



# CITY OF MORRO BAY PLANNING COMMISSION AGENDA

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*The City of Morro Bay provides essential public services and infrastructure to maintain a safe, clean and healthy place for residents and visitors to live, work and play.*

**Regular Meeting -Tuesday, April 7, 2020  
Veteran's Memorial Building – 6:00 P.M.  
209 Surf Street, Morro Bay, CA**

Vice-Chairperson Jesse Barron  
Commissioner Michael Lucas

Chairperson Gerald Luhr

Commissioner Joseph Ingraffia  
Commissioner Susan Stewart

ESTABLISH QUORUM AND CALL TO ORDER

PLANNING COMMISSIONER ANNOUNCEMENTS

PUBLIC COMMENT PERIOD

*Pursuant to Section 3 of Executive Order N-29-20, issued by Governor Newsom on March 17, 2020, this Planning Commission Meeting will be conducted telephonically through Zoom and broadcast live on Cable Channel 20 and streamed on the City website (click [here](#) to view). Please be advised that pursuant to the Executive Order, and to ensure the health and safety of the public by limiting human contact that could spread the COVID19 virus, the Planning Commission Chambers will not be open for the meeting.*

Public Participation:

*In order to prevent and mitigate the effects of the COVID-19 pandemic, and limit potential spread within the City of Morro Bay, in accordance with Executive Order N-29-20, the City will not make available a physical location from which members of the public may observe the meeting and offer public comment. Remote public participation is allowed in the following ways:*

- Community members are strongly encouraged to submit agenda correspondence in advance of the meeting and watch the meeting live on either cable Channel 20 or as streamed on the City's [website](#). Agenda correspondence received by the Community Development Department office prior to the meeting will be published on the City website with a final update one hour prior to the meeting start time. Agenda correspondence received less than an hour before the meeting start time may not be posted until after the meeting.*
- If you would like to speak under the general Public Comment Period or under the comment period for a specific agenda item please use the following information to call in at the beginning of the meeting. You will be placed in a queue until the Chair opens public comment for items on the meeting agenda. Each speaker will be allowed three minutes for public comment.*

**Public Comment call-in: 1(818) 794-7004  
Show #2607  
Guest PIN #464192**

PRESENTATIONS

A. CONSENT CALENDAR

**A-1** Current and Advanced Planning Processing List  
**Staff Recommendation:** Receive and file.

**A-2** Approval of minutes from the Planning Commission meeting of February 4, 2020.  
**Staff Recommendation:** Approve minutes as submitted.

B. PUBLIC HEARINGS

**B-1** **Case No.:** CUP20-02/CDP19-009  
**Site Location:** 1930 Main Street, Morro Bay, CA  
**Project Description:** Coastal Development Permit (CDP19-009) and a Conditional Use Permit (CUP20-02) to allow a small 7-unit mobile home park on a currently underutilized site. The proposed project includes a mixed of commercial and residential uses with 4 hotels and 3 long-term residential units, meeting the intent of the zoning district. The long-term residential units will include 2 deed restricted affordable residential units and one manager's residence. All structures will be meet the Housing and Community Development criteria for mobile units, which includes Park Model homes. The project is in the MCR/R 4/PD/SP zoning district and is not located in the Coastal Commission Appeals Jurisdiction  
**CEQA Determination:** Categorically Exempt, Section 15304  
**Staff Recommendation:** Approve with conditions  
**Staff Contact:** Nancy Hubbard, Contract Planner (805) 772-6211, [nhubbard@morrobayca.gov](mailto:nhubbard@morrobayca.gov)

**B-2** **Case No.:** CUP19-21 and PKG20-01  
**Site Location:** 2820 Greenwood Avenue, Morro Bay, CA  
**Project Description:** Request for a Conditional Use Permit (CUP19-21) and Parking Exception (PKG20-01) for a 72 sf deck addition and a 211 sf hall and stairway addition to an existing 1,396 sf non-conforming single-family home. The project has an existing non-conforming parking situation where two cars can park open and uncovered in the driveway. The site is a single-family residential property located at 2820 Greenwood Avenue in an R-1/S.2 zone. The project is outside the Coastal Commission appeal jurisdiction.  
**CEQA Determination:** Categorically Exempt, Section 15301, Class 1(e)  
**Staff Recommendation:** Conditionally approve  
**Staff Contact:** Willow Urquidi, Assistant Planner, (805) 772-6270, [wurquidi@morrobayca.gov](mailto:wurquidi@morrobayca.gov)

**B-3** **Case No.:** PAR20-01 and CDP19-046  
**Site Location:** 675 Paula Street and 2560 Ironwood Avenue, Morro Bay, CA  
**Project Description:** Request for a Tentative Parcel Map 19-0112 and Coastal Development Permit for a parcel split at the corner of Paula Street and Ironwood Avenue (APN 068-242-004). Parcel 1 would include the existing single-family residence, and the single-family residence on parcel 2 is proposed to be demolished as a part of this Coastal Development Permit. Parcel 1 would be 8,008 sf, and parcel 2 would be 6,812 sf. The parcel is zoned R-1/S.2 and is located outside the Coastal Commission Appeal Jurisdiction.  
**CEQA Determination:** Categorically Exempt, Section 15315, Class 15 and Section 15301, Class I(1)  
**Staff Recommendation:** Conditionally approve

**Staff Contact:** Willow Urquidi, Assistant Planner, (805) 772-6270,  
[wurquidi@morrobayca.gov](mailto:wurquidi@morrobayca.gov)

C. NEW BUSINESS

D. UNFINISHED BUSINESS

E. PLANNING COMMISSIONER COMMENTS/FUTURE AGENDA ITEMS

F. COMMUNITY DEVELOPMENT DIRECTOR COMMENTS

G. ADJOURNMENT

Adjourn to the next regular Planning Commission meeting at the Veteran's Memorial Building, 209 Surf Street, on April 21, 2020 at 6:00 p.m.

### **PLANNING COMMISSION MEETING PROCEDURES**

This Agenda is subject to amendment up to 72 hours prior to the date and time set for the meeting. Please refer to the Agenda posted at the Community Development Department, 955 Shasta Avenue, for any revisions, or call the Department at 805-772-6264 for further information.

Written testimony is encouraged so it can be distributed in the Agenda packet to the Commission. Material submitted by the public for Commission review prior to a scheduled hearing should be received by the Planning Division at the Community Development Department, 955 Shasta Avenue, no later than 5:00 P.M. the Tuesday (eight days) prior to the scheduled public hearing. Written testimony provided after the Agenda packet is published will be distributed to the Commission but there may not be enough time to fully consider the information. Mail should be directed to the Community Development Department, Planning Division.

Materials related to an item on this Agenda are available for public inspection during normal business hours in the Community Development Department, or the Morro Bay Library, 695 Harbor, Morro Bay, CA 93442. Materials related to an item on this Agenda submitted to the Planning Commission after publication of the Agenda packet are available for inspection at the Community Development Department during normal business hours or at the scheduled meeting.

This Agenda may be found on the Internet at: [www.morrobayca.gov/planningcommission](http://www.morrobayca.gov/planningcommission) or you can subscribe to Notify Me for email notification when the Agenda is posted on the City's website. To subscribe, go to [www.morrobayca.gov/notifyme](http://www.morrobayca.gov/notifyme) and follow the instructions.

