborwalk as well as the proposed tables at the northwest corner of the building adjacent to the view corridor which has a required width of 22.5 feet.
20. Reduce the depth of the proposed planter adjacent to the street sidewalk to increase sidewalk width. Information to be included on landscape plan to be provided with the Precise Plan submittal.

City Council conditions 21-24 added 10/9/2018:

21. No restaurant condiments or table setups shall be allowed at the outdoor public seating located on the west and north sides of the building.
22. A 4-8 capacity public bike rack shall be installed on the site and placed so as not to impede public pedestrian flow. Location of bike rack shall be identified on plans to be included with the Precise Plan submittal. Brand of bike rack shall be consistent with other City facilities or as otherwise approved by the Community Development Director.
23. A minimum of three trash cans with self-closing lid or other bird deterrent as approved by the Community Development Director shall be identified on plans to be included with the Precise Plan submittal.
24. Project shall include soft landing material added to the children's play area. Playground protective surfaces shall be installed and maintained per the requirements of the U.S. Consumer Product Safety Commission's Public Playground Safety Handbook; California Health and Safety Code Sections 115725 – 115750, and ASTM F1292-09, Standard Specification for Impact Attenuation of Surfacing Materials Within the Use Zone of Playground Equipment.

PASSED AND ADOPTED by the Morro Bay Planning Commission at a regular meeting thereof held on this 5th day of November, 2019 on the following vote:

AYES:
NOES:
ABSENT:
ABSTAIN:

Chairperson Gerald Luhr

ATTEST

Scot Graham, Secretary

The foregoing resolution was passed and adopted this 5th day of November, 2019.

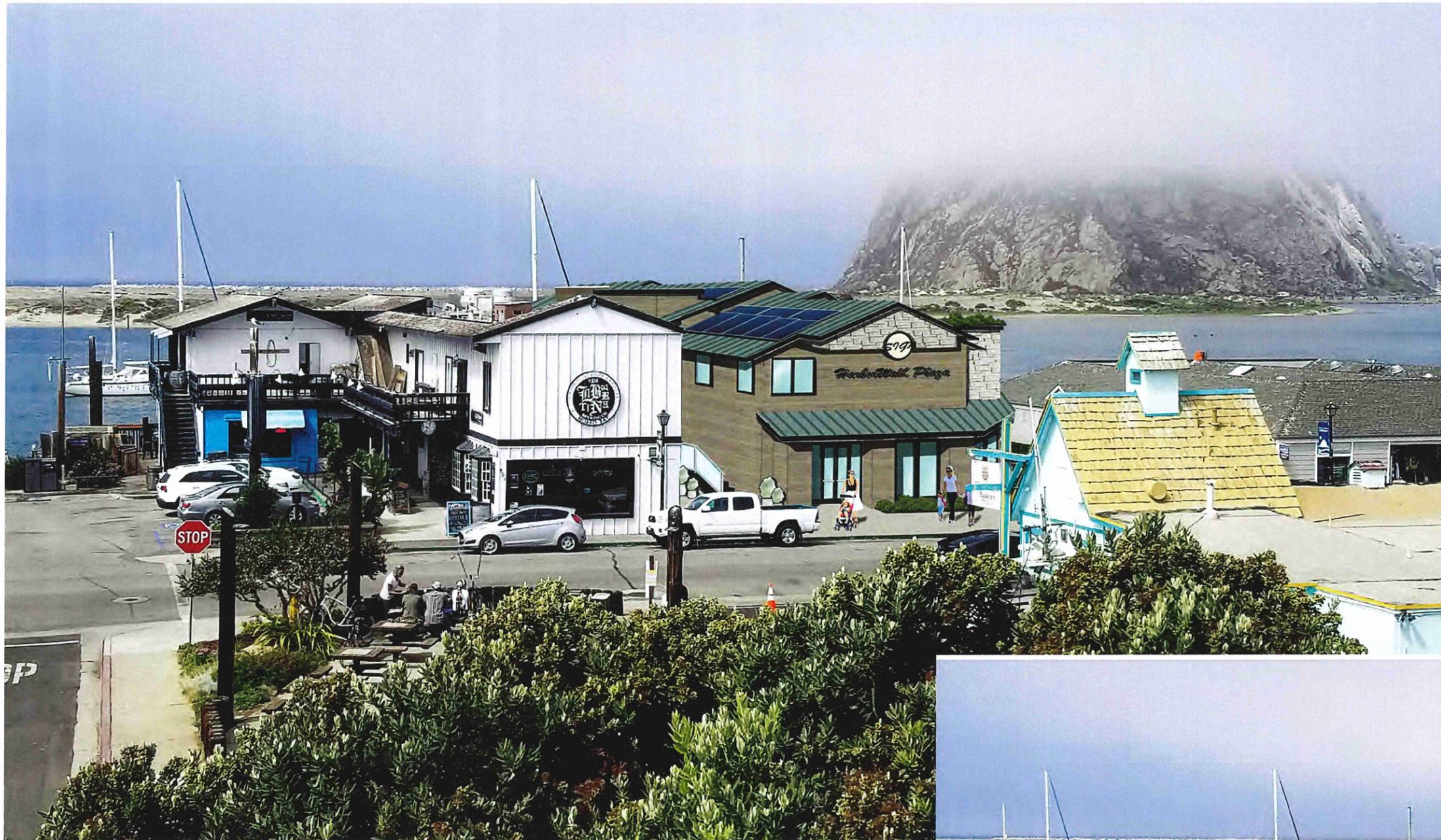
HARBORWALK PLAZA

RETAIL, RESTAURANT, HOTEL

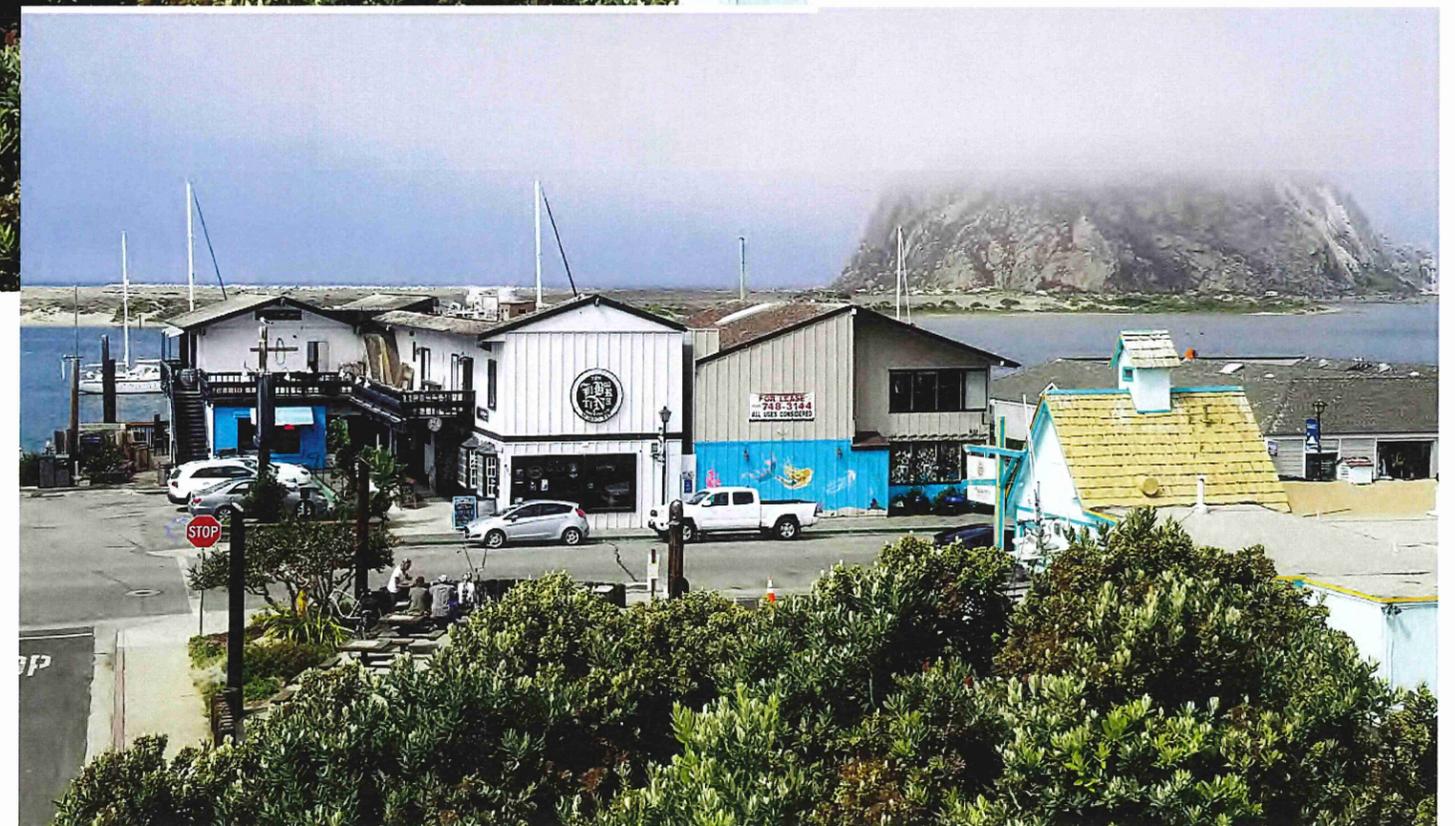
FOR

LEASE SITE
87-88 / 87W-88W

TLC FAMILY ENTERPRISES
TRAVIS LEAGE & CHERISE HANSSON
665 KINGS AVENUE
MORRO BAY, CA 93442



Proposed Structure



Existing Structure

HARBORWALK PLAZA

RETAIL, RESTAURANT, HOTEL

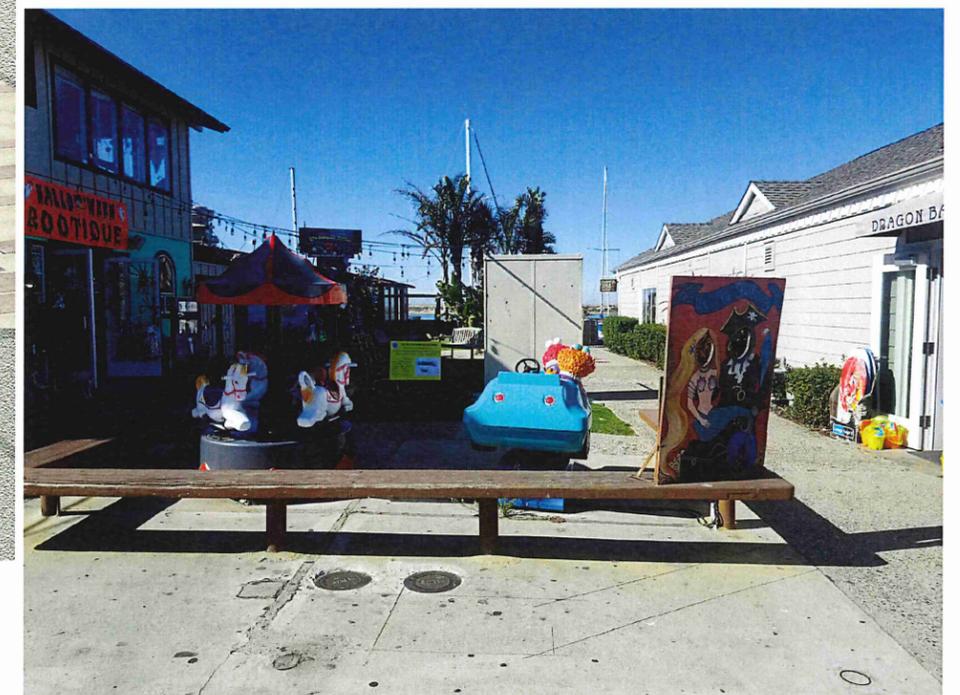
FOR

LEASE SITE
87-88 / 87W-88W

TLC FAMILY ENTERPRISES
TRAVIS LEAGE & CHERISE HANSSON
665 KINGS AVENUE
MORRO BAY, CA 93442



PROPOSED PROJECT



EXISTING SITE PHOTO



EAST ELEVATION

**HARBORWALK
PLAZA**

RETAIL, RESTAURANT, HOTEL

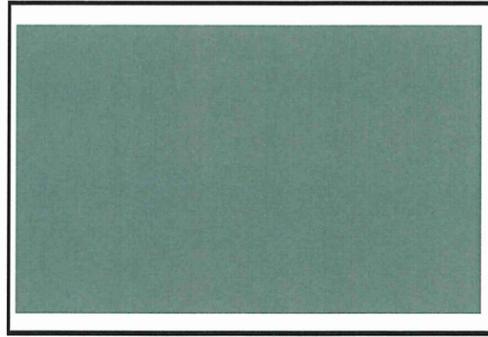
FOR

**LEASE SITE
87-88 / 87W-88W**

TLC FAMILY ENTERPRISES
TRAVIS LEAGE & CHERISE HANSSON
665 KINGS AVENUE
MORRO BAY, CA 93442

COLOR AND MATERIALS BOARD

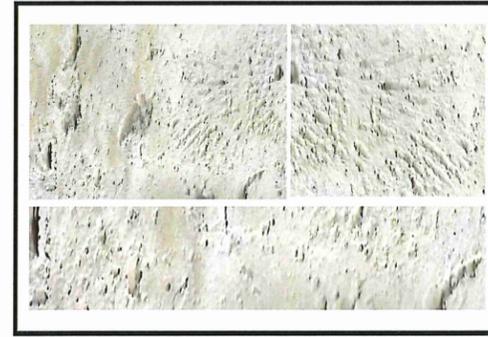
Exhibit C



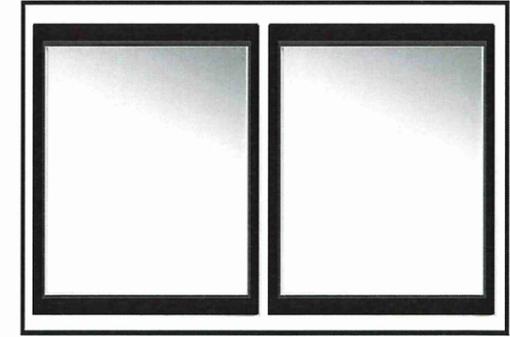
Metal Roofing : Hemlock Green (Cool R)



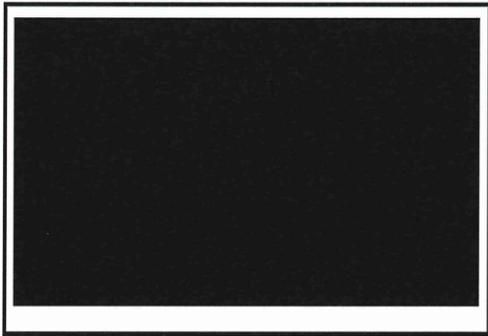
Trespa Pura NFC : Aged Ash



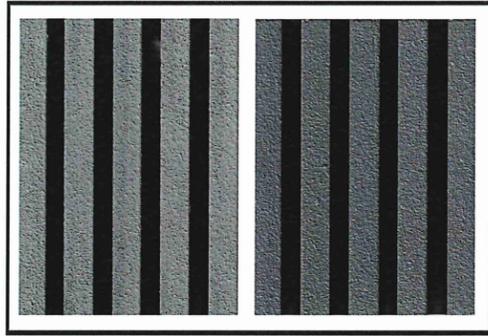
Stone : Coral Fossil Reef



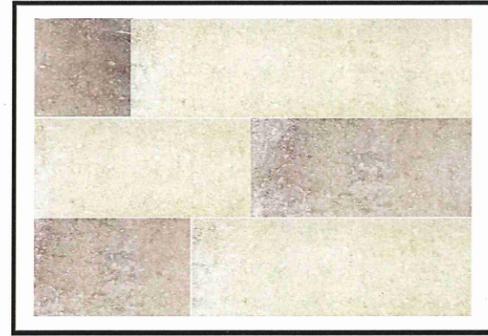
Bronze Window



Trim / Fascia : Dark Bronze



**Fiberglass Grating :
Gray & Dark Gray**



**Pavers : Belgard Mega Lafitt
Grana - Montecito**



Bronze Flat-Bar Railing



COLOR NORTH ELEVATION

SCALE: 1" = 10'-0"

HARBORWALK PLAZA

RETAIL, RESTAURANT, HOTEL

FOR

**LEASE SITE
87-88 / 87W-88W**

TLC FAMILY ENTERPRISES
TRAVIS LEAGE & CHERISE HANSSON
665 KINGS AVENUE
MORRO BAY, CA 93442

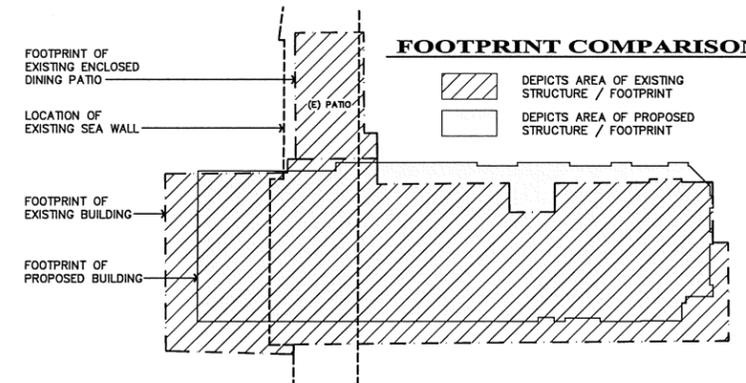
PROJECT INFO.