The Brown Act forbids the Commission from taking action or discussing any item not appearing on the agenda, including those items raised at Public Comment. In response to Public Comment, the Commission is limited to:

1. Responding to statements made or questions posed by members of the public; or
2. Requesting staff to report back on a matter at a subsequent meeting; or
3. Directing staff to place the item on a future agenda. (Government Code Section 54954.2(a))

Commission meetings are conducted under the authority of the Chair who may modify the procedures outlined below. The Chair will announce each item. Thereafter, the hearing will be conducted as follows:

1. The Planning Division staff will present the staff report and recommendation on the proposal being heard and respond to questions from Commissioners.
2. The Chair will open the public hearing by first asking the project applicant/agent to present any points necessary for the Commission, as well as the public, to fully understand the proposal.
3. The Chair will then ask other interested persons to come to the podium to present testimony either in support of or in opposition to the proposal.
4. Finally, the Chair may invite the applicant/agent back to the podium to respond to the public testimony. Thereafter, the Chair will close the public testimony portion of the hearing and limit further discussion to the Commission and staff prior to the Commission taking action on a decision.

## **APPEALS**

If you are dissatisfied with an approval or denial of a project, you have the right to appeal this decision to the City Council up to 10 calendar days after the date of action. Pursuant to Government Code §65009, you may be limited to raising only those issues you or someone else raised at the public hearing described in this notice, or in written correspondence delivered to the Commission, at, or prior to, the public hearing. The appeal form is available at the Community Development Department and on the City's web site. If legitimate coastal resource issues related to our Local Coastal Program are raised in the appeal, there is no fee if the subject property is located within the Coastal Appeal Area. If the property is located outside the Coastal Appeal Area, the fee is a \$277 flat fee. If a fee is required, the appeal will not be considered complete if the fee is not paid. If the City decides in the appellant's favor then the fee will be refunded.

City Council decisions may also be appealed to the California Coastal Commission pursuant to the Coastal Act Section 30603 for those projects that are in their appeals jurisdiction. Exhaustion of appeals at the City is required prior to appealing the matter to the California Coastal Commission. The appeal to the City Council must be made to the City and the appeal to the California Coastal Commission must be made directly to the California Coastal Commission Office. These regulations provide the California Coastal Commission 10 working days following the expiration of the City appeal period to appeal the decision. This means that no construction permit shall be issued until both the City and Coastal Commission appeal period have expired without an appeal being filed. The Coastal Commission's Santa Cruz Office at (831) 427-4863 may be contacted for further information on appeal procedures.

In compliance with the Americans with Disabilities Act, if you need special assistance to participate in this meeting, please contact the Community Development Department at (805) 772-6264. Notification 24 hours prior to the meeting will enable the City to make reasonable arrangements to ensure accessibility to this meeting.



City of Morro Bay  
 Community Development Department  
 Current & Advanced Project Tracking Sheet  
 This tracking sheet shows the status of the work being processed by the Planning & Building Divisions  
 New Planning items or items recently updated are highlighted in yellow.

Agenda No: A-1

Meeting Date April 7, 2020

Approved projects are deleted on next version of log.

#	Applicant/ Property Owner	Project Address	Application Date	Permit Numbers	Project Description/Status	Planning Comments and Notations	Building/Fire Comments and Notations	Engineering Comments and Notations	Harbor/Admin Comments and Notations	Project Planner
<b>Hearing or Action Ready Projects:</b>										
1	Santoanni	675 Paula Street	12/19/19	PAR20-01 and CDP19-046	<b>Tentative Parcel Map and CDP. Application to split 14,820sf parcel into two lots and proposed demolition of an existing SFR</b>	Under review. Correction letter sent 1/15/20. Site Noticed. To be reviewed by PC on 4/7/20.				wu
2	Novick	2820 Greenwood	12/31/19	CUP19-21	<b>Enclosing exterior access to upstairs on 2nd floor</b>	Under review. Site noticed. To be reviewed by PC on 4/7/20				wu
3	Borges	1930 Main Street	4/11/19	CDP19-009	<b>Conditional Use Permit for new mobile home park with mixed vacation rentals and long term rentals, with managers dwelling unit (permanent construction)</b>	Deemed incomplete 5/13/19. Resubmittal received 12/5/19, under reiew. Comment letter sent 12/13/19, resubmittal requested. Deemed complete, scheduled for PC on April 7, 2020				nh
4	Cleath	2790 Main Street	12/5/19	CUP19-17 / CDP19-044	<b>CDP and CUP for New 8 unit hotel</b>	Correction letter sent December 20, 2019. Resubmittal received January 9 2020, under review. Tentatively scheduled for PC on April 21, 2020.				nh
5	Simmons	3029 Beachcomber	12/17/19	CUP19-19/CDP19-045	<b>New single family home adjacent to the dunes. Home is 2078 sf with a 713 sf garage on an L shaped lot</b>	Completeness letter sent 3/12/20. Scheduled for PC hearing on April 21, 2020.				nh
6	HASLO	405 Atascadero Road	9/24/19	CUP19-12/ PKG19-05/ CDP	<b>Conceptual review of a proposed 35 unit affordable housing project, with community space</b>	Scheduled for Planning Commission for conceptual review 11/5/19. PC provided input, waiting for resubmittal. Project deemed complete. Waiting for MND public draft circulation - 3/6 through 4/6/2020 prior to scheduling PC hearing.		PN-Conditionally Approved 10/10/2019		NH
7	Angelucci	953 Pacific	8/20/19	CUP19-10	<b>459 sf 2nd story addition, new 246 sf detached garage with auto lift, 167 sf 2nd story deck, and 87 sf 2nd story view deck off of garage.</b>	Submittal under review. Correction letter sent 9/19/19. Resubmittal under review. Discussed issues with garage setback with Applicant. Letter from soils engineer under review. Resubmittal 12/5/19 under review. Deemed complete. Project requires additional environmental review. Scheduled for 4/21/20 PC Meeting.		PN- Conditionally Approved 9/10/2018		wu
8	Redican	725 Embarcadero	2/21/20	MIN20-001	<b>Minor Modification to UP0-359/A00-041 planning permit. Relocation of lower floor hotel lobby from south to north elevation. Modification to bayside roof (west elevation) and redesign of pilings and mechanical system.</b>	Under review. Project does not change any existing conditions and is consistent with original approvals. Request noticed for pending administrative action on 3-19-20.				cj
<b>30 -Day Review, Incomplete or Additional Submittal Review Projects:</b>										
9	Olsen	2290 Juniper	3/13/20	CDP20-004	<b>Interior space conversion into a 468 sf ADU. No expansion of the existing home. Redesign of front stairway to provide better access to ADU.</b>	Submittal under review.				nh