ADDRESS: 833 EMBARCADERO MORRO BAY, CA
 LEASE SITE: 87-88 87W-88W
 PROJECT PROPOSER: TLC FAMILY ENTERPRISES TRAVIS LEAGE & CHERISE HANSSON 665 KINGS AVENUE MORRO BAY, CA 93442
 ZONING: WF/PD/(S.4)
 REQUIRED SETBACKS: FRONT SETBACK: AVG. OF 5' 10' SETBACK AT SECOND FLR. SIDEYARD SETBACKS: 0'
 ROOF HEIGHT: 25' ABOVE A.N.G. w/ 4:12 ROOF w/ PUBLIC BENEFIT OF CHILDREN'S PLAY AREA
 TWO-STORY ROOF-TOP AREA: 4,178 SQ. FT.
 ROOF-TOP WITH 4:12 PITCH: 80% 3,332 SQ. FT.
 ROOF-TOP WITH 1/4":12 PITCH: 20% 846 SQ. FT.
 AREAS: LOT AREA: (TOTAL) 10,704 SQ. FT.
 LAND LEASE AREA: 6,982 SQ. FT.
 WATER LEASE AREA: 3,722 SQ. FT.
 MAX. ALLOWABLE COVERAGE: 1ST FLOOR - 70% OF LAND LEASE: 4,887 SQ. FT.
 2ND FLOOR - 70% 1ST FLOOR: 3,421 SQ. FT.
 PROPOSED LOT COVERAGE: 1ST FLOOR: 4,887 SQ. FT.
 2ND FLOOR: 3,421 SQ. FT.
 PROPOSED HABITABLE AREAS: 1ST FLOOR: 4,707 SQ. FT.
 2ND FLOOR: 3,287 SQ. FT.
 TOTAL HABITABLE AREA: 7,994 SQ. FT.

HEIGHTS: AVERAGE NATURAL GRADE: LOW POINT: 12.15' / HIGH POINT: 13.47' A.N.G.: 12.81'
 ALLOWABLE MAX. HEIGHT: 25' ABOVE A.N.G. 37.81'
 PROPOSED FINISH FLOOR 1: 12.76'
 PROPOSED FINISH FLOOR 2: 23.17'
 PROPOSED ROOF HEIGHT: 37.81'
 PROPOSED ELEVATOR ROOF HEIGHT: 37.60'

PARKING: HISTORIC PARKING CREDITS AVAILABLE 58 SPACES
 RETAIL - 1 SPACE PER 300 SQ. FT. OF RETAIL AREA (NO STOR/OFF.) 1,400 SQ. FT. / 300 = 4.7 SPACES
 RESTAURANT - 1 SPACE PER 60 SQ. FT. OF CUSTOMER AREA DINING: 1,302 SQ. FT. / 60 = 21.7 SPACES
 OUTDOOR DINING: (PUBLIC SEATING) = 0 SPACES
 FROZEN YOGURT: (CUSTOMER AREA) 182 SQ. FT. / 60 = 3.0 SPACES
 CHILDREN'S PLAY AREA - 1 SPACE 100 SQ. FT. OF AMUSEMENT AREA 1,150 SQ. FT. / 100 = 11.5 SPACES
 BOAT SLIPS - 1 SPACE PER EACH 35' OF BOAT TIE DOWN AREA 70 LIN. FT. / 35' = 2 SPACES
 HOTEL - 1 SPACE / UNIT PLUS 1 SPACE PER EACH 10 ROOMS 2 SPACES PER MANAG. UNIT 8 SPACES 0.8 SPACES 0 SPACES
 TOTAL SPACES REQUIRED (51.7) 52 SPACES
 HISTORIC PARKING CREDITS AVAILABLE 58 SPACES

OCCUPANCY AREAS: GROUND FLOOR: RESTAURANT: DINING AREA: 1,302 SQ. FT.
 BAR AREA: 80 SQ. FT.
 KITCHEN AREAS: 769 SQ. FT.
 KITCHEN CLEANUP: 222 SQ. FT.
 COVERED OUTDOOR DINING AREA: (PUBLIC STG.) 180 SQ. FT.
 OUTDOOR DINING AREA: (PUBLIC SEATING) 287 SQ. FT.
 FROZEN YOGURT: 262 SQ. FT.
 RETAIL: 1,565 SQ. FT.
 COMMON AREAS: 507 SQ. FT.
 CHILDREN'S PLAY AREA: 1,150 SQ. FT.
 BOAT SLIPS: 70 LIN. FT.
 UPPER FLOOR: HOTEL UNITS: 8 UNITS 3,287 SQ. FT.
 OPEN BALCONIES: 1,051 SQ. FT.
 COVERED COMMON AREAS: 134 SQ. FT.
 OPEN OUTSIDE CORRIDOR: 517 SQ. FT.



SITE FOOTPRINT AREAS:

TOTAL LOT AREA:	10,704 SQ. FT.
BUILDING FOOTPRINT:	45% 4,887 SQ. FT.
CHILDREN'S PLAY AREA:	11% 1,150 SQ. FT.
BOARDWALK:	7% 744 SQ. FT.
WATER:	7% 760 SQ. FT.
FLATWORK / HARDSCAPE:	28% 2,915 SQ. FT.
PLANTERS / LANDSCAPING:	2% 248 SQ. FT.

NOTE: LANDSCAPING WILL ALSO BE SPREAD THROUGHOUT SITE IN POTS & ROOF-TOP GARDENS. SEE A4.1

STORMWATER CALC'S

APPENDIX C
 PERFORMANCE REQUIREMENT DETERMINATION FORM
 The following form shall be completed for all development and redevelopment projects. Projects that are exempt from performance requirements are required to complete Sections 1 & 2 only.

Section 1: General Information	
Project name	HarborWalk Plaza
Project Address	833 Embarcadero
Assessor's Parcel Number(s)	066-322-001
Name of Applicant	TLC Family Enterprises
Applicant email address:	
Applicant phone:	(805) 748-3145
Project Type (e.g. single-family residential, commercial, etc.)	Commercial (Retail, Hotel, Rest.)
Section 2: Area Information	
Total Project Area	6,982 Sq. Ft. - Land Lease
Total Existing Impervious surface area	6,500 Sq. Ft. - To be Replaced
Proposed Gross Impervious Area (list only the surface areas that are being created or replaced)	
a. Rooftops	4,887 Sq. Ft.
b. Driveways	
c. Patios	2,081 Sq. Ft.
d. Parking Lots	
e. Other	
Total Gross Impervious Area	6,968 Sq. Ft.
If Gross Impervious Area <15,000 SF, write "EXEMPT". Otherwise continue to Sec. 3	6,968 Sq. Ft.
Section 3: PR Determination	
Watershed Management Zone (App. B)	Exempt
Net Impervious Area (from page 10)	6,968 Sq. Ft.
Performance Requirements (from Flow Charts)	Sections 1 & 2

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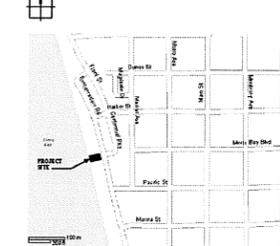
C. P. PARKER ARCHITECT

CHRISTOPHER P. PARKER ARCHITECT
 830 QUINTANA RD. #330
 MORRO BAY, CA 93442-1962
 (805) 772-8700

STAMPS



VICINITY MAP



PROJECT

HARBORWALK PLAZA

RETAIL, RESTAURANT, HOTEL FOR LEASE SITE 87-88 / 87W-88W 833 EMBARCADERO MORRO BAY, CALIFORNIA

TLC FAMILY ENTERPRISES TRAVIS LEAGE & CHERISE HANSSON 665 KINGS AVENUE MORRO BAY, CA 93442

DRAWING PHASE

CONSTRUCTION DOCUMENTS

Project No.	06-110
Drawn By	CPP
Dwg. Date	09/01/19
Updated	
Scale	AS NOTED

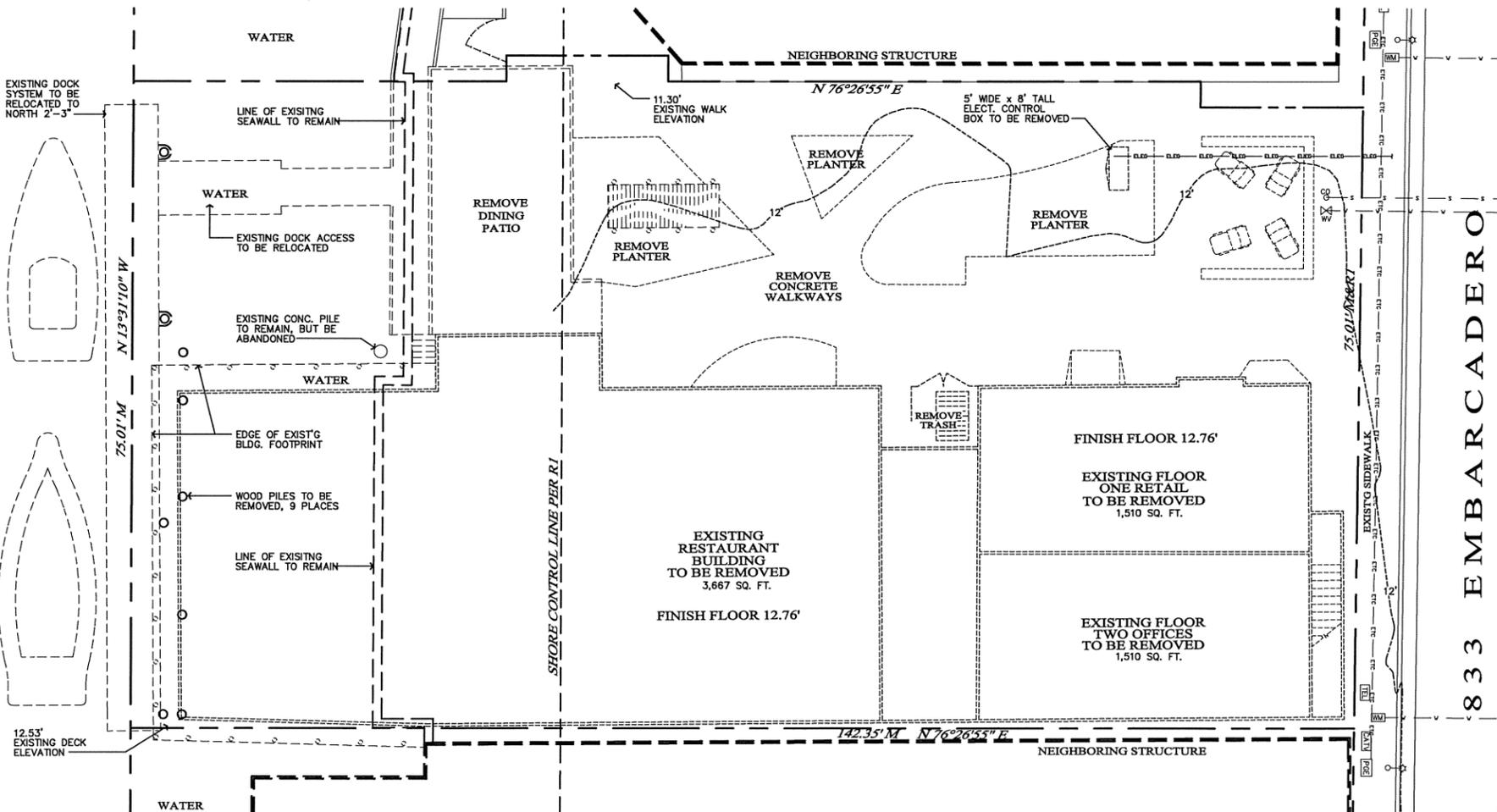
REVISIONS

SHEET TITLE

PROJECT INFO. DEMOLITION PLAN

SHEET NO.

A1.1



'GREEN' FEATURES

- ROOF-TOP SOLAR
- ROOF TOP GARDEN BOXES - SUCCULENTS
- RAIN-WATER COLLECTION / RE-USE
- FIRE-RESISTANT CANVAS AWNINGS
- LED SMART LIGHTING SYSTEMS
- EXTERIOR LIGHTING TO BE NIGHT SKY COMPLIANT, DOWNWARD FACING & SHIELDED FROM ABOVE
- SOLAR SHADING OVER WEST FACING GLASS

PUBLIC BENEFITS

- CHILDREN'S PLAY AREA
- PUBLIC SEATING
- ENERGY FEATURE EXHIBITS
- PUBLIC RESTROOMS
- ECOLOGICAL EXHIBITS
- VIEW-FINDER / TELESCOPE

PROJECT DESCRIPTION

THIS PROJECT WILL RECONSTRUCT AN EXISTING GROUND FLOOR RESTAURANT (3,667 SQ. FT.) AND RETAIL SPACE (1,510 SQ. FT.), AND A SECOND FLOOR OFFICE SPACE (1,510 SQ. FT.), AND REPLACE THEM WITH A NEW TWO-STORY STRUCTURE CONSISTING OF RESTAURANT SPACE, A YOGURT SHOP, PUBLIC RESTROOMS, AND RETAIL SPACE ON THE GROUND FLOOR, ALONG WITH AN 8 UNIT HOTEL SPACE ON THE UPPER FLOOR. NINE EXISTING WOOD PILES WILL BE REMOVED AND 9 NEW STEEL OR CONCRETE PILES WILL BE INSTALLED. THE EXISTING SIDE-TIE DOCK WILL BE REPLACED ALONG WITH THE GANGWAY. THE COURTYARD AREA WILL BE REDESIGNED, INCLUDING CHILDREN'S TOYS AND PLAY STRUCTURES CREATING A LARGER CHILDREN'S PARK AREA AND PUBLIC BENEFIT (REFER TO PROJECT INFO ABOVE FOR NEW AREA CALCULATIONS) GUESTS OF HOTEL WILL CHECK-IN WITHIN THE RETAIL SPACE ALONG THE EMBARCADERO

SHEET INDEX

- A1.1 PROJECT INFO., DEMOLITION PLAN
- A1.2 CITY OF MB - CONDT. OF APPROVAL
- A1.3 COASTAL COMM. - CONDT. OF APPROVAL
- A1.4 CONSTRUCTION PLAN
- A1.5 PUBLIC ACCESS PLAN
- A1.6 SIGNAGE PLAN
- A1.7 LIGHTING PLAN
- A2.1 PROPOSED FLOOR PLANS
- A2.2 PROPOSED PLAY AREA PLANS
- A3.1 EXTERIOR ELEVATIONS
- A3.2 BUILDING SECTIONS
- A4.1 ROOF & LANDSCAPE PLAN

CITY OF MORRO BAY - CONDITIONS OF APPROVAL

STANDARD CONDITIONS

- This permit is granted for the land described in the staff report dated September 27, 2018, for the Project depicted on plans dated May 28, 2018, on file with the Community Development Department, as modified by these conditions of approval, and more specifically described as follows: Site development, including all buildings and other features, shall be located and designed substantially as shown on Planning Commission approved plans submitted for UPO-509, unless otherwise specified herein.
- Inaugurate Within Two Years:** Unless the construction or operation of the structure, facility, or use is commenced not later than two (2) years after the effective date of this Resolution and is diligently pursued, thereafter, this approval will automatically become null and void; provided, however, that upon the written request of the applicant, prior to the expiration of this approval, the applicant may request up to two extensions for not more than one (1) additional year each. Any extension may be granted by the City's Community Development Director, upon finding the Project complies with all applicable provisions of the Morro Bay Municipal Code (the "MBMC"), General Plan and certified Local Coastal Program Land Use Plan (LCP) in effect at the time of the extension request.
- Changes:** Minor changes to the Project description and/or conditions of approval shall be subject to review and approval by the Community Development Director. Any changes to this approved permit determined, by the Director, not to be minor shall require the filing of an application for a permit amendment subject to Planning Commission review.
- Compliance with the Law:** (a) All requirements of any law, ordinance or regulation of the State of California, the City, and any other governmental entity shall be complied with in the exercise of this approval. (b) This project shall meet all applicable requirements under the MBMC, and shall be consistent with all programs and policies contained in the LCP and General Plan for the City.
- Hold Harmless:** The applicant, as a condition of approval, hereby agrees to defend, indemnify, and hold harmless the City, its agents, officers, and employees, from any claim, action, or proceeding against the City as a result of the action or inaction by the City, or from any claim to attack, set aside, void, or annul this approval by the City of the applicant's project; or applicants failure to comply with conditions of approval. Applicant understands and acknowledges the City is under no obligation to defend any legal actions challenging the City's actions with respect to the Project. This condition and agreement shall be binding on all successors and assigns.
- Compliance with Conditions:** The applicant's establishment of the use or development of the subject property constitutes acknowledgement and acceptance of all Conditions of Approval. Compliance with and execution of all conditions listed hereon shall be required prior to obtaining final building inspection clearance. Deviation from this requirement shall be permitted only by written consent of the Director or as authorized by the Planning Commission. Failure to comply with any of these conditions shall render this entitlement, at the discretion of the Director, null and void. Continuation of the use without a valid entitlement will constitute a violation of the MBMC and is a misdemeanor.
- Compliance with Morro Bay Standards:** This project shall meet all applicable requirements under the MBMC, and shall be consistent with all programs and policies contained in the LCP and General Plan of the City.
- Conditions of Approval:** The Findings and Conditions of Approval shall be included as a full-size sheet in the Building Plans.

BUILDING CONDITIONS:

A. PRIOR TO ISSUANCE OF A BUILDING PERMIT:

- Building permit plans shall be submitted by a California licensed architect or engineer when required by the Business & Professions Code, except when otherwise approved by the Chief Building Official.
- The owner shall designate on the building permit application a registered design professional who shall act as the Registered Design Professional in Responsible Charge. The Registered Design Professional in Responsible Charge shall be responsible for reviewing and coordinating submittal documents prepared by others including phased and staggered submittal items, for compatibility with design of the building.
- The owner shall comply with the City's Structural Observation Program. The owner shall employ the engineer or architect responsible for the structural design, or another engineer or architect designated by the engineer or architect responsible for the structural design, to perform structural observation as defined in Section 220. Observed deficiencies shall be reported in writing to the owner's representative, special inspector, contractor and the building official. The structural observer shall submit to the building official a written statement that the site visits have been made and identify any reported deficiencies that, to the best of the structural observer's knowledge, have not been resolved.
- The owner shall comply with the City's Special Inspection Program. Special inspections will be required by Section 1704 of the California Building Code. All Special Inspectors shall first be approved by the Building Official to work in the jurisdiction. All field reports shall be provided to the City Building Inspector when requested at specified increments in order for the construction to proceed. All final reports from Special Inspectors shall be provided to the Building Official when they are complete and prior to final inspection.
- Mitigation measures for natural occurring asbestos require approval from San Luis Obispo County Air Pollution Control District.
- A soils investigation performed by a qualified professional shall be required for this project. All cut and fill slopes shall be provided with subsurface drainage as necessary for stability; details shall be provided.