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10	Wilkie	476 Hill Street	3/25/20	CDP20-005	<b>ADU - Conversion of existing attached garage to a 344 sf Accessory Dwelling Unit.</b>	Submittal under review.				wu
11	Shorey	1110 Marengo	12/20/19	CDP19-048	<b>Coastal Development Permit for a new 2-story home behind an existing home which will be expanded by 450 sf.</b>	Project deemed incomplete, comment letter sent January 7, 2020. Resubmittal received 3/10/20, under review.				nh
12	Bean	Unaddressed Main Street (AKA 199 Sandpiper Court)	12/19/19	CUP19-20, CDP19-047	<b>CUP/CDP for new home on triangular small parcel on the bluff. Proposed home is 526 sf 2-stories with access easement to Main Street</b>	Project deemed incomplete, comment letter sent January 7, 2020 Biological and ESHA setback reports received 3/9/20, under review.				nh
13	Brebes	495 Driftwood	6/14/19	CDP19-022/PKG19-07	<b>New duplex residential units - attached 2 story buildings with 2 car garages.</b>	Project deemed incomplete 12/31/19. Waiting for resubmittal.				nh
14	Lawrence	2590 Hemlock Ave	10/25/19	CDP19-040	<b>Admin CDP for Demo of existing residence, rebuild new with ADU.</b>	Submittal under review. Correction letter sent 11/25/19.				wu
15	Gambriel	571 Embarcadero	10/14/19	MAJ19-006	<b>Major Modification to CUP Amendment for proposed public access improvements, dock and gangway realignment, conversion of 2nd floor to hotel units and request for 1st floor ADA accessible hotel unit</b>	CUP Amendment reviewed by PC on 12/18/18. Major Modification Request under review. Submitted correction response letter 11/13/19. cj		PN-Conditionally Approved 10/16/2019		cj
16	Rhine LP/Morro 94	3300 Panorama	8/20/19	MAJ 19-005	<b>After the fact permit application for removal of 3 sheds and possible siding treatment for transformer building.</b>	Submittal is under review. Deemed incomplete 8-29-19. Resubmitted information received, applicant to complete all close out requirements prior to scheduling PC hearing.				nh
42	Cleary	1282 and 1290 Embarcadero Road	5/23/19	CDP19-016	<b>CDP for removal of major vegetation.</b>	Submittal is under review. Correction letter sent 6/10. Awaiting resubmittal.				wu
43	Eisemann	535 Atascadero Road	3/7/19	PAR19-01	<b>Final Parcel map</b>	Submittal is under review. Planning disapproved 3/14/19. Resubmittal disapproved on May 14, 2019. Resubmittal received, review comments provided 6-5-19. Disapproved 11-5-19. Waiting for revised submittal to remove improvements not requested by CalTrans		PN- Disapproved 11-6-2019		nh
44	Najarian	1339 Berwick	11/30/18	CDP 18-014	<b>Admin CDP for new construction of SFR and ADU with attached garage</b>	Application deemed incomplete, comments sent to applicant on 12/27/18. Followed up with application 2/3/20, applicant is planning on a resubmittal.				nh
45	Fields	731 Butte	6/14/18	CP0-582/UP0-534	<b>CDP and CUP for Multi-Family residences. A 1,500 sq. ft. manufactured residence, a 448 sq. ft. studio unit above a 441 sq. ft. garage with an attached 220 sq. ft. carport</b>	Under Initial Review. Correction letter sent 7/11/18. Resubmitted 10/22/18. Correction Letter sent 11/14. Followed up with applicant 2/3/20 - no response.				nh
46	T-Mobiile	1478 Quintana	2/26/18	A00-056	<b>Modification to UP0-052/CP0-073 for upgrade to existing wireless site</b>	Under initial review. Correction Letter sent 3/30. Unauthorized work completed by owner. Spoke with the agent 11/5 about process moving forward. Spoke with agent again 2/7. Resubmittal 2/26. Correction letter sent 3/13. Awaiting resubmittal. Update: Project determined to only require building permit.		JW approved		wu

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47	Morgan	101 Fig St.	4/12/17	UP0-476	<b>Conceptual Review of New SFR with accessory unit. Existing historical structure on lower level.</b>	PC Conceptual Review 5/16/17. Applicant evaluating whether to pursue project. Project Inactive as of 10/2018. Followed up with applicant 2/3/20 to see if they want to continue this application, no response.		PN-Conditionally approved 5/11/17		nh
<b>Projects Appealed to Planning Commission or PC Continued projects:</b>										
48	State Parks - Mike Walgren	11 State Park Road	8/20/18	CDP 18-004, CUP18-04	<b>Coastal Development Permit &amp; Conditional Use Permit to install modular building for office space, parking and landscape improvements at Morro Bay State Park</b>	Submitted on 8-20-18. Deemed incomplete 9.10.18. Applicant to resubmit plans. Plans resubmitted with additional information on 10-26-18. Project deemed complete. Scheduled for PC on December 18, 2018. Continued to date uncertain by PC on 12/18/18. Applicant to provide additional information. Followed up with applicant 2/3/20 - they are waiting for reports prior to resubmittal.		PN- Approved 9/4/2018		nh
49	City of Morro Bay	End of Nutmeg	1/18/12	UP0-344	<b>Environmental documents for Nutmeg Tanks.</b> Permit number for tracking purposes only County issuing permit. Demo existing and replace with two larger reservoirs. City handling environmental review	KW--Environmental contracted out to SWCA estimated to be complete on 4/27/2012. SWCA submitted draft I.S. to City on May 1, 2012. MR-Reviewed MND and met with SWCA to make corrections. In contact with County Environmental Division for their review. MND received by SWCA on 10/7/12. MND out for public notice and 30 day review as of 11/19/12. 30 day review ends on 12/25/12. No comments received. Scheduled for 1/16/13 Planning Commission meeting and then to be referred back to SLO County. Planning Commission continued this item to address concerns regarding traffic generated from the removal of soil. In applicant's court, they are addressing issues brought up by neighbors during initial P.C. meeting. Project has been redesigned and will be going forward with concrete tanks. Modifications to the MND are in process. Neighborhood meeting conducted with Engineering on 9/27/2013. Revising project description and MND.	No review performed.	BCR- Needs new MND for concrete tank, less truck trips.Neighborhood mtg held 9/27. Neighbors generally support new design that reduces truck trips by 80%. Concrete batch plant set up on site will further reduce impact. 5/5/14 - Cannon contract signed to finish permit phase. Construction will be delayed to FY15/16		cj
<b>Projects Appealed or Forwarded to City Council:</b>										
50	City of Morro Bay	Citywide	6/19/13	A00-015	<b>Sign Ordinance Update.</b> Text Amendment Modifying Section 17.68 "Signs"	Text Amendment Modifying Section 17.68 "Signs". Planning Commission reviewed 5/17/2010. Item heard at 5/24/11 City Council Meeting. Interim Urgency Ordinance approved to allow projecting signs. PC reviewed 2/7/2011. Workshops scheduled 9/29/11 & 10/6/11 .City Council 12/13/11. Continued to 1/10/12 CC meeting. PC reviewed 5/2/2012. Update due to City Council in June 2013. Draft Sign Ordinance reviewed by PC on 6/19/13 & 7/3/13. PC has reviewed Downtown, Embarcadero, and Quintana Districts as well as the Tourist-Oriented Directional Sign Plan. 8/21/13 Final Draft of Sign Ordinance approved at 9/4/13 PC meeting with recommendation to forward to City Council. Council directed staff to do further research with local businesses. Business workshops held fall/winter 13/14. Result of sign workshops discussed at 11-3-15 PC mtg. Revised Public Draft of Sign Ordinance posted to City website on July 6, 2017	No review performed.	N/R		sg
<b>Environmental Review</b>										

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51	City of Morro Bay	N/A		UP0-423	<b>MND for Chorro Creek Stream Gauges</b>	Applicant requesting meeting for week of 9/9/13. SWCA performing the environmental review. Received completed MND from Water Systems Consulting (WSC) on 4/1/15. Routed to State Clearinghouse for required 30 day review period. Tentative hearing 8/4/15. No recent activity.	No review performed.	MND complete. Cut permit checks to RWQCB and CDFW on 2/27/15		cj
<b>Final Map Under Review Projects</b>										
<b>Projects requiring coordination with another jurisdiction:</b>										
52	City of Morro Bay	Outfall			<b>Original jurisdiction CDP for the outfall and for the associated wells</b>	Coastal staff is working with staff. Coastal letter received 4/29/2013. Discussed project with Coastal staff in meeting 11-18-14.	No review performed.	City provided response to CCC on 7/12/13. Per Qtrly Conference Call CCC will take 30days to respond		
53	City of Morro Bay Desal Plant	170 Atascadero			<b>Project requires a Coastal Development Permit for upgrades at the Plant. Final action taken Sent to CCC but pursuant to their request the City has rescinded the action.</b>	Waiting for outcome from the CDP application for the outfall. Discussed project with Coastal staff in meeting 11-18-14.	No review performed.	BCR- Phase 1 Maint and Repair project is underway. Desal plant start-up scheduled for 10/15/13. Phase 1 complete and finaled. Phase 2 on hold as of 7/22/14.		

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<b>Projects going forward to Coastal Commission for review (Pending LCP Amendments) / or State Department of Housing:</b>										
54	City of Morro Bay	Citywide			<b>Plan Morro Bay: General Plan / Local Coastal Program / Zoning Code Update project</b>	Comprehensive overall update to the City's 1988 General Plan, 1984 Local Coastal Program, and 1997 Zoning Code. General Plan Advisory Committee meetings ongoing. For more information or to get involved, visit <a href="http://www.morrobayca.gov/planmb">www.morrobayca.gov/planmb</a> . Project to be complete with documents ready for adoption and certification by end of 2019. Public draft of combined General Plan/ LCP released May 2018 for review. Working with Coastal staff on CCC input.				
55	City of Morro Bay	Citywide	10/16/13	A00-013. A00-029: Ordinance 601	<b>Zoning Text Amendment - Second Unit</b>	Secondary Unit Ordinance Amendment. Ordinance 576 passed by City Council in 2012. 6-11-13 City Council direction to staff to bring back to Planning Commission for review of ordinance. At 10-16-13 PC meeting, Commission recommended changes to maximum unit size and tandem parking design where units over 900 sf and/or tandem parking design of second unit triggers a CUP process. Council accepted PC recommendation at 2-11-14 meeting and directed staff to bring back revised ordinance for a first reading and introduction. Item continued to 4/22/14 Council meeting to allow time for Coastal staff comment regarding proposed changes. Council approved Into and First Reading on 4/22/14. Final Adoption of Ord. 585 at 5/13/14 Council meeting. Ordinance to be sent as an LCP Amendment for certification by Coastal Commission. <b>New language for PC and Council review. Second reading going to council on April 12, 2016. PC reviewed change 5-3-16. CC second First Reading 6-28-16.. Application submitted to Coastal</b>	No review performed.			wm
<b>Projects Continued Indefinitely, No Response to Date on Incomplete Letter or inactive:</b>										
56	Verizon / Knight	184 Main new location, Corner of Main and Cabrillo	11/19/14	UPO-394 and CP0-512	<b>Coastal Development Permit and Conditional Use Permit for installation of new Wireless Facility/Verizon antennas on existing pole.</b>	Under Review. JG. Incomplete. Waiting on response from Tricia Knight. Wants to keep project open and figure out the parking situation or move location. 1/26. JG. Applicant looking to move location to pole across the street. resubmittal rcv'd 5/26. Deemed Complete, waiting for Applicant to confirm PC meeting date. PC hearing held on 9/6/16 and continued for further review to 11-1-16 PC hearing. Continuance requested. Continued to a date uncertain		PN- Conditionally approved 6/14/16		jg
<b>Grants</b>										
57	California Coastal Commission, California Ocean Protection Council	City-wide	4/6/16		<b>\$400,000 Grant for LCP update to address sea level rise and climate change impacts. Round 3 Grant award of \$200,000 for Lateral Access Plan, and ESHA delineation.</b>	Grant agreements for both the grants are in place and grant administration has been turned over to Michael Baker International, per terms of the GP/LCP update contract. Received signed grant agreement for \$200,000 LCP Planning grant by CCC for Round 3 awards 2-27-17.	No review performed.	N/A		sg
58	City of Morro Bay	City-wide			<b>Community Development Block Grant/HOME Program - Urban County Consortium</b>	Staff has ongoing responsibilities for contract management in coordination with County staff administration. Final 2016 funding recommendations reviewed by Council on 3-8-16. 2016 Subrecipient Agreement executed and Council approved 2018-2020 Cooperation Agreement with County on 6-13-17.	No review performed.	N/R		cj

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59	City of Morro Bay	City-wide				<b>Climate Action Plan - Implementation</b>	Staff has ongoing responsibilities for implementation of Climate Action Plan as adopted by City Council January 2014. Staff coordinating activities with other Cities and County of SLO via APCD.				cj
<b>Projects in Building Plan Check:</b>											
1	Dresbach	325	Arbutus Ave.	3/6/20	B20-0047	Retrofit 1 window same size and location		Ready to Issue			
2	Gulley	679	Atascadero	2/27/20	B20-0042	Add 135 sq. ft. bathroom addition.		Bldg - Approved 3/12/20			sg
3	Mitchell	399	Beach	3/25/20	B20-0056	ADDENDUM TO: B18-0021 - Install new engineered grease interceptor system in new location. Remove existing system.		Plancheck - 3/25/20			sg
4	LaPlante	3093	Beachcomber	4/29/17	B-31487	New SFR: 3,495 sf w/ 500 sf garage on vacant land. No activity on this project. Remains in plan check.	Approved 8-9-18. cj. Requested permit extension.	Ready to issue	PN - Approved 6/21/2018	Emailed comments on 10-20-17.	cj
5	Auerbach	3200	Beachcomber	12/30/19	B19-0277	Convert 100 sf of enclosed sun-room area to living space and add 67 sq ft of new living area. Demo kitchens and add 3 beams, new windows, siding, update electrical, water heater and forced air unit, misc, clean up.	Disapproved Jan 14, 2020, pending redesign or submittal of a CDP for an addition between 10 and 25% of existing home.	Bldg - Disapproved 1/31/20			nh
6	Zine	1309	Berwick Dr	7/3/19	B19-0139	New SFR, 2871 sf living, 628 sf attached garage, & 189 sq deck.	Permit approved by Planning on 3/19//20.	Bldg - Approved 12/16/19			wu
7	Jones	1362	Berwick Dr	8/5/19	B19-0169	Interior remodel, remove existing roof over existing garage and replace with 352 sf deck.	Disapproved 9/11/19. Awaiting resubmittal.	Bldg - Disapproved 9/4/19			wu
8	Salisbury	375-A	Cerrito	3/13/20	B20-0051	ATTACHED ADU- convert lower level of existing SFR to an accessory dwelling unit.	Permit conditionally approved 3/23/20.	Bldg - Approved 3/18/20			wu
9	Diaz	365	Driftwood	1/6/20	B19-0280	328 sq ft addition to master bedroom and bath on second flr. Convert covered patio to living space 50 sq ft enclosed covered porch 30 sq ft interior	Under review. Planning disapproved 1/31/20.	Bldg - Disapproved 1/15/20			wu
10	Brebes	495	Driftwood	12/20/19	B19-0269	New 3778 sf duplex homes including garages on lot with existing SFH	Pending approval of planning permits	Bldg - Disapproved 2/7/20			nh
11	City of Morro Bay	595	Embarcadero	12/31/19	B19-0278	Commercial T.I. to former Aquarium building to meet accessibility requirements, remove asbestos from 1st floor, update electrical, mechanical and plumbing, new structural shear wall, repair concrete columns, new raised deck, stairs & railing for tasking room & brewery (Three stacks & A Rock Brewing Company.	Approved. Cj.	Bldg - Disapproved 1/29/20			sg