BUILDING PERMIT APPLICATION. To apply for building permits submit three (3) sets of construction plans to the Building Division.

- The Title sheet of the plans shall include:
Street address, lot, block, track and Assessor Parcel Number.
Description of use.
Type of construction.
Height of the building.
Floor area of the building(s).
Vicinity map.

All construction shall conform to the edition of the applicable California Building Code (CBC), California Residential Code (CRC), California Mechanical Code (CMC), California Plumbing Code (CPC), California Electrical Code (CEC), California Energy Code, California Green Building Standards Code (CGBC), and City of Morro Bay amendments in effect when the application for construction permit is submitted to the Building Division.

- PLAN REVISIONS:** Building plans shall include a revised site plan clearly delineating the difference between the extent of the lower floor addition and new deck addition above.
- Fire sprinklers, shall be required by City Codes.

B. CONDITIONS TO BE MET DURING CONSTRUCTION:

BUILDING DIVISION:

- SITE MAINTENANCE.** During construction, the site shall be maintained so as to not infringe on neighboring property, such as debris and dust.
- ARCHAEOLOGICAL MATERIALS.** In the event unforeseen archaeological resources are unearthed during any construction activities, all grading and/or excavation shall cease in the immediate area and the find left untouched. The Building Official shall be notified so that the extent and location of discovered materials may be recorded by a qualified archaeologist, Native American, or paleontologist, whichever is appropriate. The qualified professional shall evaluate the find and make reservations related to the preservation or disposition of artifacts in accordance with applicable laws and ordinances. If discovered archaeological resources are found to include human remains, or in any other case when human remains are discovered during construction, the Building Official shall notify to county coroner. If human remains are found to be of ancient age and of archaeological and spiritual significance, the Building Official shall notify the Native American Heritage Commission. The developer shall be liable for costs associated with the professional investigation.
- Certification of compliance with the soils report shall be submitted to the Building Division prior to foundation approvals. A final report certifying compliance with the soils report or grading plans shall be submitted to the Building Division prior to final approvals.
- A licensed surveyor or engineer shall verify pad elevations, setbacks, prior to foundation inspection, and building height prior to framing inspection when determined necessary by the Planning Division.

C. CONDITIONS TO BE MET PRIOR TO FINAL INSPECTION AND ISSUANCE OF CERTIFICATE OF OCCUPANCY:

BUILDING DIVISION:

- Prior to building division final approval all required inspections from the other various divisions must have been completed and verified by a city inspector. All required final inspection approvals must be obtained from the various departments and documented on the permit card.

Fire Department Conditions:

- Fire Safety,** during Construction and Demolition shall be in accordance with 2016 California Fire Code, Chapter 33. This chapter prescribes minimum safeguards for construction, alteration and demolition operations to provide reasonable safety to life and property from fire during such operations.
- Automatic Fire Sprinklers.** The applicant shall provide fire sprinkler protection of all cantilevered water side elements, restaurant space, retail structure, hotel space and trash area, in accordance with Morro Bay Municipal Code (Section 14.08.090(L)) and 2016 California Fire Code (Section 903).
- Standpipes.** Marinas and boatyards shall be equipped throughout with standpipe systems in accordance with NFPA 303. Systems shall be provided with hose connections located such that no point on the pier or float system exceeds 150 feet from the standpipe hose connection. (CFC 3604.2, 905, and MBMC 14.52.060)
- Fire Alarm and Detection Systems.** Applicant shall provide an approved fire alarm system, in accordance with NFPA 72 and 2013 California Fire Code (Section 907).
- Knox key box.** Where access to or within a structure or an area is restricted because of secured openings or where immediate access is necessary for life-saving or fire-fighting purposes, the fire code official is authorized to require a key box to be installed in an approved location (CFC 506). Provide a Knox Box on exterior of the structure, in an approved location. Please obtain a Knox application from Morro Bay Fire Department during business hours.
- Fire extinguishers.** One Provide one wall mounted 2A:10-B:C fire extinguisher, and approved signage, for each 3,000 square feet of light hazard fuel load, Travel distance shall not in accordance with California Code of Regulations, Title 19, Division 1.
- Carbon monoxide,** alarms in new dwellings and sleeping units. An approved carbon monoxide alarm shall be installed in dwellings having a fossil fuel-burning heater or appliance, fireplace or an attached garage. Carbon monoxide alarms shall be listed as complying with UL 2034 and be installed and maintained in accordance with NFPA 720 and the manufacturer's instructions. (CRC R315.2)
- Address identification.** All new and existing single family residence and ADU's shall have their own approved address numbers or building numbers placed in a position to be plainly legible from the street or road fronting the property (CFC 505). Provide approved address numbers 4 inches high with 1/2 inch stroke in contrasting numbers.
- Elevator Car to Accommodate Ambulance Stretcher.** Where elevators are provided, at least one elevator shall be provided for fire department emergency access to all floors. The elevator car shall be of such a size and arrangement to accommodate an ambulance stretched 24-inches by 84-inches with not less than 5-inch radius corners, in the horizontal, open position and shall be identified by the international symbol for emergency medical services (star of life). The symbol shall not be less than 3-inches high and shall be placed inside on both sides of the hoist way door frame. (MBMC 14.08.090(I))

Provide above language in Site Plan General Notes.

Public Works Conditions:

The following Public Works conditions shall be satisfied prior to Building Plan submittal:

- Stormwater Management:** The City has adopted Low Impact Development (LID) and Post Construction requirements to protect water quality and control runoff flow from new and redevelopment projects. The requirements can be found in the Stormwater management guidance manual on the City's website www.morro-bay.ca.us/EZmanual. Projects with more than 2,500sf of new or redeveloped impervious area are subject to these requirements. Complete and submit identified Stormwater Performance Requirements.
- Construction Staging Area:** Due to the Embarcadero being a busy and space restricted area, show location of construction staging area and corridor to project site. Develop timeline of staging area (i.e. will staging area be moved during different construction phases).
- Frontage Improvements:** The installation of frontage improvements is required. Remove all non-standard exposed aggregate sidewalk. Update any deteriorated frontage improvements and non-ADA compliant frontage. Remove the driveway approach along the frontage. City standard 8-foot sidewalk is required along the entire frontage. An encroachment permit is required for any work within the Right of Way.
- Sewer Lateral:** Indicate and label new or existing sewer lateral and connection. If an existing lateral is used, perform a video inspection of the lateral and submit to Public Works via flash drive or DVD, prior to building permit plan approval. Lateral shall be repaired as necessary and all repairs shall be noted on approved set of plans.

- Sewer Backwater Valve:** Indicate and label sewer backwater valve on plan. A sewer backwater valve shall be installed on site to prevent a blockage or maintenance of the municipal sewer main from causing damage to the Project (MBMC 14.24.070).
- Erosion and Sediment Control Plan:** For small projects less than one acre and less than 15% slope, provide a standard erosion and sediment control plan. The Plan shall show control measures to provide protection against erosion of adjacent property and prevent sediment or debris from entering the City right of way, adjacent properties, any harbor, waterway, or ecologically sensitive area.
- Water Meter:** Indicate and label new or existing water meter on plans.
- Grading and Drainage:** Indicate on plans the existing and updated contours, drainage patterns, spot elevations, finish floor elevation and all existing and proposed drainage pipes and structures.
- Utilities:** Show all existing and proposed locations of the sewer lateral, water service, and water and sewer mains on the building plans. Include sizes where appropriate. Note the location of all overhead utilities and construction underground service entrances per the CBC.
- Encroachment Permits:** A standard encroachment permit shall be required for frontage improvements. A sewer encroachment permit shall be required for any repairs or installation of a sewer lateral within the City right-of-way or within a utility easement. If a construction dumpster is used, the dumpster location shall be on private property, unless allowed by an encroachment permit within the City right-of-way.
- Water Backflow Prevention Device:** Verify and label all new or existing water backflow preventers. Devices are required for fire water systems, irrigation systems on a dedicated water meter, systems which may change in character of use (commercial rentals, etc.), gray water systems, or any plumbing system which has cross-connections or the ability to allow water of deteriorated sanitary quality to enter the public water supply. Add note to plan that device is an approved domestic water backflow prevention device.

Any damage, as a result of construction operations for this project, to City facilities, i.e. curb/berm, street, sewer line, water line, or any public improvements shall be repaired at no cost to the City of Morro Bay.

No work shall occur within (or use of) the City's Right of Way without an encroachment permit. Encroachment permits are available at the City of Morro Bay Public Works Office located at 955 Shasta Ave. The Encroachment permit shall be issued concurrently with the building permit.

Planning Conditions:

- A Coastal Development Permit shall be submitted to the Community Development Department prior to issuance of a building permit.
- Inspection: The applicant shall comply with all City conditions of approval and conditions imposed by the California Coastal Commission and obtain final inspection clearance from the Planning Division at the necessary time in order to ensure all conditions have been met.
- All utilities shall be undergrounded.
- Bayside Lateral Public Accessway.** The bayside lateral access, also known as the Harborwalk, shall maintain a 10-foot wide coastal access with open unobstructed access at all times with no tables or dining encroachments in order to maximize public access. Any uses that obstruct the lateral access such as private uses or barriers including furniture, planters, ropes, or restaurant seating within the 10-foot lateral access shall be prohibited.
- Floating dock.** The floating dock shall be publicly available for general public pedestrian access and either short-term or long-term use by recreational or commercial boats. Signs discouraging the public from walking on the docks during daylight hours are prohibited. The dock shall be open to the general public during at least daylight hours (i.e. one hour before sunrise to one hour after sunset).
- Twenty five percent of hotel rooms shall be set at rates equal to the City's area low-cost threshold pursuant to LUP Policy 2.07 or as otherwise approved consistent with the coastal development permit. The low cost threshold would be established by setting the Lodging rates as 85% of the average daily rate of all lodging facilities along both sides of the Embarcadero
- The 30% view corridor located along the north side of the building shall be maintained with no furniture item or table umbrellas to exceed 30 inches in height per the Waterfront Master Plan. No podium, hostess stand or station shall be allowed within the entire plaza area.
- The Applicant shall participate toward the development of Centennial Plaza. The amount of contribution to be negotiated as part of future lease site negotiations.
- Precise Plan shall include a specific sign plan with both commercial tenant and public access signs shown, including but not limited to, plans denoting size and material of sign, location of signs and method of attachment.
- Precise Plan submittal shall include additional detail regarding the proposed children's play area including, but not limited to, a color and materials board and photo simulations.
- Plans shall ensure lateral access at the south end of the lease site is able to accommodate a connection point to future lateral access to the lease site at 801 Embarcadero.
- Eelgrass** -- Applicant shall be subject to the California Eelgrass Mitigation Policy (CEMP) which requires that a pre-construction survey shall be completed within 30-60 days prior to issuance of a building permit. Post-construction survey shall be completed within 30 days of construction completion or as otherwise determined by the National Marine Fisheries Service (NMFS) in order to determine amount of impact if any and CEMP-required annual reporting and mitigations. Any eelgrass habitat shall be documented and reported to the Community Development Director. If the report identifies a reduction in eelgrass coverage then a plan shall be prepared to identify the appropriate mitigations necessary and in line with the specifications for mitigation of eelgrass habitat as provided for in the California Eelgrass Mitigation Policy, dated October 2014

- A Marine Wildlife Contingency Plan shall be developed and approved by the City of Morro Bay prior to the initiation of pile driving activities. This plan shall describe specific methods that will be used to reduce pile-driving noise. Power to the pile driver shall be ramped up to allow marine wildlife to detect a lower sound level and depart the area before full-power noise levels are produced. The plan shall identify a USFWS-approved biologist to monitor all construction within the water-lease area who shall be retained by the applicant. The plan shall describe on-site marine wildlife monitoring and reporting requirements as well as identify specific conditions when the biological monitor shall be allowed to stop work, such as observation of a marine mammal within 100 feet of the Project area. The biologist shall be responsible to monitor for compliance with all environmental mitigation measures, and regulatory permit conditions (as applicable). The approved biological monitor shall be present onsite during construction and shall have the authority to stop construction if any individuals of southern sea otter are seen within 100 feet of the project area. Construction will be allowed to resume after sighted otters have left the 100-foot radius of the project area. The species shall not be disturbed or forced from the project site by equipment, noise, or other disruptive activity. The monitor will have discretionary authority to temporarily halt the Project if it is determined that the otter, or other marine mammal, could be affected by the Project, even if the animal is beyond the 100-foot boundary. All construction crew employees shall be informed on the requirements of this condition.

- A project-specific Oil Spill Response and Recovery Plan that includes specifics on reporting and response procedures, available on-site equipment and contracted services, and responsibilities shall be completed and approved prior to the initiation of construction activities. Specifically, the Project shall include the following Best Management Practices (BMPs) and shall be included on building plans submitted for approval:
 - No refueling of equipment without adequate containment and spill response equipment. The barge shall have only double contained fuel storage below decks, with the spill containment and clean up kits on-site and easily accessible. Spill containment and clean up kits shall include the following:
 - 150 feet Absorbent Boom 200 square feet Absorbent Tarp (for use during pile driving operations)
 - Barrel Absorbent Pads
 - Container Absorbent Granules
 - Rainwater runoff pollution from equipment stored on deck shall be prevented through ongoing equipment maintenance and appropriate double containment.
 - The work area shall be contained within a boom to prevent debris from falling into the water.
 - All equipment fueling shall take place on the barge, with containment in-place. No refueling between vessels shall occur.
 - An Absorption Tarp shall be placed underneath any portable equipment while in use.
 - No equipment shall be permitted to enter the water with any petroleum products.
 - All equipment used during pile driving operations shall be in good condition without fuel or oil leakage.
 - Should any equipment begin to leak, that equipment shall be removed immediately from the barge and repaired or replaced.
 - All vessels shall have portable, regularly serviced sanitation equipment. No overboard discharge is permitted.

- Prior to issuance of a building permit, a pile driving plan and hydroacoustical noise mitigation plan shall be submitted to the Community Development Director to ensure that underwater noise generated by pile driving activities is minimized to the maximum extent feasible and does not exceed: (1) an accumulated 187 dB SEL as measured 5 meters from the source; and (2) peak dB above 208 dB as measured 10 meters from the source as determined by the Fisheries Hydroacoustic Working Group. In the instance anything other than a vibratory hammer is to be used for pile driving activities, the plan shall provide for a hydro-acoustical monitor to ensure that underwater noise generated by pile driving activities does not exceed such limits. The plan shall identify the type of method used to install piling. Vibratory hammers shall be used where feasible; if another method is used, a bubble curtain shall be employed to contain both noise and sediment. The plan shall also provide for additional acoustical BMPs to be applied if monitoring shows underwater noise above such limits (including, but not limited to, alternative pile driving methods (press-in pile placement, drilling, dewatered isolation casings, etc.) and additional noise dampening measures (sound shielding and other noise attenuation devices).
- Netting or fencing around and underneath the Project site shall be installed to catch and remove debris released during and after construction.
- To reduce potential turbidity-associated impacts, silt screens should be used when and where they will be effective. The relatively high tidal currents within Morro Bay could reduce the effectiveness of silt screens and should be considered prior to placing of these screens.
- The Project as proposed identifies numerous green features in support of the finding of significant public benefit required in order to allow a building height of up to 25 feet. Accordingly, prior to issuance of a building permit, Applicant shall submit evidence of LEED precertification and pursue and obtain LEED certification prior to final occupancy.

Planning Commission conditions 19-20 added 8/21/2018:

- Outdoor table areas shall be delineated with differential paving material in order to distinguish between public and private seating areas. The outdoor tables shall be delineated at both the west side of the building adjacent to the 10 foot width of Harborwalk as well as the proposed tables at the northwest corner of the building adjacent to the view corridor which has a required width of 22.5 feet.
- Reduce the depth of the proposed planter adjacent to the street sidewalk to increase sidewalk width. Information to be included on landscape plan to be provided with the Precise Plan submittal.
- City Council conditions 21-24 added 10/9/2018:**
- No restaurant condiments or table setups shall be allowed at the outdoor public seating located on the west and north sides of the building.
- A 4-8 capacity public bike rack shall be installed on the site and placed so as not to impede public pedestrian flow. Location of bike rack shall be identified on plans to be included with the Precise Plan submittal. Brand of bike rack shall be consistent with other City facilities or as otherwise approved by the Community Development Director.
- A minimum of three trash cans with self-closing lid or other bird deterrent as approved by the Community Development Director shall be identified on plans to be included with the Precise Plan submittal.
- Project shall include soft landing material added to the children's play area. Playground protective surfaces shall be installed and maintained per the requirements of the U.S. Consumer Product Safety Commission's Public Playground Safety Handbook; California Health and Safety Code Sections 115725 - 115750, and ASTM F1292-09, Standard Specification for Impact Attenuation of Surfacing Materials Within the Use Zone of Playground Equipment.