#	Applicant/ Property Owner	Project Address		Application Date	Permit Numbers	Project Description/Status	Planning Comments and Notations	Building/Fire Comments and Notations	Engineering Comments and Notations	Harbor/Admin Comments and Notations	Project Planner
12	John & Andrea Envgall	580	Harbor	10/24/19	B19-0236	Existing commerical building alteration of a 61 sq ft concrete accessible ramp to rear bldg entrance; including accessible parking striping and signage.	Approved 10-28-19. sg.	Bldg - Approved 12/9/19	PN- Approved 12/10/19		sg
13	Wilkie	476-A	Hill	3/26/20	B20-0057	ATTACHED ADU - Convert existng attached garage to 344 sf Accessory Dwelling Unit.	Pending planning permit approval.	Plancheck - 3/26/20			wu
14	Patel	2790	Indigo	3/25/20	B20-0055	ADDENDUM TO: B19-0164 - Change to interior floor plan. Move laundry room to office area, enlarge master bath, lower roof pitch from 3" x 12 to 2" x 12.	Approved 3/30/20.	Plancheck - 3/25/20			wu
15	Olson	2290	Juniper	3/16/20	B20-0053	Convert existing workshop into ADU, repair upper level deck due to dry rot and construct new entry landing w/stairs.		Plancheck - 3/16/20			nh
16	Friesen	2390	Juniper	3/5/20	B20-0043	Build new observation deck over existing roof top.		Bldg - Approved 3/12/20			sg
17	Linker	594	Kings Ave.	4/16/19	B19-0068	New two story SFR - 2996 sf living, 491 sf attached garage, 304 sf deck at front and 85 sf deck at rear.	Planning approved	Bldg - Ready to issue			nh
18	Richardson	441	LaJolla	3/8/19	B19-0040	Kitchen, bathroom and laundry room remodel in existing dwelling.	Submittal under review. Approved 3/19/19	Bldg - Disapproved 3/15/19			nh
19	Wood	361	Main St	12/30/19	B19-0276	395 sf 2nd floor addition to existing SFR, with 183 sf of 2nd floor deck	Planning approved 1/2/20	Bldg - Disapproved 1/29/20			nh
20	Peter	890	Main St.	2/13/19	B19-0026	ADA and parking lot improvements. ADA stall to be relocated closer to street and make van accessible.	Approved on 3/1/19 - sg	Bldg - Approved 2/27/19 Fire - Approved 2/26/19	Disapproved on 4/15/19		sg
21	Sonic	1840	Main St.	10/17/17	B-31730	Sonic Drive-in Restaurant, 1395 sf building, 1020 sf covered patio, 2646 sf covered parking	Corrections sent 12-8-17. Resubmitted 3-2-18. Application incomplete and corrections sent 4-5-18. Resubmittal received and unaddressed corrections sent back 7-19-18. Project required to underground utilities. Utility plan and coordination with public utilities in process. cj. Requested permit extension. Awaiting resubmittal. Requested Permit Extension. No recent activity as of March 2020.	BLDG - Disapproved by California Code Check (contract building inspection services (see memo) on 7-23-18. PB	Disapproved by jb on 11-21-17.	1-2-18 - Emailed BLDG (code ck) comments to architect. PB	cj
22	Michie	2940	Main St.	3/5/20	B20-0045	Interior (T.I.) to existing bar/restaurant. Layout to remain, install new flooring, sinks, upgrade finshes, new FRP in bathrooms and kitchen areas. New tenant to serve coffee and beer products (Dark Nectar Coffee Saloon). Exterior upgrades completed on separate permit (B19-0255).		Bldg - Disapproved 3/12/20			sg
23	Shorey	1110	Marengo Dr	12/20/19	B19-0270	450 sq ft addition to guesthouse.	Disapproved pending approval of CDP19-048	Bldg - Disapproved 1/14/20			nh

#	Applicant/ Property Owner	Project Address		Application Date	Permit Numbers	Project Description/Status	Planning Comments and Notations	Building/Fire Comments and Notations	Engineering Comments and Notations	Harbor/Admin Comments and Notations	Project Planner
24	LifePoint Church	615	Monterey	1/6/20	B19-0279	Remodel/upgrade current building	Planning disapproved 1/27/20.	Bldg - Disapproved 1/30/20			wu
25	Davis	780	Monterey	1/9/20	B20-0004	Tenant improvement, adding walls and re configuring lighting. Add 4 Solar tubes, paint, flooring, and insulation.		Bldg - Disapproved 2/25/20			sg
26	Hale	959	Monterey Ave.	2/6/20	B20-0026	Interior remodel of existing single family dwelling.		Bldg - Approved - 2/25/20			sg
27	NHC-MB LLC.	495	Morro Bay Blvd	12/31/19	B19-0275	Commercial remodel for Medical Cannabis dispensary		Bldg - Disapproved 1/27/20			sg
28	Moss Lane Ventures, LLC	839	Morro Bay Blvd	3/4/20	B20-0046	New modular building for commercial coffee drive-through (Human Bean)	Under review, missing a planning requirement, expect to received 3/10/20. Planning approved.	Bldg - Disapproved 3/18/20			nh
29	Elster	530	Morro Ave	7/9/19	B19-0142	New SFR (three levels), 2613 sf living, 734 sf attached garage, 639 sf basement & bath, 846 sf of open decks, and 318 sf covered decking. The lower level will be recessed into the existing grade to contain garage, parking areas, and basement storage spaces. See B19-0143 for attached ADU with garage.	Disapproved 7/22/19. Awaiting Minor Modification approval. Planning approved 3/17/20.	Ready to issue			wu
30	Elster	530-A	Morro Ave	7/9/19	B19-0143	New 636 sf attached Accessory Dwelling Unit (ADU) with 258 sf garage. See B19-0142 for SFR permit.	Disapproved 7/22/19. Awaiting Minor Modification approval. Planning approved 3/17/20.	Ready to issue			wu
31	Erb	2630	Nutmeg Ave	2/14/19	B19-0029	Demo 195 sf third story deck at front of home and rebuild with 80 sf extension to allow for deck beam and column support. Remove 152 sf deck on south side of home, misc. construction to repair water damage.	Dissapproved 3/6/19. Disapproved 4/9. Variance application approved. Awaiting building permit resubmittal.	Bldg - Approved 3/27/19			wu
32	Voulkiers	929	Pecho St.	3/4/20	B20-0044	New addition; 70 sq. ft.	Planning approved 3/19/20.	Bldg - Disapproved 3/4/20			wu
33	Tabrizi	1000	Quintana	12/29/20	B19-0274	Commercial remodel for cannabis dispensary to include new interior walls, doors, ceilings, casework, mechanical, electrical and plumbing.		Bldg - Disapproved 1/24/20			sg

#	Applicant/ Property Owner	Project Address		Application Date	Permit Numbers	Project Description/Status	Planning Comments and Notations	Building/Fire Comments and Notations	Engineering Comments and Notations	Harbor/Admin Comments and Notations	Project Planner
34	Giannini	750	Radcliff Ave.	7/22/19	B19-0156	Remove three existing panel antennas, three radio and replace with three radio intergrated antennas and assoicated cabling. Install equipment expansions to the top of existing cabinets (approx 1'2') with associated electrical wiring.	Approved 9/26/19.	Ready to issue			cj
35	Kennedy	1130	Scott Street	12/20/19	B19-0271	New commercial project with residential security unit above	Conditionally approved 1/3/20	Bldg - Disapproved 1/7/20			nh
36	Anouck Ce Bris	516-A	Shasta	12/9/19	B19-0261	520 sf st ADU with studio below; addition to SFR	Planning permits issued. Waiting for resubmittal	Bldg - Disapproved 12/26/19			nh
37	Stanton	351	Trinidad	3/26/19	B19-0054	Repairs to existing 200 sf rooftop deck. Replace all dry-rot structural members, install new waterproof membrane,, new copper drip edge flashing, replace plaster, replace guardrail if needed.	Disapproved 4/11/19. Awaiting resubmittal.	Bldg - Approved 3/27/19			wu
38	Davis	1149	West Ave	7/8/19	B19-0145	Construct lower level 360 sf enclosed patio (12' x 30') at rear of existing SFR.	Disapproved, proposed enclosed patio extended into the 25 foot bluff setback.	Bldg - Approved 7/10/19			nh
39	Weaver	448	Yerba Buena	1/10/20	B20-0007	Rebuild existing deck & add 48 sq ft existing deck-85 sq ft. New deck 48 sq ft. Total 133 sq ft.		Bldg - Disapproved 2/3/20			sg
<b>Planning Projects &amp; Permits with Final Action:</b>											
40	Patel	295 Atascadero		6/13/18	CP0-581/UP0-533	<b>CDP and CUP for New 83 room hotel on vacant 2 acre lot</b>	Under Initial Review. Incomplete letter sent 7/13/18. Resubmitted 9/11/18. Comment letter sent 10/19/18. Met with Applicant's Agents 11-8-18 to review flood plain and height requirements. Project currently overheight and does not meet parking requirements. Story poles erected on 1/3/19 and scheduled for Conceptual Review by PC to evaluate height, parking, and findings of significant public benefit as allowed under the Planned Development (PD) overlay zone. PC comments provided to Applicant after 1-15-19 meeting. Applicant considering project revisions. Environmental review in progress. MND routed to State Clearinghouse 12/23/19. PC reviewed and forwarded favorable recommendation to Council on 2/4/2020. Council approved at 3/10/2020 meeting.				cj
41	Boyko	2670 Laurel Ave		7/26/19	CDP19-027	<b>CDP for New SFR - 2135 sf living, 505 sf garage, 160 sf lower balcony and 160 sf upper balcony</b>	Submittal under review. Incomplete letter sent 8/19/19. Awaiting resubmittal. Second correction letter sent 10/24/19. Awaiting issue with driveway slope to be resolved with the Fire Department. Permit approved 3/19/20.				wu

#	Applicant/ Property Owner	Project Address	Application Date	Permit Numbers	Project Description/Status	Planning Comments and Notations	Building/Fire Comments and Notations	Engineering Comments and Notations	Harbor/Admin Comments and Notations	Project Planner
42	Friesen	196 Panay St	7/23/19	LTM19-03	<b>Addition to existing SFR requiring abandonment of existing easement.</b>	Requires Conditional Use Permit. CUP submittal scheduled for PC 9/17/19. Approved at meeting. Lot merger under review. Correction letter sent 10/24/19. Resubmittal received 12/3/19 under review. Correction letter sent 12/20/19. Resubmittal received 12/30/19 under review. Certificate of Lot Merger recorded with the County, and Conformed Copy received.				WU
<b>Staff Directory:</b> Scot Graham - sg Cindy Jacinth - cj Willow Urquidi - wu Nancy Hubbard - nh Chad Ouimet - co Pam Newman - pn Herb Edwards - he										

AGENDA ITEM:   A-2  

DATE:   APRIL 7, 2020  

ACTION:   DRAFT  

ACTION MINUTES – MORRO BAY PLANNING COMMISSION  
REGULAR MEETING – FEBRUARY 04, 2020  
VETERANS MEMORIAL BUILDING – 6:00 PM

PRESENT:	Gerald Luhr Jesse Barron Michael Lucas Susan Stewart Joe Ingraffia	Chairperson Vice-Chairperson Commissioner Commissioner Commissioner
STAFF:	Scot Graham Cindy Jacinth	Community Development Director Senior Planner

ESTABLISH QUORUM AND CALL TO ORDER  
MOMENT OF SILENCE / PLEDGE OF ALLEGIANCE  
PLANNING COMMISSIONER ANNOUNCEMENTS - NONE

ELECTORAL VOTE – New Chairperson and Vice-Chairperson  
<https://youtu.be/Wqm9N5Wte5M?t=2m38s>

**MOTION:** Commissioner Stewart nominated Gerald Luhr as Chairperson. Vice-Chairperson Lucas seconded, and the motion passes 4-0.  
<https://youtu.be/Wqm9N5Wte5M?t=3m15s>

**MOTION:** Commissioner Stewart nominated Jesse Barron as Vice-Chairperson. Commissioner Ingraffia seconded and the motion passes 4-0.  
<https://youtu.be/Wqm9N5Wte5M?t=3m49s>

PUBLIC COMMENT PERIOD  
<https://youtu.be/Wqm9N5Wte5M?t=4m14s>

Sean Green, Morro Bay, thanked the Commission and staff for listening to his concerns regarding the coastal access and obstructions at the Giovanni property.

Gene Dougherty, architect, stated his concerns regarding parking on the west side on the Embarcadero and the loss of established parking and the potential loss of handicap parking. Dougherty spoke of the legislative grant agreement and stated the City or State need to comply with the agreement.