PASSED AND ADOPTED by the City Council of the City of Morro Bay at a regular meeting thereof held on this 9th day of October, 2018, on the following vote:

AYES: Irons, Davis, Heading, Makowsky, McPherson
NOES: None
ABSENT: None
ABSTAIN: None

ATTEST

Dana Swanson
DANA SWANSON, City Clerk

Jamie L. Irons
JAMIE L. IRONS, Mayor

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C. P. PARKER ARCHITECT

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STAMPS



CONSULTANTS

PROJECT

HARBORWALK PLAZA

RETAIL, RESTAURANT, HOTEL

FOR

LEASE SITE

87-88 / 87W-88W

833 EMBARCADERO MORRO BAY, CALIFORNIA

TLC FAMILY ENTERPRISES
TRAVIS LEAGUE & CHERISE HANSSON
665 KINGS AVENUE
MORRO BAY, CA 93442

DRAWING PHASE

CONSTRUCTION DOCUMENTS

Project No.	06-110
Drawn By	CPP
Dwg. Date	09/01/19
Updated	
Scale	AS NOTED

REVISIONS

SHEET TITLE

CITY OF M.B. COND. OF APPROV.

SHEET NO.

A1.2

COASTAL COMMISSION - CONDITIONS OF APPROVAL

3-19-0011 (Harborwalk Plaza Mixed-Use Project)

I. MOTION AND RESOLUTION

Staff recommends that the Commission, after public hearing, **approve** a coastal development permit for the proposed development. To implement this recommendation, staff recommends a **YES** vote on the following motion. Passage of this motion will result in approval of the CDP as conditioned and adoption of the following resolution and findings. The motion passes only by affirmative vote of a majority of the Commissioners present.

Motion: I move that the Commission approve Coastal Development Permit Number 3-19-0011 pursuant to the staff recommendation, and I recommend a yes vote.

Resolution to Approve CDP: The Commission hereby approves Coastal Development Permit Number 3-19-0011 and adopts the findings set forth below on grounds that the development as conditioned will be in conformity with the policies of Chapter 3 of the Coastal Act. Approval of the permit complies with the California Environmental Quality Act because either 1) feasible mitigation measures and/or alternatives have been incorporated to substantially lessen any significant adverse effects of the development on the environment, or 2) there are no further feasible mitigation measures or alternatives that would substantially lessen any significant adverse impacts of the development on the environment.

II. STANDARD CONDITIONS

This permit is granted subject to the following standard conditions:

1. **Notice of Receipt and Acknowledgment.** The permit is not valid and development shall not commence until a copy of the permit, signed by the Permittee or authorized agent, acknowledging receipt of the permit and acceptance of the terms and conditions, is returned to the Commission office.
2. **Expiration.** If development has not commenced, the permit will expire two years from the date on which the Commission voted on the application. Development shall be pursued in a diligent manner and completed in a reasonable period of time. Application for extension of the permit must be made prior to the expiration date.
3. **Interpretation.** Any questions of intent or interpretation of any condition will be resolved by the Executive Director or the Commission.
4. **Assignment.** The permit may be assigned to any qualified person, provided assignee files with the Commission an affidavit accepting all terms and conditions of the permit.
5. **Terms and Conditions Run with the Land.** These terms and conditions shall be perpetual, and it is the intention of the Commission and the Permittee to bind all future owners and possessors of the subject property to the terms and conditions.

3-19-0011 (Harborwalk Plaza Mixed-Use Project)

- impacting public views and site character. All directional signs shall include the Commission's access program "Fee" logo and the California Coastal Trail emblem. At least one public access interpretive sign (appropriate to Morro Bay issues, information, and/or history) shall be located at an appropriate location along the lateral accessway.
- c. **No Public Access Disruption.** Development and uses within the public access areas that disrupt and/or degrade public access (including areas set aside for private uses, barriers to public access (furniture, planters, temporary structures, private use signs, ropes, etc.)) shall be prohibited. The public use areas shall be maintained in a manner that maximizes public use and enjoyment.
- d. **Public Access Use Hours.** The public access areas and amenities along the bayfront lateral accessway and vertical accessways shall be open to the general public 24 hours per day and shall be available free of charge, except for the public restrooms, which shall be available free of charge during business hours, and may be closed outside of business hours. Business hours shall include any time at which the market hall and/or any of the retail shops are open to the public. The floating dock shall be open to the public for general pedestrian access from at least one hour before sunrise to one hour after sunset. Signs discouraging the public from walking on the docks during these hours are prohibited.
- e. **Public Outdoor Seating Areas.** No restaurant condiments or table settings shall be allowed in the public outdoor seating areas on the north and west sides of the building. Signs shall be posted in these areas indicating that seating is available for public use and no purchase is necessary to utilize the area.
- f. **Public Access Amenities Provided Prior to Occupancy.** All public access components of the approved project shall be constructed and ready for use prior to occupancy of the hotel units.
- g. **Public Access Areas and Amenities Maintained.** The public access components of the project shall be maintained in their approved state in perpetuity.

The Permittee shall undertake development in accordance with the approved Public Access Plan, which shall govern all general public access to the site pursuant to this coastal development permit.

5. **Construction Plan.** PRIOR TO ISSUANCE OF THE CDP, the Permittee shall submit two copies of a Construction Plan to the Executive Director for review and approval. The Construction Plan shall, at a minimum, include the following:

- a. **Construction Areas.** The Construction Plan shall identify the specific location of all construction areas, all staging areas, and all construction access corridors in site plan view. All such areas within which construction activities and/or staging are to take place shall be minimized to the maximum extent feasible in order to have the least impact on public access, including with respect to public parking and other coastal resources.

3-19-0011 (Harborwalk Plaza Mixed-Use Project)

III. SPECIAL CONDITIONS

This permit is granted subject to the following special conditions:

1. **Approved Development.** Coastal Development Permit (CDP) 3-19-0011 authorizes the development expressly proposed by the Applicant (i.e., ground floor retail and restaurant use, an eight-unit standard operating hotel, and lateral and vertical public access improvements) as described and shown in Exhibit 3, including with respect to the room rates and other hotel amenities as shown in Exhibit 4, and as modified by the conditions of this CDP. The Permittee shall undertake development in accordance with the approved CDP. Any proposed changes to the development shall be reported to the Executive Director. No changes to the approved development shall occur without a Commission-approved amendment to this CDP unless the Executive Director determines that no amendment is legally required.
2. **Final Plans.** PRIOR TO ISSUANCE OF THE COASTAL DEVELOPMENT PERMIT, the Permittee shall submit two full size sets of Final Plans to the Executive Director for review and approval. The Final Plans shall be prepared by a licensed professional or professionals (i.e., architect, surveyor, geotechnical engineer, etc.), shall be based on current professionally surveyed and certified topographic elevations for the entire site, and shall include a graphic scale. The Final Plans shall be in substantial conformance with the proposed plans (titled "Harborwalk Plaza" and dated received in the Coastal Commission's Central Coast District Office January 7, 2019 (see Exhibit 3)), shall clearly show the development's siting and design, including through elevation and site plan views, and shall comply with the following requirements:
 - a. **Utilities.** All utilities shall be placed underground.
 - b. **Drainage and Runoff.** A post-construction drainage and runoff control system shall be identified that is sited and designed: to collect, filter, treat, and direct all site drainage and runoff in a manner intended to protect and enhance coastal resources as much as possible; to prevent pollutants, including increased sediments, from entering coastal waters as much as possible; to filter and treat all collected drainage and runoff to minimize pollutants as much as possible prior to infiltration or discharge from the site; to retain runoff from roofs, driveways, decks, and other impervious surfaces onsite as much as possible; to use low impact development (LID) best management practices (BMPs) as much as possible; to be sized and designed to accommodate drainage and runoff for storm events up to and including at least the 85th percentile 24-hour runoff event (allowing for drainage and runoff above that level to be likewise retained and/or conveyed in a non-erosive manner); to direct all drainage and runoff not infiltrated on site to City infrastructure able to handle the flows, and not directly to the Bay; and to include ongoing maintenance and management procedures (including at the least provisions for annual pre-storm season and post-storm event evaluation and repair/maintenance) that meet professional standards for maintenance of such systems, and that will apply for the life of the project.

3-19-0011 (Harborwalk Plaza Mixed-Use Project)

- c. **Pilings and Substructure.** The Plans shall identify all pilings and all other structural substructure elements to be removed, installed, or otherwise used in association with the proposed development, including coating materials. New pilings shall be made of steel or reinforced concrete and sealed with a marine grade epoxy/polyurethane coating. New wood pilings shall not be installed. Any other wooden substructure components (either proposed new or to be demolished/removed) shall be clearly described on the Plans, including their coatings and preservatives, and shall be consistent with the requirements of the Commission's standard BMPs for use of treated wood (as shown on page 3 of Exhibit 3). Measures proposed to minimize the hydro-acoustic noise impacts of any piling driving shall be described on the Plans.
- d. **Loading Zone.** Subject to approval of the City, the Plans shall designate one parking space along the Embarcadero and adjacent to the public plaza for general passenger loading and unloading, limited to 10 minutes per vehicle. The Final Plans shall describe that the curb on this parking space shall be colored white and shall also provide for signage to be placed adjacent to the space denoting its use for ten-minute passenger loading and unloading only. Any reference to this space as dedicated only for hotel guest loading and unloading shall not be included on the Final Plans. Evidence of review and approval of the loading and unloading zone location by the City shall be provided with the Final Plans.

The Permittee shall undertake development in accordance with the approved Final Plans, unless the Commission amends this CDP or the Executive Director determines that no amendment is legally required for any proposed minor deviations. All requirements of the approved Final Plans shall be enforceable components of the CDP.

3. **Hotel Units.** By acceptance of this CDP, the Permittee acknowledges and agrees, on behalf of itself and all successors and assigns, that:

- a. **General Occupancy Requirements.** All eight hotel units shall be open and available to the general public. No individual ownership or long-term occupancy of the hotel units shall be allowed.
- b. **Length-of-Stay Provisions.** The eight hotel units shall not be rented to any individual, family, or group for more than 29 consecutive days, and not for more than 14 days between the Friday of Memorial Day weekend and Labor Day (inclusive of those two dates).
- c. **Conversion Prohibited.** The conversion of any of the hotel units to limited-use overnight visitor accommodation units (e.g., timeshare, fractional ownership, etc.) or to full-time occupancy condominium units or to any other units with use arrangements that differ from the approved project shall be prohibited.
- d. **Low-Cost Units.** The one year-round low-cost hotel unit and one part-time low-cost unit shall be available to the general public at rates no higher than as proposed by the

3-19-0011 (Harborwalk Plaza Mixed-Use Project)

- regarding the construction, and shall investigate complaints and take remedial action, if necessary, within 24 hours of receipt of the complaint or inquiry.
- f. **Notification.** The Permittee shall notify planning staff of the Coastal Commission's Central Coast District Office at least three working days in advance of commencement of construction, and immediately upon completion of construction.
- g. **Daylight Work Only.** All work shall take place during daylight hours (i.e., from one hour before sunrise to one hour after sunset), except for interior work. Nighttime work (other than interior work) and lighting of the exterior work area are prohibited.

The Permittee shall undertake development in accordance with the approved Construction Plan, unless the Commission amends this CDP or the Executive Director determines that no amendment is legally required for any proposed minor deviations. All requirements of the approved Construction Plan shall be enforceable components of the CDP.

6. **Transportation Demand Management Program.** PRIOR TO COMMENCEMENT OF CONSTRUCTION, the Permittee shall submit to the Executive Director for review and approval a Transportation Demand Management Program (TDMP). Said program shall include such measures as provision of bicycles for guests and methods for encouraging use of public transit, carpooling, and alternative transportation methods (e.g., bicycling to work) by employees. The Permittee shall undertake the development in accordance with this condition and the approved TDMP.
7. **Eelgrass.** The Applicant shall be subject to the California Eelgrass Mitigation Policy (CEMP) and shall complete pre- and post-construction eelgrass surveys and mitigate for any impacts to eelgrass as required by the CEMP and as specified in City Planning Condition 12.
8. **Compliance with Local Conditions of Approval.** The proposed development was approved by the City of Morro Bay via Conditional Use Permit #UP0-509 (see Exhibit 6). The City's conditions associated with that action remain in effect. In the event of conflict between any such conditions imposed by the City and the terms and conditions of this CDP, the terms and conditions of this CDP shall prevail.
9. **Deed Restriction.** PRIOR TO ISSUANCE OF THE CDP, the Permittee shall submit to the Executive Director for review and approval documentation demonstrating that the Permittee has executed and recorded against the parcel(s) governed by this permit a deed restriction, in a form and content acceptable to the Executive Director: (1) indicating that, pursuant to this CDP, the California Coastal Commission has authorized development on the subject property, subject to terms and conditions that restrict the use and enjoyment of that property; and (2) imposing the special conditions of this CDP as covenants, conditions and restrictions on the use and enjoyment of the property. The deed restriction shall include a legal description and site plan of the entire parcel or parcels governed by this CDP. The deed restriction shall also indicate that, in the event of an extinguishment or termination of the deed restriction for any reason, the terms and conditions of this CDP shall continue to restrict the use and enjoyment of the subject property so long as either this CDP or the development

3-19-0011 (Harborwalk Plaza Mixed-Use Project)

Applicant, as allowed to be modified following the Consumer Price Index as specified in subsection (e) below (see **Special Condition 1** and **Exhibit 4**).

- e. **Monitoring Reports for Low-Cost Hotel Units.** The Permittee (or its affiliated designee) shall annually provide, for Executive Director review and approval, two copies of a monitoring report for the one year-round low-cost and one part-time low-cost hotel units, beginning one year after occupancy of the hotel, and annually thereafter. The monitoring reports shall include, at a minimum, the average daily rate charged each month during the preceding year for the year-round low-cost unit, and for the part-time low-cost unit for those days in each month when it is offered on a low-cost basis; occupancy rates for the low-cost units for each applicable month (modified as above for the part-time low-cost unit); a description of proposed low-cost rates for the upcoming year (which shall be allowed to increase at no more than the annual Consumer Price Index each year without a CDP amendment), and an assessment of compliance with the terms and conditions of this CDP regarding the low-cost units. The ultimate intent of this reporting requirement is that the Permittee (or its affiliated designee) will make necessary changes as identified in any approved monitoring report as required by the Executive Director to maintain consistency with the terms and conditions of this CDP.

4. **Public Access Management Plan.** PRIOR TO ISSUANCE OF THE COASTAL DEVELOPMENT PERMIT, the Permittee shall submit for Executive Director review and approval two full-size sets of a Public Access Management Plan (Access Plan). The Access Plan shall clearly describe the manner in which general public access associated with the approved project is to be provided and managed, with the objective of maximizing public use of the public access areas of the proposed development (including the bayfront lateral accessway, the connecting vertical accessways, the public outdoor seating areas, the public plaza and children's play area, the public restrooms, wayfinding and public access signs, etc.). The Access Plan shall be substantially in conformance with the public access portion of the plans submitted to the Coastal Commission as shown in Exhibit 3, except as modified by these special conditions, and shall at a minimum include the following:

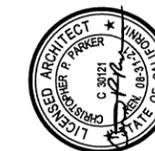
- a. **Clear Depiction of Public Access Areas and Amenities.** All public access areas and amenities, including all of the areas and amenities described above, shall be clearly identified as such on the Access Plans (including with hatching and closed polygons so that it is clear what areas are available for public access use).
- b. **Public Access Signs/Materials.** The Access Plan shall identify all signs, handouts, brochures, and any other project elements that will be used to facilitate, manage, and provide public access to the approved project, including identification of all public education/interpretation features that will be provided on the site (educational displays, interpretive signage, etc.). Sign details showing the location, materials, design, and text of all public access signs (including the public access use hours described in **Special Condition 4(d)**) shall be provided. At a minimum, public access signs shall be placed near the entrance to the public plaza at the Embarcadero, near the intersection of the public plaza and the bayfront lateral accessway, and near the vertical accessway at the Embarcadero. The signs shall be designed so as to provide clear information without

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STAMPS



CONSULTANTS

PROJECT
HARBORWALK PLAZA
RETAIL, RESTAURANT, HOTEL
FOR
LEASE SITE
87-88 / 87W-88W
833 EMBARCADERO
MORRO BAY, CALIFORNIA

TLC FAMILY ENTERPRISES
TRAVIS LEAGE & CHERISE HANSSON
665 KINGS AVENUE
MORRO BAY, CA 93442

DRAWING PHASE

CONSTRUCTION DOCUMENTS

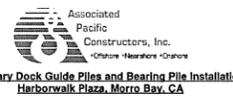
Project No.	06-110
Drawn By	CFP
Dwg. Date	09/01/19
Updated	-
Scale	AS NOTED

REVISIONS

SHEET TITLE
COASTAL COMM. COND. OF APPROV.

SHEET NO.

A1.3



Preliminary Dock Guide Piles and Bearing Pile Installation Harborwalk Plaza, Morro Bay, CA

Material-Guide Piles
Four guide piles consists of the following: 4 units - 40" by 18" to 20" diameter by .0375 wall steel piles (ERW Carbon Steel pipe ASTM A 252 Grade 3). The upper approximate 40 feet of the exterior surface will be coated with a marine grade epoxy/polyurethane coating.

Equipment	Equipment	Specs
Installation of Steel Piles	Crane Barge with Vibratory Hammer	On Plans
Crane Installation Spud Barge and Crane	Crane Barge	On Plans
Pile Installation	Vibratory HPS15C Vibratory Hammer	On Plans
Diesel Impact Hammer	Delmag D19-32	On Plans

Methodology-All work from the water

- Piles will be loaded onto the Crane Barge at the APC dock, Morro Bay
- Tug and Barge will be transported to Location, positioned for pile installation off Gray Inn Property, Morro Bay.
- Fingers will be pre-positioned, alignment confirmed with the alignment on the pier head.
- Turbidity boom installed in close proximity around finger pier.
- Pile is lifted and placed into position
- Vertically and finger position confirmed prior to installation.
- Booms are re positioned prior to pile driving.
- Pile installation occurs. Refer to equipment specifications for specific method.
- Once elevation of top of pile or refusal is achieved, pile installation device is removed from pile.
- Turbidity boom relocated to next location and operation is repeated.