Chairperson Luhr closed the Public Comment period.  
<https://youtu.be/Wqm9N5Wte5M?t=7m38s>

Graham responded to the Public Comments.

## PRESENTATIONS – NONE

### A. CONSENT CALENDAR

<https://youtu.be/Wqm9N5Wte5M?t=8m54s>

**A-1** Current and Advanced Planning Processing List.

**Staff Recommendation:** Receive and file.

**A-2** Approval of minutes from the Planning Commission meeting of December 3, 2019.

**Staff Recommendation:** Approve minutes as submitted.

**A-3** Approval of minutes from the Planning Commission meeting of December 17, 2019.

**Staff Recommendation:** Approve minutes as submitted.

**MOTION:** Commissioner Barron moved to approve the Consent Calendar. Commissioner Stewart seconded, and the motion passes 5-0.

<https://youtu.be/Wqm9N5Wte5M?t=9m9s>

### B. PUBLIC HEARINGS

Public testimony given for Public Hearing items will adhere to the rules noted above under the Public Comment Period. In addition, speak about the proposal and not about individuals, focusing testimony on the important parts of the proposal; not repeating points made by others.

**B-1** **Case No.:** CDP19-039 / CUP19-13 / LTM19-06

**Site Location:** 295 Atascadero Road, Morro Bay, CA

**Project Description:** Coastal Development Permit (CdP19-039), Conditional Use Permit (CUP19-13), and Lot Merger (LTM19-06) for new construction of a 56,358 square foot 83-guest room hotel with indoor pool, fitness room, a meeting room, interior dining and lounge areas, and on-site parking, including 92 vehicle spaces and 19 bicycle parking spaces on a vacant 2 acre lot. The hotel would be 3 stories in height at 35.41 feet above average natural grade and require a modification under the Planned Development Overlay (MBMC 17.40.030) where 30 feet is the requirement in the C-VS base zone district. The Lot Merger action would merge five underlying lots into one lot. The project was previously reviewed as a conceptual review by the Planning Commission on January 15, 2019 and formerly addressed as 233 Atascadero Road. The project is in the Commercial Visitor-Serving (C-VS/PD) zoning district and is located in the Coastal Commission Appeals Jurisdiction.

<https://youtu.be/Wqm9N5Wte5M?t=9m31s>

COMMISSIONERS DISCLOSURE OF EX PARTE COMMUNICATIONS – Vice-Chairperson Barron stated he accidentally communicated with SCWA consultant Brandi Cummings.

Commissioner Stewart spoke with the Patel's and Cathy Novak.

Commissioner Luhr spoke with staff.

Jacinth presented the staff report and informed the Commissioners there were some correspondence that came in after the packets were distributed.

The Commissioners presented their questions to staff.

Chairperson Luhr opened the Public Comment period.  
<https://youtu.be/Wgm9N5Wte5M?t=52m8s>

Cathy Novak, representative for the applicant, thanked staff for their recommendations and updated the Commissioners on the project.

Hemant and Jalpa Patel, Applicant, introduced themselves and spoke of their future plans with their business.

Joe Wallach, Morro Bay, stated he supports the project but is not in agreement with the three stories. He doesn't want the uniqueness of Morro Bay to disappear.

Sean Green, Morro Bay resident, stated he is open to reasonable and unreasonable variances as long as the public benefits could offset the significant variance. Green doesn't think the project is ready but supports the idea and applicants.

Betty Winholtz, Morro Bay resident, spoke about her concerns regarding the aesthetics, height limit, and the benefits of the community.

Homer Alexander stated he is a member of the Citizens Finance Committee but is speaking for himself. Alexander stated his concerns regarding the City's budget and how the hotels Transient Occupancy Tax will benefit Morro Bay residents.

Derek Kirk, Director of Community Engagement and Advocacy for Visit SoCal, explained the logistics of his company. Kirk encourages an approval for this project from the Commission.

Jennifer Little, City of Morro Bay Tourism Manager and resident of Morro Bay, stated why the Commission should approve the project and how the project would benefit the City.

Tina Metzger, Morro Bay resident, thanked Novak for answering her questions and City Planner Cindy Jacinth for her help. Metzger stated her concerns regarding the solar panels, traffic and height.

Mimi Goldberg, Morro Bay resident, recommends the Commission not approve the project especially near a high school. Goldberg would like to improve the city but suggests doing it on a smaller scale. She would rather see something built for the elderly, homeless or mentally disabled.

The Commissioners presented their questions to the applicant.

Chairperson Luhr closed the Public Comment period.  
<https://youtu.be/Wgm9N5Wte5M?t=2h28m18s>

Discussion between the Commissioners and staff.

Chairperson Luhr opened the Public Comment period.  
<https://youtu.be/Wqm9N5Wte5M?t=3h11m51s>

Novak answered the Commissioners questions.

Green suggested locations for tree planting and not reducing parking spaces.

Chairperson Luhr closed the Public Comment period.  
<https://youtu.be/Wqm9N5Wte5M?t=3h17m5s>

Discussion between the Commissioners.

**Planning Commission Conditions:**

13. Project landscaping shall be evaluated by a third-party arborist or landscape architect to ensure viability of both the proposed trees and to assess potential impacts to the existing off-site Monterey Cypress. Evaluation shall include review of permeable paver installation specification proposed within the dripline of the Monterey Cypress for possible negative impacts to tree roots and the overall health of the trees. Landscape architect shall be chosen by City staff with report submitted to the City for review and acceptance prior to issuance of a building permit. Applicant shall pay for the cost of the peer review. City staff shall prepare a summary report for presentation to Planning Commission.
14. Revise landscaping plan to provide Monterey cypress trees within the finger planter areas within the parking lot on the east side of the property. If necessary, this can be accomplished by consolidating the parking planter areas to provide more tree planting area.
15. Applicant shall work with the School District by making an offer to provide up to 4 Monterey cypress trees at a maximum size of 24-inch box to be used as interplanting among existing row of Monterey cypress trees along the west property boundary. The peer reviewing landscape architect or arborist shall evaluate the efficacy of this concept, in light of the desire to maintain the Monterey cypress rows along the western property line. The Director, subject to concurrence by the peer reviewer, can approve a smaller tree size if it is determined that planting of smaller trees would be more appropriate to achieve the desired result.
16. The applicant shall revise the plans to remove the roof mounted mechanical equipment and to place the equipment within a mechanical well along the south elevation. To make room for the mechanical well, plans shall be revised to remove the shed roof on south elevation. The applicant shall also reduce the height of the parapet surrounding the roof, to the greatest extent feasible, while still providing screening for the roof mounted solar panels as viewed from Highway 1. The applicant shall provide revised drawings depicting both the revised south elevation and the lowered parapet prior to the project moving forward for Council review.

17. The applicant shall revise the plans to carry the corten steel around the upper portion of the rear (north) elevation. Revised elevation drawings to be submitted to the Planning Division for review by the City Council.
18. Revise plans to provide conduit and appropriately rated circuits to accommodate two additional level 3 electric vehicle charging stations on site. Conduit and circuits shall be shown on the plans submitted for building permit review.
19. Provide an exhibit to the Planning Division for inclusion in the City Council staff that shows how the parallel parking spaces located along the west property line can accommodate a parked tour bus.