BMP provided on plans

Associated Pacific Constructors, Inc. 495 Embarcadero Morro Bay, California 93442
Tel (805) 772-7472 Fax (805) 772-5803 Contractor's License 394486

2078 Paul Gilmer/APC

IMPACT HAMMER

Parameter	Value	Unit
Impact Energy	15.2	D19-32
Maximum Impact	1.2	1.2
Impact Energy	15.2	4.130
Energy per blow	10,300	27,800 ft-lb
Blows per minute	35-12	37-55
Consumption		
Oil fuel	0.7	1.45
Lubrication oil	0.16	0.26
Capacity		
Oil fuel	5	8.45
Lubrication oil	1.3	2.33
Operating weight approx		
Hammer	105	2,650 (7,800)
Trailing device	105	225
Top bars	165	165
Dimensions		
a. Length overall	157.0	188.2
b. Length over cylinder extension	14	286.3
c. Impact block diameter	13.8	17.3
d. Width over bolts	22.1	28.0
e. Hammer width overall	18.3	18.1
f. Width for pin-to-face to face	12.1	12.6
g. Hammer center to pump guard	12.2	18.6
h. Hammer center to ball center	9.8	11.0
i. Hammer depth overall	23.2	26.2
j. Minimum clearance for leads	14.2	14.2

IMPACT HAMMER

Indian Valley Industries, Inc. Technical Data Sheet

IVI Type II Turbidity Curtain with 22 oz. PVC coated fabric

Standard Features:
Curtain and Filter Fabric: Non-permeable.
22 oz. woven PVC coated fabric.
Section Length: 50 LF or 100 LF
Heat sealed seams
5000' break strength webbing
14 1/2" grommets every 12" on center on edge of curtain for connection
Construction every 5' along bottom edge for extra ballast weight
Aluminum stress plates at top and bottom corners
15/16" x 2 1/2" vinyl coated, galvanized steel top 100' cap 9900' break strength
Optional steel every 5' along top connection

NOTES:
To REDUCE POTENTIAL TURBIDITY-ASSOCIATED IMPACTS, SILT SCREENS SHOULD BE USED WHEN AND WHERE THEY WILL BE EFFECTIVE. THE RELATIVELY HIGH TIDAL CURRENTS WITHIN MORRO BAY COULD REDUCE THE EFFECTIVENESS OF SILT SCREENS AND SHOULD BE CONSIDERED TO PLACING OF THESE SCREENS

PRIOR TO ISSUANCE OF A BUILDING PERMIT, A PILE DRIVING PLAN AND HYDROACOUSTICAL NOISE MITIGATION PLAN SHALL BE SUBMITTED TO THE COMMUNITY DEVELOPMENT DIRECTOR TO ENSURE THAT UNDERWATER NOISE GENERATED BY PILE DRIVING ACTIVITIES IS MINIMIZED TO THE MAXIMUM EXTENT FEASIBLE PER PLANNING CONDITION NUMBER 15 ON SHEET A1.2

Properties	Test Method	Typical Value
Material Weight	FS 5049 / ASTM D-3776	22 oz. sq. yd.
Tensile		1600 lbs.
Count		28 x 16
Denier		1500
Break Tensile	FS 5169 / ASTM D-3524	1000 x 4000 9000'
Torque Tear	FS 5134 / ASTM D-2261	132 x 143 lbs.
Adhesion	FS 5167 / ASTM D-2261	90 lbs. 2"
Hydrostatic Resistance	ASTM D-705	880 lbs. sq. ft.
Mullen Burst	ASTM D-3786	324 lbs. sq. in.
Abrasion	FS 5168 / ASTM D-3584	Start - 250, Continue - 400 cycles
Cold Crack	FS 5234 / ASTM D-2116	-40°
High Temperature		316° Continuous, 200° Intermittent
Flame Retardant		400-1000 & 1000 grommets
Finish		None

Vibratory-Hammers-



Model 150L Exciter	Specifications	
	US	Metric
Eccentric Moment (in lb-in)	50	17.3
Dynamic Force (tons/tonnes)	50	50
Frequency (VPM)	7,000	1600
Amplitude (mm)	875	22.22
Pile Clamp Force (tons/kN)	50	445
Maximum Crane Pull (tons, kN)	30	267
Suspended Weight (lbs/kg)	7,850	3,524
Length (in/mm)	87	2210
Width @ Thrust (in/mm)	14	356
Height (in/mm)	78	1981

Model 150L Power Unit	Specifications	
	US	Metric
Engine	3116 Cat	
Power (HP/KW)	210	157
Speed (RPM)	2,400	2400
Operating Pressure (PSI/BAR)	2,500	173
Flow (GPM/LPM)	120	45.4
Weight (lbs/kg)	7,800	3,538
Length (in/mm)	108	2743
Width (in/mm)	48	1219
Height (in/mm)	78	1981

WOOD PRESERVATIVE

FACT SHEET

ACO is the most widely used non-arsenic, non-chromium, water-based wood preservative in the world.

Regulation Summary:
ACO is a water-based wood preservative that contains no arsenic, chromium, or other toxic substances. It is safe for use on residential and commercial structures.

Performance:
ACO provides long-term protection against wood-boring insects, decay, and fungal growth. It is suitable for use on all types of wood.

PAINT INFORMATION

Interthane 990HS International

Product Description: A high performance, two-component epoxy primer and finish for steel and aluminum surfaces. It provides excellent adhesion and corrosion resistance.

Specifications:
Color: White/Black
Volume Solids: 60% (dry film thickness 1.5 mils)
Theoretical Thickness: 2.1 mils (dry film thickness 1.5 mils)
Dry Time: 24 hours (dry film thickness 1.5 mils)

BMP's

- Responsibilities for Use of Preservative-Treated Wood for Piles and Over-water Structures.** The applicant shall comply with the following best management practices for the use of preservative-treated wood (treated wood) in over-water structures:
 - The wood preservative selected for use shall minimize the impact on coastal water quality and the aquatic environment.
 - Preservative-treated Douglas fir piles shall only be used for repair and replacement, or to visibly blend and/or aesthetically upgrade with existing over-water structures.
 - Decking shall consist of non-arsenic materials or ACO-preserved lumber sealed with a penetrating coating. Alternatives to preserved woods, such as concrete, steel, fiberglass, or naturally decay-resistant wood species, shall be prioritized over the use of chemically-treated wood.
 - All treated wood piles, and, where feasible, treated wood structural members, shall be installed or coated with, water-tight, UV resistant materials to prevent leaching of wood preservative chemicals into the water column, and to prolong the life of the pile and structural timbers. For pile protection, coating shall extend two feet below the mudline and two feet above OHW. At a minimum, and wrappings shall be secured with corrosion-resistant banding or self-sticking caps. Coating and/or sealants used shall be products that are inert after they have cured and sealed. No other sealants or products shall be used unless tested and approved with an inert material or product to include it from the marine environment.
 - Design features, such as a protective wearing surface or bumpers, shall be installed on finger piles and fender dock pilings, where appropriate, to resist abrasion and preserve the pile-wrap or coating.
 - The amount of preservative used for treating piles shall be the minimum specified by the American Wood Protection Association to effectively protect the piles. Wood treated to the standards for a higher Use Category (i.e., with a higher preservative retention level) than is necessary for that component shall not be used.
 - Treated wood and treated wood debris shall be stored a minimum of 50 feet from coastal waters, drainage courses, and storm drain lines. The treated wood and treated wood debris shall be stored in an impervious pavement or an impervious tarp, and covered during rain events.
 - Treated wood is landed or sawed during demolition, installation, or maintenance, all sawdust and debris generated shall be contained and removed.
 - In order to minimize water quality impacts, pile installations shall prioritize driven or hammered methods. If a water-jetting method is utilized, it shall contain shall be installed in the work area to contain turbidity where coastal resources, such as benthic communities or eelgrass, may be at risk.
- Responsibilities for Use of Coatings, Construction and Repair of Bulkheads and Over-water Structures.** The applicant shall comply with the following best management practices for the use of concrete coatings, and repair of bulkheads and over-water structures:
 - Coatings and sealants shall be composed of products that are inert after they have cured and sealed. Fast-drying Epoxy, HDPE, and polyurea products are recommended. No coal tar based sealants shall be used unless they are themselves coated or wrapped with an inert product to isolate them from the marine environment.
 - Installation and application of epoxy, resin, or cementitious grout/fill shall be conducted where predicted weather and ocean conditions allow effective control and full containment and will remain dry until cured. In order to prevent any leaching of cured materials into coastal waters, it is preferable to perform the work in dry conditions (low tide or off-site in a controlled environment manufacturing facility, wherever feasible).
 - All cleaning and preparation of surfaces shall use wet vacuum techniques, containment booms or heavy mesh containment netting so that any debris, chips, dust, silt, and fine particles are collected and disposed of in a location where they will not enter coastal waters.
 - Preparation of corroded concrete by chipping, v-notching, or demolition shall be conducted while using a wet vacuum or similar technique so that any debris, dust, and fine particles are collected and disposed of in a location where they will not enter coastal waters. Dip nets shall be in-use and used to retrieve debris if it accidentally falls into the water.
 - Methods to contain any leaks or spills of treatment materials, during application shall be planned in advance, and any necessary equipment or supplies shall be readily accessible onsite. Any leaks or spills of anti-corrosion coatings, epoxy fillers, and waterproofing sealants shall be immediately cleaned up.

- All pre-wrap application and gravity feed applications of epoxy, resin, or cementitious materials shall be clearly monitored visually to ensure that these materials do not leak or spill into coastal waters during application.
- Coatings and waterproofing sealants used in the field shall be carefully applied by brush or roller or limited application to the immediate surfaces intended for protection, and to prevent drips or spills into coastal waters.
- All anti-corrosion coatings, epoxy fillers, and waterproofing sealants shall be properly stored and contained so that these products will not leak or spill, or otherwise enter the coastal environment.
- Pile installations shall prioritize driven or hammered methods, if feasible. In order to minimize water quality impacts, vibratory hammer method shall be prioritized over impact hammer methods. However, if an impact hammer is used, pile driving shall use a soft-starting-up by BMP with hammer strikes that begin at approximately 40 to 60 percent energy levels with no less than a one-minute interval between each strike for a five-minute period. If a water-jetting method is utilized, it shall contain shall be installed in the work area to contain turbidity where coastal resources, such as benthic communities or eelgrass, may be at risk.
- Removal of existing piles shall observe the following conditions, where applicable:
 - Work shall occur during favorable tidal, ocean, and weather conditions that will enhance the ability to remove, to the maximum extent, the full length of the pile and any associated debris placed during demolition.
 - Piles and debris shall be generated directly into a vessel/containment suitable for transport off-site.
 - Designated pile sections that cannot be removed from the substrate shall be cut at the deepest feasible elevation to maximize removal, if feasible.
 - All used piles and debris shall be removed to an off-site, authorized disposal site. Sediment adhered to the removed pile shall be removed from seaward to water.
 - Used materials shall be stored and handled carefully to minimize turbidity. Vibratory extraction shall be prioritized over direct-pull methods, where feasible, in order to limit disturbance.

- Turns or other devices shall be used to capture debris, sand/silt, particulates, oil, grease, rust, dirt, and spills to protect the quality of coastal waters.
- Floating booms shall be used to contain debris if discharged into coastal waters, and any debris discharged will be removed as soon as possible but no later than the end of each day.
- Unless specifically authorized, all work shall take place during daylight hours and lighting of littoral and near water areas is prohibited.
- Construction work or equipment operations below the mean high water line shall be minimized to the maximum extent feasible, and, where possible, limited to times when tidal waters have receded from the authorized work areas.
- All construction materials shall be properly stored and contained so that these products will not spill or otherwise enter the coastal environment.
- Construction (including but not limited to construction activities, and materials and/or equipment storage) shall be prohibited outside of the defined construction, staging, and storage areas.
- Equipment washing, refueling, and/or servicing shall not take place on the littoral or over-water structures to eliminate the possibility that pollutants may enter coastal waters.
- Leakhead and over-water construction projects that will use heavy equipment for more than 30 days shall use biodegradable hydraulic fluid and biofoam as an alternative to petroleum products.
- The construction site shall maintain good connection site housekeeping controls and procedures to e.g., clean up all leaks, drips, and other spills immediately; keep materials covered and out of the rain (including covering exposed piles of soil and wastes); dispose of all wastes properly; place trash receptacles on site for that purpose, and cover open trash receptacles during wet weather; remove all construction debris from the littoral.
- A construction coordinator shall be designated to be contacted during construction should questions arise regarding the construction (in case of both regular inquiries and emergencies), and their contact information (i.e., address, phone number, etc.) including, at a minimum, a telephone number that will be made available 24 hours a day for the duration of construction, shall be conspicuously posted at the job site where such contact information is readily visible from public viewing areas, along with instructions that the construction coordinator should be contacted in the case of questions regarding the construction (in case of both regular inquiries and emergencies). The construction coordinator shall record the name, phone number, and nature of all complaints received regarding the construction, and shall investigate and take remedial action, if necessary, within 24 hours of receipt of the complaint or inquiry.
- A copy of the approved Construction Plan shall be kept at the construction job site at all times and all persons involved with the construction shall be briefed on its content and meaning prior to commencement of construction.
- The Coastal Commission's District Office shall be notified at least 3 working days in advance of commencement of construction, and immediately upon completion of construction.

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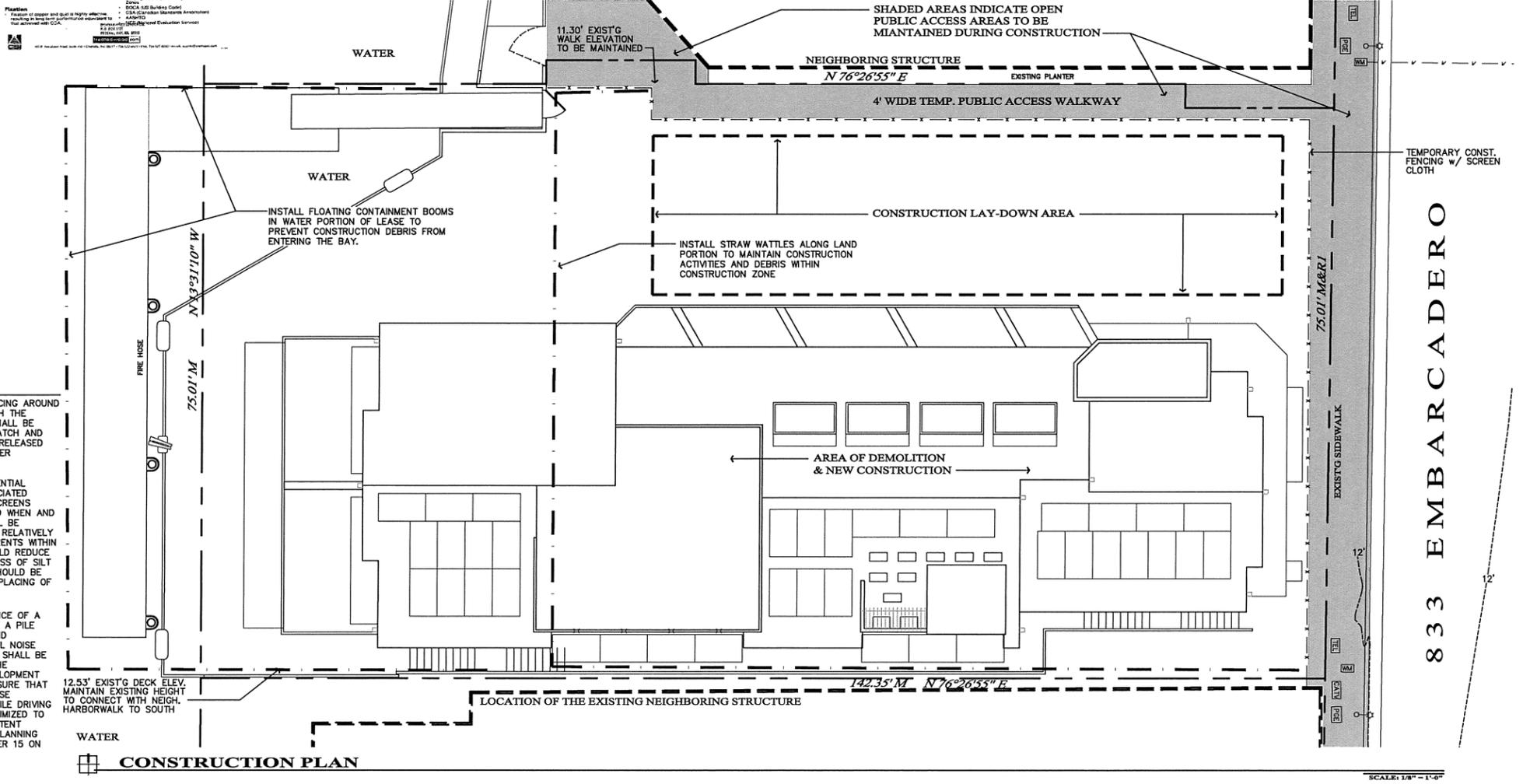
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STAMPS

CONSULTANTS



PROJECT
HARBORWALK PLAZA
RETAIL, RESTAURANT, HOTEL
FOR
LEASE SITE
87-88 / 87W-88W
833 EMBARCADERO MORRO BAY, CALIFORNIA

TLC FAMILY ENTERPRISES
TRAVIS LEAG & CHERISE HANSSON
665 KINGS AVENUE
MORRO BAY, CA 93442

DRAWING PHASE

CONSTRUCTION DOCUMENTS

Project No.	06-110
Drawn By	CPP
Dwg. Date	09/01/19
Updated	-
Scale	AS NOTED

REVISIONS

SHEET TITLE
CONSTRUCTION PLAN

SHEET NO.

A1.4



PUBLIC SEATING SIGNAGE

TO BE LOCATED ON THE NORTHERN AND SOUTHERN EDGES OF THE NEW PUBLIC SEATING COUNTER LOCATED AT WEST SIDE OF LEASE SITE.

SIGNAGE SHALL BE 24" WIDE x 18" HIGH METAL SIGN WITH IMAGES MOUNTED FLAT TO STRUCTURE (OR 4x4 POST) WITH WHITE BACKGROUND AND BLUE LETTERING.



PUBLIC BOARDWALK SIGNAGE

TO BE LOCATED AT THE NORTHERN AND SOUTHERN ENTRANCES TO THE HARBORWALK LOCATED AT THE WEST SIDE OF THE LEASE SITE.

SIGNAGE SHALL BE 24" WIDE x 18" HIGH METAL SIGN WITH IMAGES MOUNTED FLAT TO 4x4 POST WITH WHITE BACKGROUND AND BLUE LETTERING.



DOCK ACCESS SIGNAGE

TO BE LOCATED ON RAILING AT ENTRANCE TO DOCK GANGWAY

SIGNAGE SHALL BE 24" WIDE x 18" HIGH METAL SIGN WITH IMAGES MOUNTED FLAT TO 4x4 POST WITH WHITE BACKGROUND AND BLUE LETTERING.

ECOLOGY PANEL
TO BE LOCATED ALONG HARBORWALK RAILING

SIGNAGE SHALL BE 24" WIDE x 18" HIGH METAL SIGN WITH IMAGES MOUNTED ON RAIL TOP

INTERPRETIVE PANEL
TO BE LOCATED ALONG HARBORWALK RAILING

SIGNAGE SHALL BE 24" WIDE x 18" HIGH METAL SIGN WITH IMAGES MOUNTED ON RAIL TOP

"ECOLOGY PANEL"
TEXT/GRAPHICS RELATED TO LEED CERTIFICATION TO BE DETERMINED

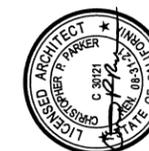
"INTERPRETIVE PANEL"
TEXT/GRAPHICS RELATED MORRO BAY'S HISTORY TO BE DETERMINED

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STAMPS



CONSULTANTS

PROJECT
HARBORWALK PLAZA
RETAIL, RESTAURANT, HOTEL
FOR
LEASE SITE
87-88 / 87W-88W
833 EMBARCADERO
MORRO BAY, CALIFORNIA

TLC FAMILY ENTERPRISES
TRAVIS LEAGE & CHERISE HANSSON
665 KINGS AVENUE
MORRO BAY, CA 93942

DRAWING PHASE

CONSTRUCTION DOCUMENTS

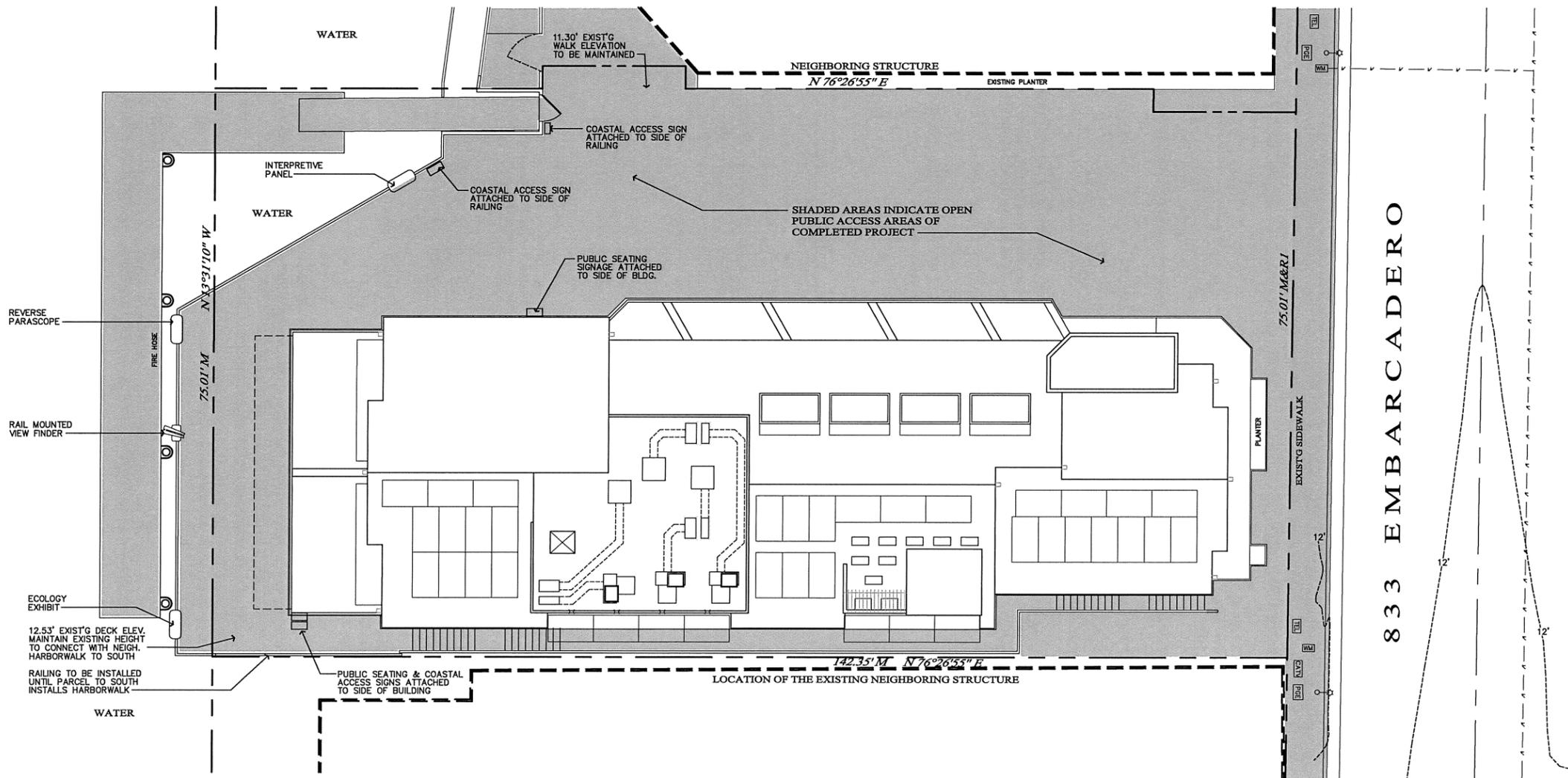
Project No.	06-110
Drawn By	CPP
Dwg. Date	09/01/19
Updated	-
Scale	AS NOTED

REVISIONS

SHEET TITLE
PUBLIC ACCESS PLAN

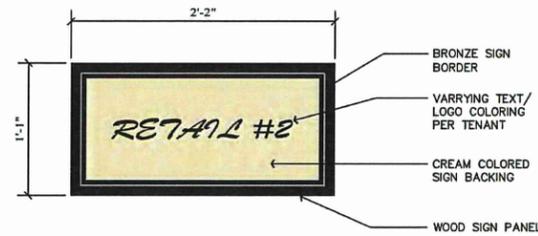
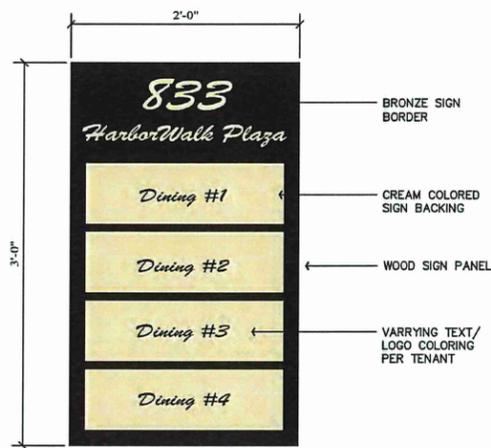
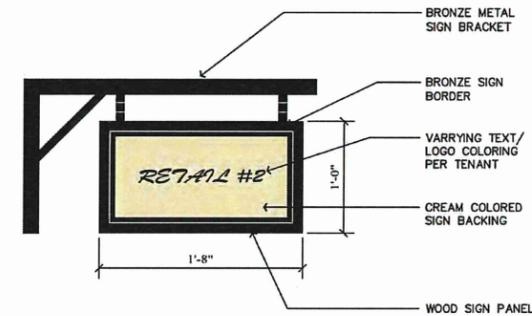
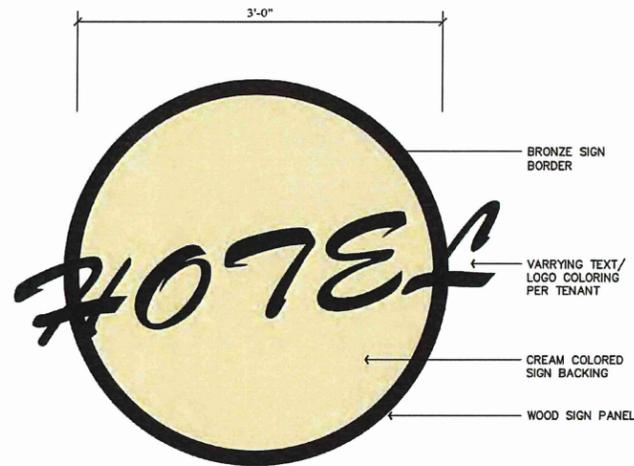
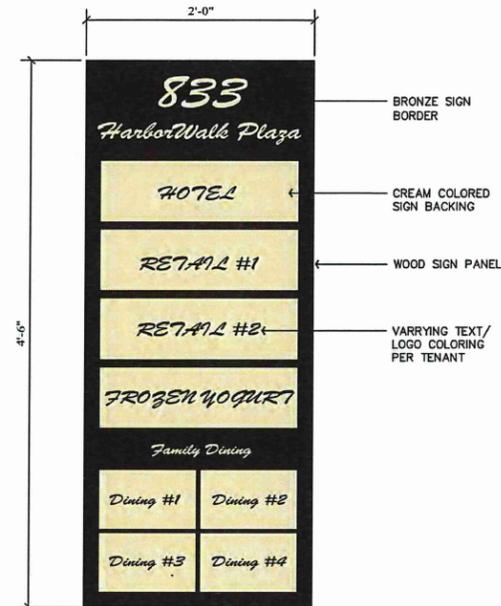
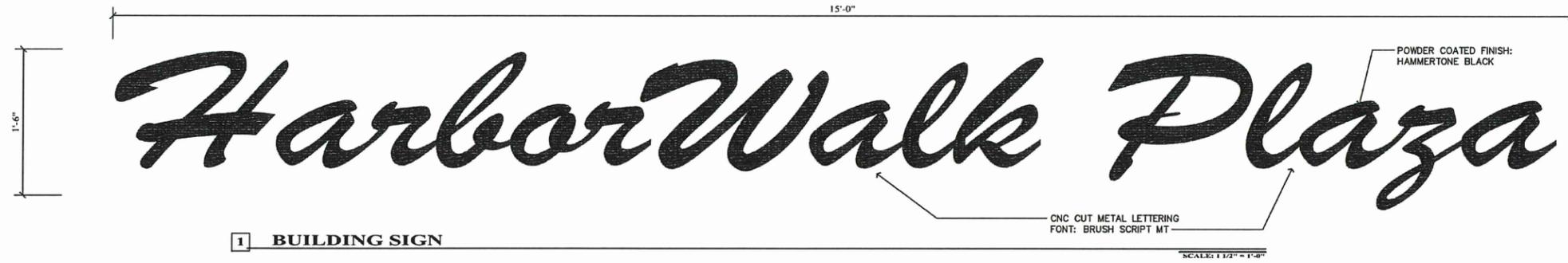
SHEET NO.

A1.5



PUBLIC ACCESS PLAN

SCALE: 1/8" = 1'-0"



REFER TO ELEVATIONS ON SHEET
A3.1 FOR SIGNAGE LOCATIONS

SIGNAGE CALCULATIONS:			QTY:	TOTAL:
1	BUILDING SIGN:	15' X 1'-6"	1	22.5 SQ. FT.
2	SUITES SIGN #1	2' X 4'-6"	1	9 SQ. FT.
3	HOTEL ROUND SIGN	3' DIA.	3	23.1 SQ. FT.
4	'PUB' STYLE SIGN	1'-8" X 1'	10	16.7 SQ. FT.
5	SUITES SIGN #2	2' X 3'	1	6 SQ. FT.
6	RETAIL WALL SIGN	2'-2" X 1'-1"	2	4.7 SQ. FT.
TOTAL PROPOSED				82 SQ. FT.

ALLOWABLE SIGNAGE: 75 LIN. FT. FRONTAGE X 1.5 = 112.5 SQ. FT.

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STAMPS



CONSULTANTS

PROJECT

**HARBORWALK
PLAZA**

RETAIL, RESTAURANT, HOTEL

FOR

LEASE SITE
87-88 / 87W-88W
833 EMBARCADERO
MORRO BAY, CALIFORNIA

TLC FAMILY ENTERPRISES
TRAVIS LEAGE & CHERISE HANSSON
665 KINGS AVENUE
MORRO BAY, CA 93442

DRAWING PHASE

**CONSTRUCTION
DOCUMENTS**

Project No.	06-110
Drawn By	CPP
Dwg. Date	09/01/19
Updated	-
Scale	AS NOTED

REVISIONS

SHEET TITLE
**SIGNAGE
PLAN**

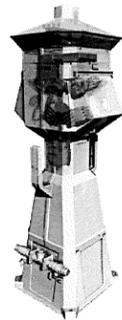
SHEET NO.

A1.6

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SYMBOL: □
UTIL./LIGHT PEDISTAL (DOCKS)

Eaton by Eaton:
Lighthouse Power Pedestal



- Beams**
 Each pedestal has two 100-watt, 1000-lumen LED beams. The beams are adjustable and can be directed in any direction. The beams are also dimmable and can be controlled via a remote control.
- Beacons**
 The pedestal has two 100-watt, 1000-lumen LED beacons. The beacons are adjustable and can be directed in any direction. The beacons are also dimmable and can be controlled via a remote control.
- LED Lighting**
 The pedestal has two 100-watt, 1000-lumen LED lights. The lights are adjustable and can be directed in any direction. The lights are also dimmable and can be controlled via a remote control.
- TVSS Surge Protection**
 The pedestal has two TVSS surge protectors. The surge protectors are adjustable and can be directed in any direction. The surge protectors are also dimmable and can be controlled via a remote control.
- Signal Mount Base**
 The pedestal has two signal mount bases. The signal mount bases are adjustable and can be directed in any direction. The signal mount bases are also dimmable and can be controlled via a remote control.
- Ground Fault Monitor & Relay**
 The pedestal has two ground fault monitors and relays. The ground fault monitors and relays are adjustable and can be directed in any direction. The ground fault monitors and relays are also dimmable and can be controlled via a remote control.

SYMBOL: ■
BOLLARD SITE LIGHTING (PLAY AREA)

55602 - Atlantis - 30" 8W 1 LED Bollard by Hinkley Lighting



- Specs**
- Height: 30.00"
- Width/Diameter (in): 3.00"
- # of Bulbs: 1
- Standard Wattage: 8W
- Bulb Type: LED
- Voltage Rating: 120V
- Material: Aluminum
- Optional Finishes: Yes
- Style and Option 1**
- Style: Bronze finish with Etched Lens Glass
- Item #: 55602-ABR-1BZ
- Price: From \$299.00
- Style and Option 2**
- Style: Titanium finish with Etched Lens Glass
- Item #: 55602-ABR-1T

SYMBOL: Ω
WALL LIGHTING (BUILDING)

SLANT - LED Outdoor Sconce WS-W14911



PRODUCT DESCRIPTION
 Covertly designed, minimalist lighting.

- FEATURES**
- Can be painted 100% for alternative mounting options
- No transformer or driver needed
- Color Temperature: 2700K
- CRI: 90
- Rated Life: 100,000 hours

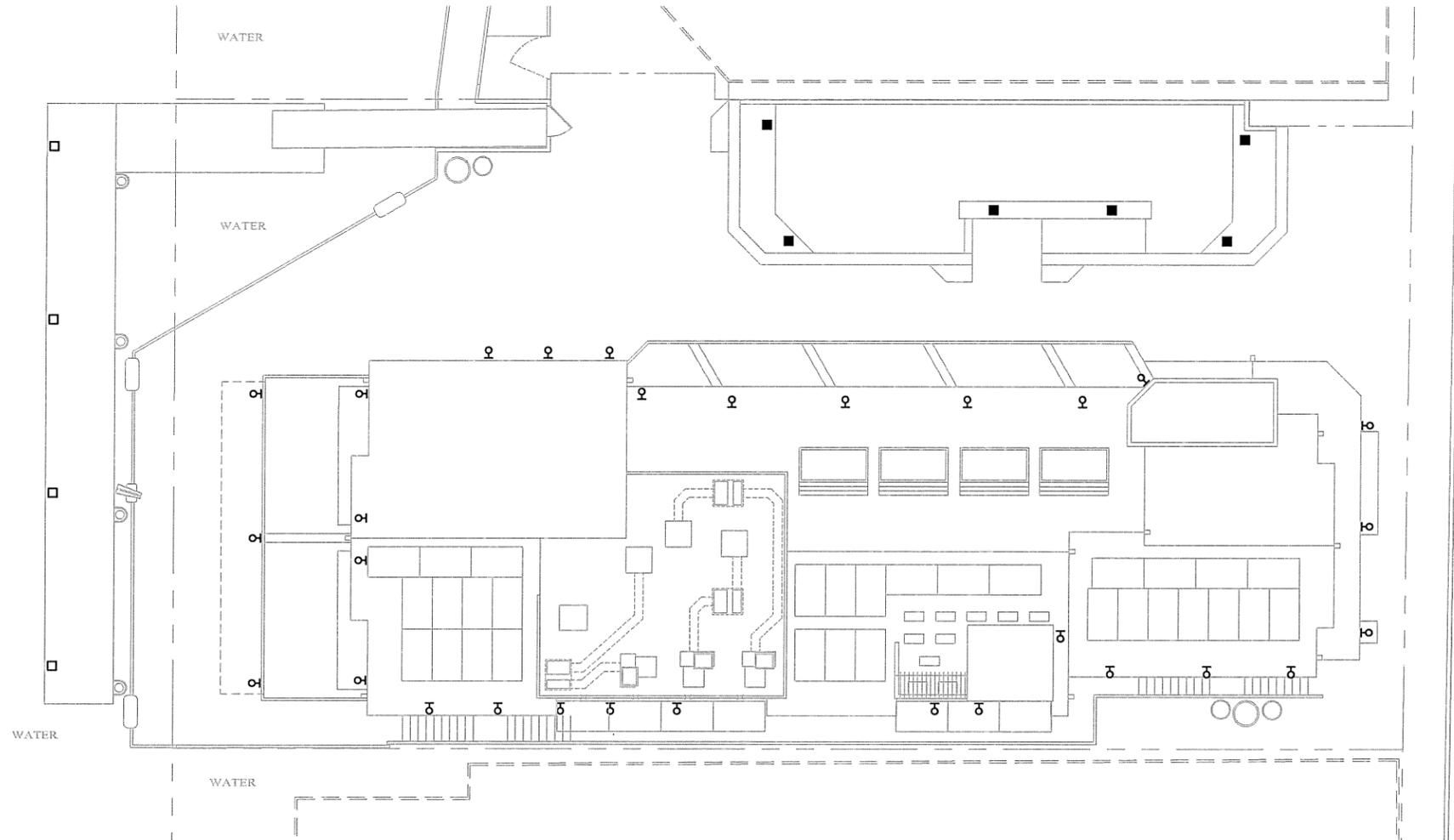
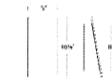
ORDER NUMBER

Model	Size	Watt	LED lumens	Delivered lumens	Finish
WS-W14911	1"	8	115	100	BR

Example: WS-W14911 BR

dweLED
 by WAC Lighting

- SPECIFICATIONS**
- Construction: Aluminum body with acrylic diffuser
- Input: 120V
- Dimming: 0/10V, 10% LTV
- Light Source: High-output LED
- Finish: Black (BK), Brushed Aluminum (BA)
- Manufacturer: WAC Lighting, 11111 E. West for other listed, AIAA Compliant, Title 24 (AB) 2016 Compliant



EXTERIOR LIGHTING PLAN

SCALE: 1/8" = 1'-0"

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STAMPS



CONSULTANTS

PROJECT
HARBORWALK PLAZA
 RETAIL, RESTAURANT, HOTEL
 FOR
LEASE SITE
87-88 / 87W-88W
 833 EMBARCADERO MORRO BAY, CALIFORNIA

TLC FAMILY ENTERPRISES
 TRAVIS LEAGE & CHERISE HANSSON
 665 KINGS AVENUE MORRO BAY, CA 93442

DRAWING PHASE

CONSTRUCTION DOCUMENTS

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Updated	-
Scale	AS NOTED

REVISIONS

SHEET TITLE
EXTERIOR LIGHTING PLAN

SHEET NO.

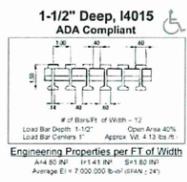
A1.7

FIBERGLASS GRATING

Safe-T-Span® Industrial Grating
Safe-T-Span® industrial grating is made of glass fibers and resin. It is available in 1/2" or 1" deep grating with a load capacity of 400, 500, or 600 lbs per sq. ft. depending on the thickness of the grating. It is available in 2' x 4' or 4' x 8' panels.

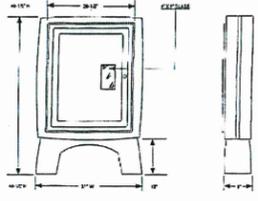
Safe-T-Span Resin Systems
Safe-T-Span resin systems are available in 1/2" or 1" deep grating with a load capacity of 400, 500, or 600 lbs per sq. ft. depending on the thickness of the grating. It is available in 2' x 4' or 4' x 8' panels.

Safe-T-Span Details



COLOR OF GRATING TO CHANGE AT AREAS OF PUBLIC SEATING TO DEPICT BORDER BETWEEN HARBORWALK AND TABLE AREAS

FIBERGLASS GRATING / DECKING



Available in Yellow, Red, or White.

FIBERGLASS FIRE HOSE CABINET
ITEM NO. 11-021R (Red), 11-021Y (Yellow), 11-021W (White)

This fire hose cabinet has set a standard for the industry. The door has glass knockout and opens 180° for quick access. It is constructed of high glass, long lasting fiberglass with a gel-coat finish, 1/8" minimum thickness. Holding 100 foot fire hose rack assembly with a fire extinguisher up to 10 pound size, it is equipped inside with 2" x 6" structural second verticals for rack installation. While the standard cabinet color is yellow, it is also available in red. We strongly recommend yellow as red has a tendency to fade. A coat of polish once a year will keep its good looks for years to come. We do not include the glass as it usually breaks during transportation. We recommend that you purchase tempered glass locally. However we can supply glass if you need it.

The cabinet can be placed dockside and free standing by securing at the base to the deck or placed against a wall for an even more secure installation.

DOCK FIRE HOSE



SAMPLE VIEWFINDER

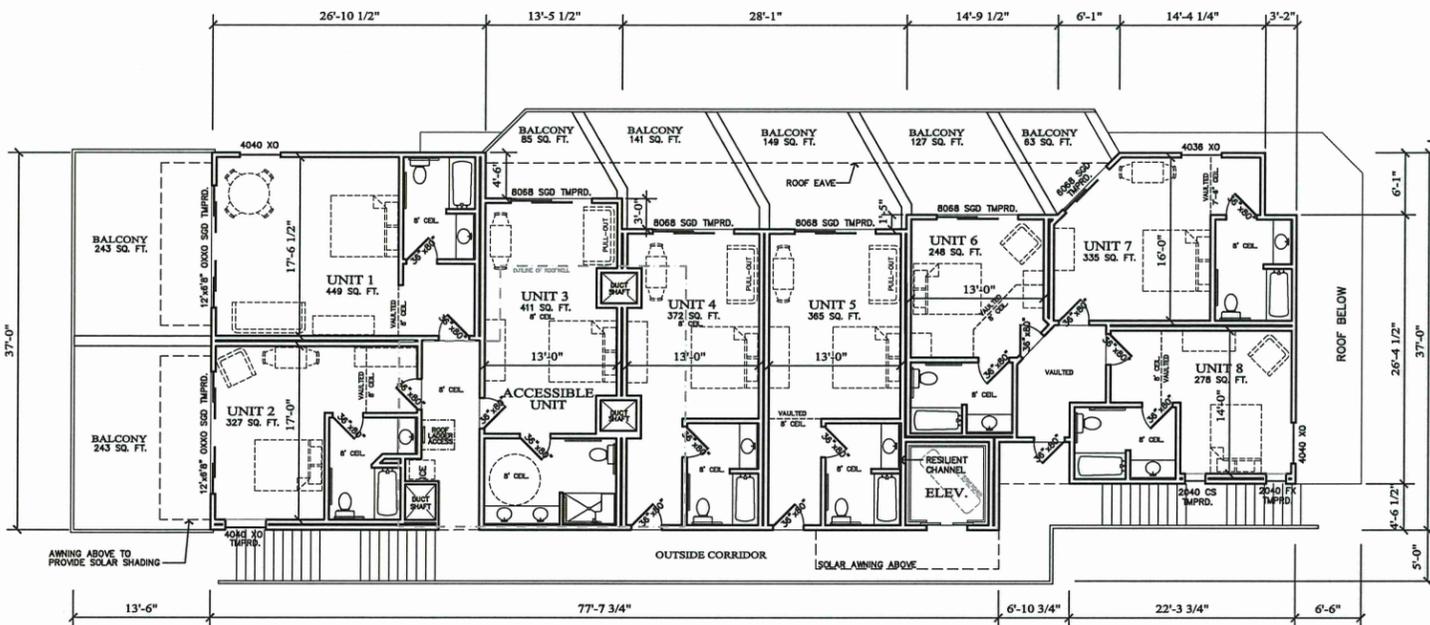
Eaton by Eaton: Lighthouse Power Pedestal



- Batteries**
Eaton's batteries are used in every piece of equipment on the water. They are designed to last for years and are easy to maintain.
- Receptacles**
Eaton's receptacles are used in every piece of equipment on the water. They are designed to last for years and are easy to maintain.
- LED Lighting**
Eaton's LED lighting is used in every piece of equipment on the water. They are designed to last for years and are easy to maintain.
- TVSS Surge Protection**
Eaton's surge protection is used in every piece of equipment on the water. They are designed to last for years and are easy to maintain.
- Digital Kilowatt Meter**
Eaton's digital kilowatt meter is used in every piece of equipment on the water. They are designed to last for years and are easy to maintain.
- Ground Fault Monitors & Relays**
Eaton's ground fault monitors and relays are used in every piece of equipment on the water. They are designed to last for years and are easy to maintain.

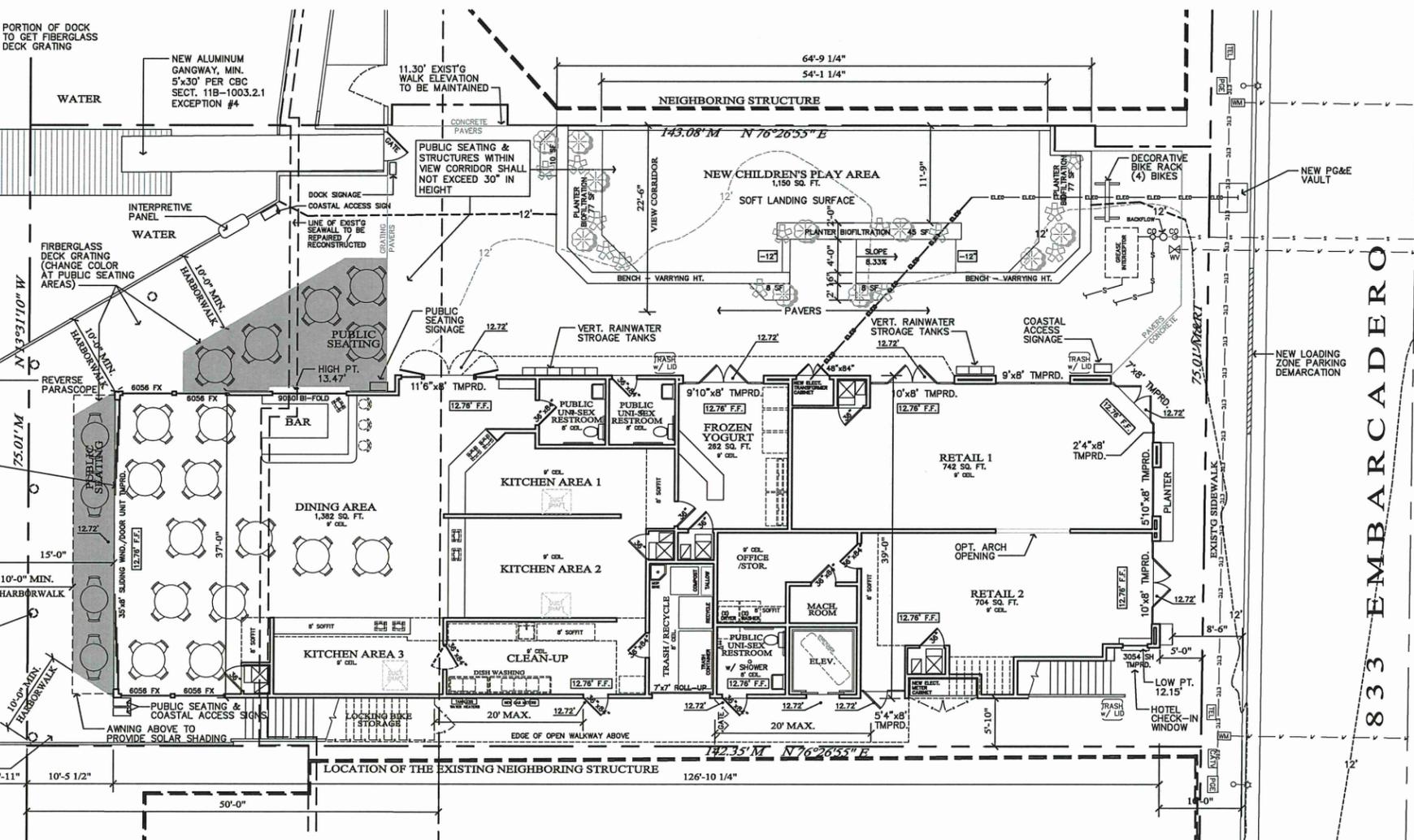
UTIL. / LIGHT PEDISTAL

PROPOSED SECOND FLOOR PLAN



SELF-CLOSING TRASH LID

SCALE: 1/8" = 1'-0"



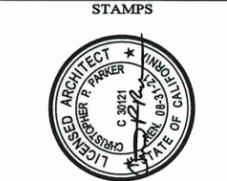
PROPOSED SITE / FLOOR PLAN

SCALE: 1/8" = 1'-0"

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CONSULTANTS

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HARBORWALK PLAZA
RETAIL, RESTAURANT, HOTEL
FOR
LEASE SITE
87-88 / 87W-88W
833 EMBARCADERO
MORRO BAY, CALIFORNIA

TLC FAMILY ENTERPRISES
TRAVIS LEAGUE & CHERISE HANSSON
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MORRO BAY, CA 93442

DRAWING PHASE
CONSTRUCTION DOCUMENTS

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Dwg. Date	09/01/19
Updated	
Scale	AS NOTED

REVISIONS

SHEET TITLE
PROPOSED FLOOR PLAN

SHEET NO.

A2.1

SIGNAGE LEGEND

1 NUMBER REFERS TO SIGN TYPE SHOWN ON SHEET A1.6

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STAMPS



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 FOR
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 833 EMBARCADERO
 MORRO BAY, CALIFORNIA

TLC FAMILY ENTERPRISES
 TRAVIS LEAGE & CHERISE HANSSON
 663 KINGS AVENUE
 MORRO BAY, CA. 93442

DRAWING PHASE

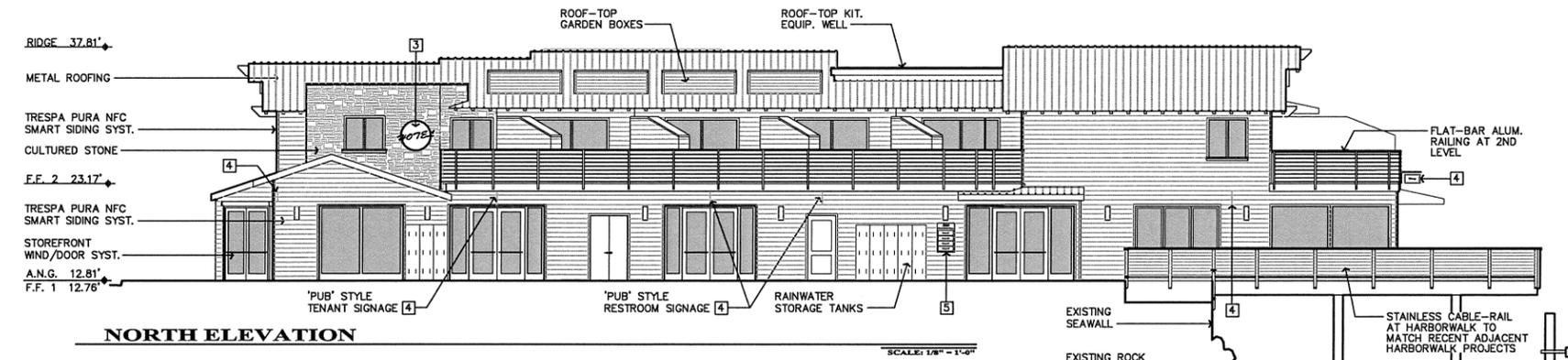
CONSTRUCTION DOCUMENTS

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Dwg. Date	09/01/19
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Scale	AS NOTED

REVISIONS

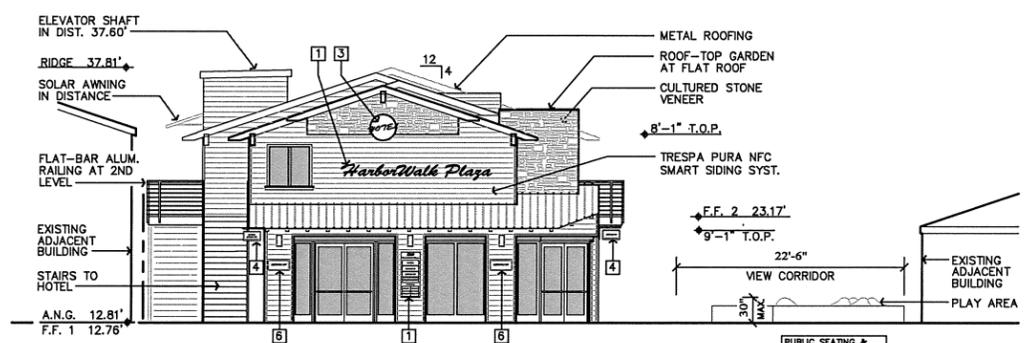
SHEET TITLE
EXTERIOR ELEVATIONS & BLDG. SECTION
 SHEET NO.

A3.1



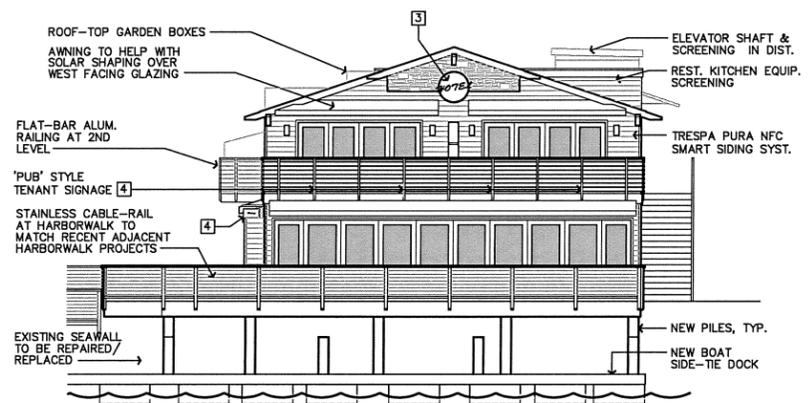
NORTH ELEVATION

SCALE: 1/8" = 1'-0"



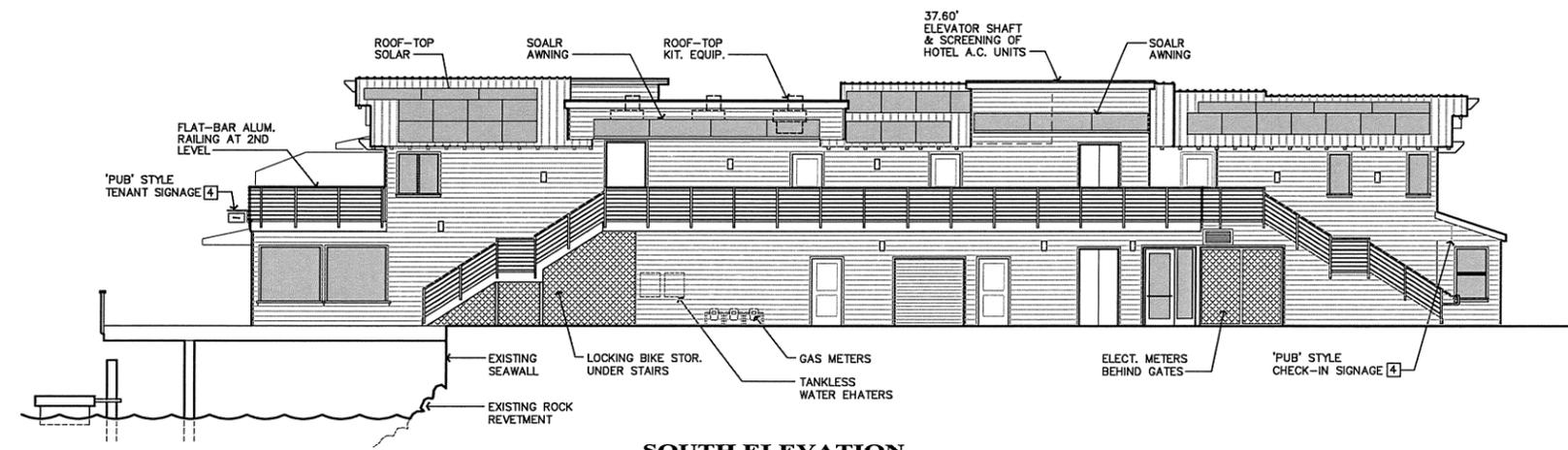
EAST ELEVATION

SCALE: 1/8" = 1'-0"



WEST ELEVATION

SCALE: 1/8" = 1'-0"



SOUTH ELEVATION

SCALE: 1/8" = 1'-0"

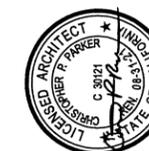
EXTERIOR LIGHTING: ALL EXTERIOR LIGHTING TO BE NIGHT SKY COMPLIANT BY BEING DOWNWARD FACING AND SHIELDED FROM ABOVE

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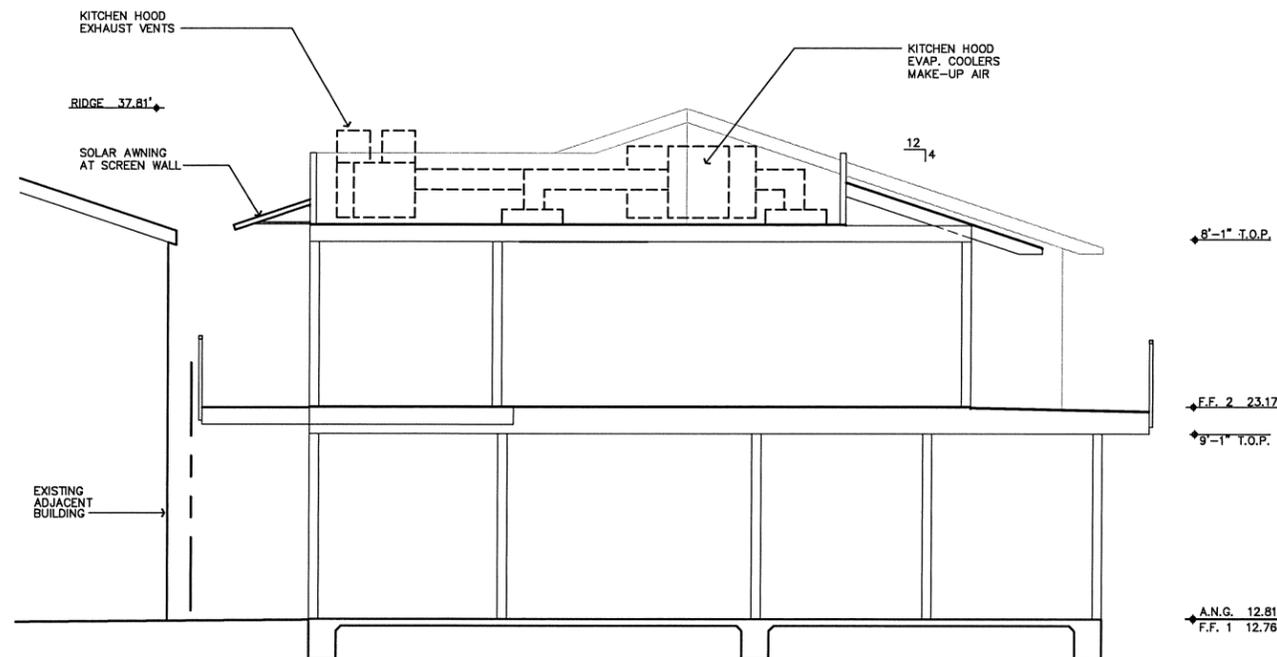
C. P. PARKER ARCHITECT

CHRISTOPHER P. PARKER ARCHITECT
 630 QUINTANA RD. #330
 MORRO BAY, CA 93442
 (805) 772-8700

STAMPS



CONSULTANTS



SECTION AT ROOF WELL

SCALE: 1/4" = 1'-0"

PROJECT

HARBORWALK PLAZA

RETAIL, RESTAURANT, HOTEL

FOR

LEASE SITE

87-88 / 87W-88W

833 EMBARCADERO
 MORRO BAY, CALIFORNIA

TLC FAMILY ENTERPRISES
 TRAVIS LEAGE & CHERISE HANSSON
 665 KINGS AVENUE
 MORRO BAY, CA 93442

DRAWING PHASE

CONSTRUCTION DOCUMENTS

Project No.	06-110
Drawn By	CPP
Dwg. Date	09/01/19
Updated	-
Scale	AS NOTED

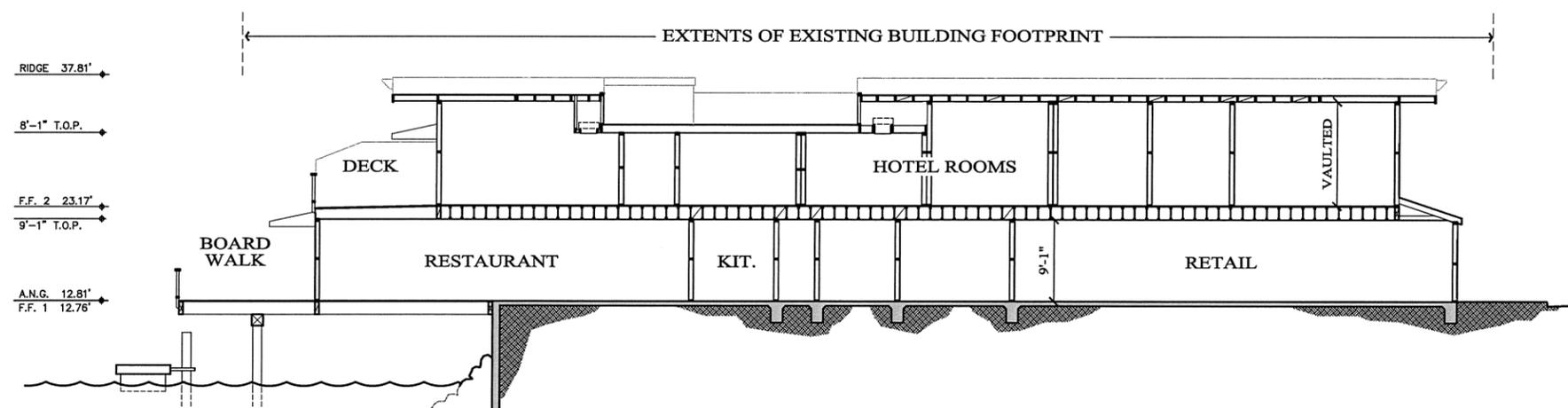
REVISIONS

SHEET TITLE

BUILDING SECTIONS

SHEET NO.

A3.2



BUILDING SECTION

SCALE: 1/8" = 1'-0"

ROOF-TOP PITCH CALCULATIONS:

TWO-STORY ROOF-TOP AREA:	4,178 SQ. FT.
ROOF-TOP WITH 4:12 PITCH:	80% 3,332 SQ. FT.
ROOF-TOP WITH 1/4":12 PITCH:	20% 846 SQ. FT.

LANDSCAPE CALCULATIONS:

LANDSCAPING AT GRADE:	248 SQ. FT.
LANDSCAPING IN POTS:	25 SQ. FT.
LANDSCAPING IN ROOF-TOP GARDENS:	260 SQ. FT.
	533 SQ. FT.

PLANTS	DESCRIPTION	SIZE	WATER USE
☀	VARIES SUCCULENTS - EXAMPLES SUCH AS ECHEVERIAS, VARIGATED AGAVES, ETHEREAL EUPHORBIAS, DWARF ALOES	VARIES	LOW
☼	OENOTHERA CALIFORNICA (CALIFORNIA PRIMROSE)	4" POT	LOW
☼	ERIOGONUM GRANDE VAR. RUBESCENS (SAN MIGUEL ISLAND BUCKWHEAT)	1 GAL.	LOW
☼	ERGERON GLAUCUS (SEASIDE DAISY)	1 GAL.	LOW
☼	FESTUCA CAL. "SERPENTINE BLUE" (CALIFORNIA FESCUE)	1 GAL.	LOW
☼	MUHLENBERGIA RIGENS (DEER GRASS)	1 GAL.	LOW
○	GARDEN / PLANTING POT	15 - 25 GALLON	
	MIX OF SUCCULENTS SPREAD THROUGHOUT SITE LANDSCAPE	VARIES	LOW

WATER CONSERVATION

- CORRECTLY LOCATE IRRIGATION VALVE CIRCUITS TO CORRESPOND TO HYDROZONES.
- NO TURF TO BE USED ON PROJECT.
- IRRIGATION VALVE CIRCUITS TO ACHIEVE MATCHED PRECIPITATION RATES THROUGH HYDROZONES.
- USE OF DROUGHT TOLERANT PLANTS IN LANDSCAPE BEDS.
- USE OF DEEP LAYER MULCH IN PLANTING BEDS.
- USE OF DRIP SYSTEM TO CONSERVE WATER.
- USE OF RAIN SENSORS TO TURN-OFF IRRIGATION SYSTEM DURING INCLEMENT WEATHER.
- WATER RE-USE / GRAY WATER SYSTEM

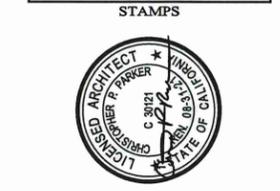
CONCRETE FORMED POTS
WELLS CONCRETE WORKS - LOS OSOS, CALIF. COLOR: TAN



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CONSULTANTS

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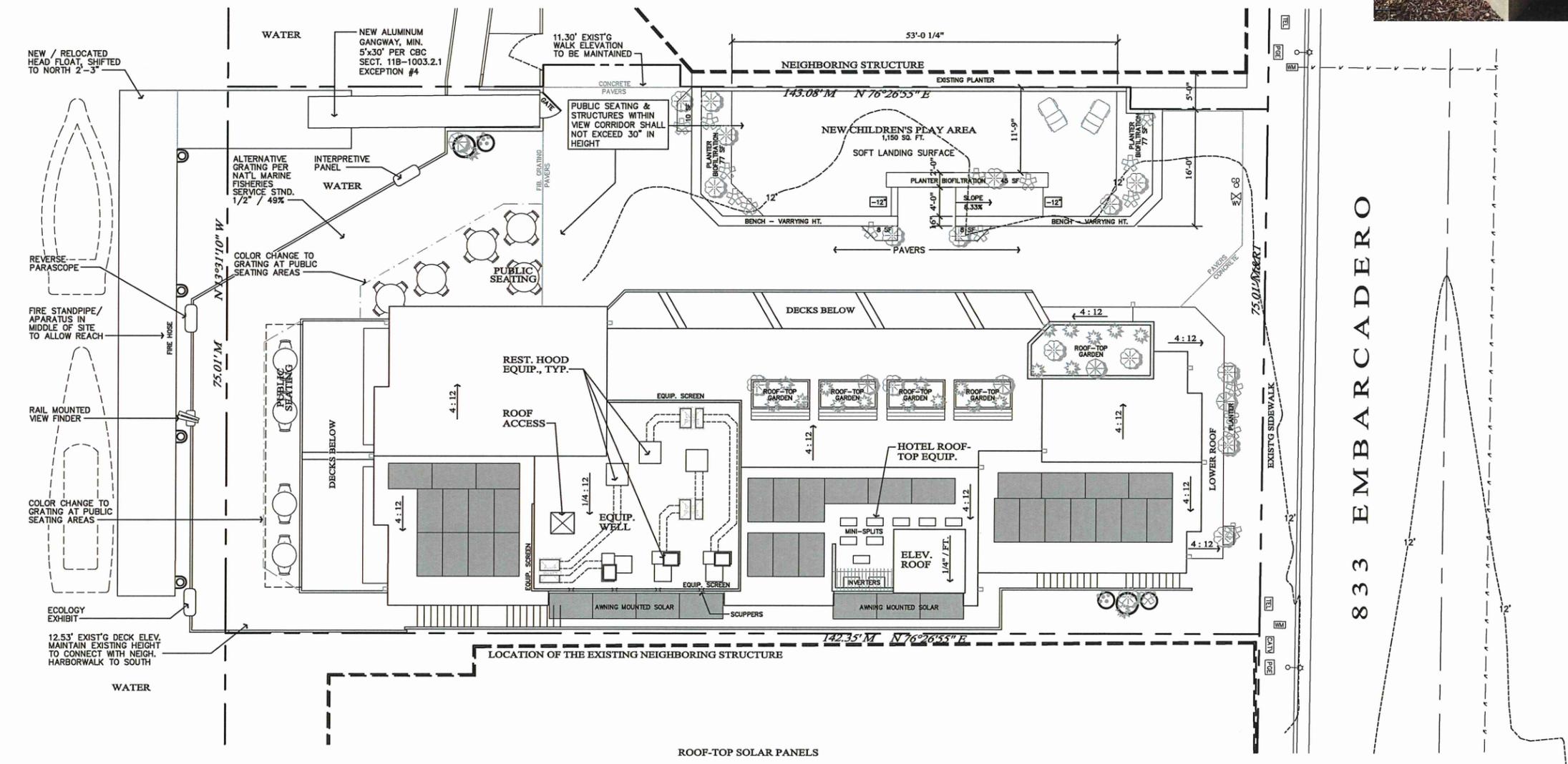
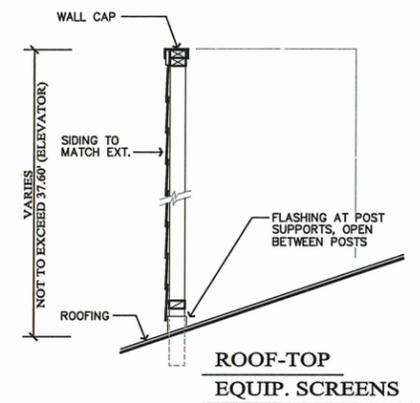
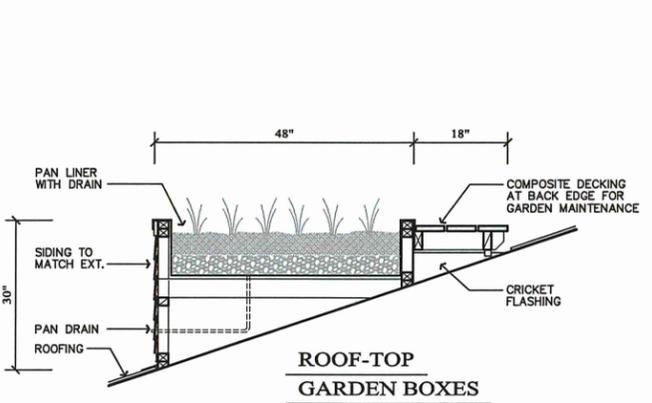
DRAWING PHASE
CONSTRUCTION DOCUMENTS

Project No.	06-110
Drawn By	CPP
Dwg. Date	09/01/19
Updated	-
Scale	AS NOTED

REVISIONS

SHEET TITLE
ROOF & LANDSCAPE PLAN

SHEET NO.



833 EMBARCADERO

SCALE: 1/8" = 1'-0"