**MOTION** Commissioner Stewart moved to approve resolution PC 03-20 forwarding a favorable recommendation to City Council to adopt the Mitigated Negative Declaration (MND) SCH2019129078 with mitigation and monitoring program and conditionally approved concept precise plan approval of Coastal Development Permit CDP19-039 and Conditional Use Permit CUP19-13 for a new construction of 56,358 sq. ft., 83-guest room hotel located at 295 Atascadero Road, Morro Bay hotel with conditions as outlined by the Planning Director. Vice-Chairperson Barron seconded, and the motion passes 5-0. <https://youtu.be/Wqm9N5Wte5M?t=3h30m46s>

C. NEW BUSINESS

D. UNFINISHED BUSINESS

E. PLANNING COMMISSIONER COMMENTS/FUTURE AGENDA ITEMS  
<https://youtu.be/Wqm9N5Wte5M?t=3h33m28s>

Commissioner Stewart proposed to address Sean Green's comment regarding developing a list of public benefits.

F. COMMUNITY DEVELOPMENT DIRECTOR COMMENTS  
<https://youtu.be/Wqm9N5Wte5M?t=3h38m48s>

Graham previously spoke to the Commissioners on the requirements/process of how to bring items up to the City Council.

G. ADJOURNMENT

The meeting adjourned at 9:42 p.m. to the next scheduled Planning Commission meeting at the Veteran's Memorial Building, 209 Surf Street, on February 18, 2020 at 6:00 p.m.

\_\_\_\_\_  
Gerald Luhr, Chairperson

ATTEST:

\_\_\_\_\_  
Scot Graham, Secretary



**AGENDA NO: B-1**

**MEETING DATE: April 7, 2020**

## Staff Report

**TO: Planning Commissioners                      DATE: March 26, 2020**

**FROM: Nancy Hubbard, Contract Planner**

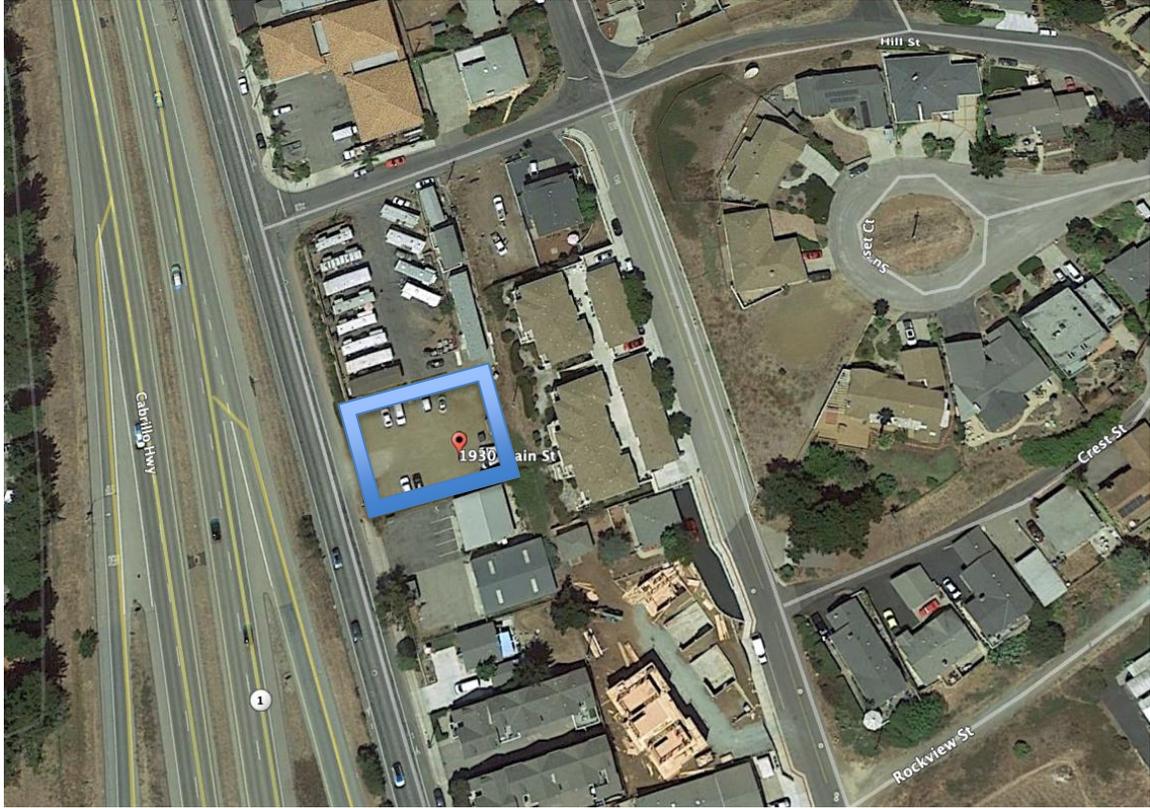
**SUBJECT: New commercial/residential mixed-use mobile home park.**  
The project application consists of a Coastal Development Permit (CDP19-009) and a Conditional Use Permit (CUP20-02) to allow a mixed-use mobile home park that will include 4 hotel units for short-term stay and 3 residential units. Two of the residential units will be deed restricted for residents at or below moderate-income levels. The project is in the MCR/R-4/SP zoning district and is not located in the Coastal Commission Appeals Jurisdiction.

**RECOMMENDATION:**

*CONDITIONALLY APPROVE THE PROJECT* by adopting Planning Commission Resolution 06-20 making the necessary findings for approval of CDP19-009 and CUP20-02

**APPLICANT:** Jeff & Michele Borges  
**AGENT:** S2 Architecture, Karen Wilkins  
**ADDRESS/APN:** 1930 MAIN STREET/APN 068-282-015

**SUBJECT:** Request for approval to develop a 12,000 square foot undeveloped site on Main Street, just south of an existing mobile home park also owned by the applicant. The project is a mixed commercial/residential mobile home park that will include "Park Unit" mobile homes for use as hotel units and mobile residential units as the secondary use. The proposed use requires planning approval from the City of Morro Bay, but the development and operation of the site will fall under the jurisdiction of The State Department of Housing and Community Development ("HCD"). The project requires approval of a Conditional Use Permit (CUP20-02) and Coastal Development Permit (CDP19-009).



**ZONING:** MCR/R-4/SP (Mixed Commercial and Residential/High Density Residential in a North Main Street Specific Plan area). This zone allows commercial and residential with a conditional use permit provided that the commercial use is primary and residential use is secondary (i.e. less than 50% of the use positioned less prominent to the public right of way).

Adjacent Zoning			
North	MCR/R-4/SP	East	MCR/R-4/SP
South	MCR/R-4/SP	West	MCR/R-4/SP

**GENERAL PLAN/COASTAL LAND USE PLAN:** Area 3– Del Mar Planning Area with a land use designation of Mixed-Use Area F, which allows a mixture of all uses as appropriate, evaluated on a parcel by parcel basis.

Site Characteristics	
Site Area	12,000 square feet
Existing Use	Vacant, undeveloped
Terrain	Slope, from east to west,
Vegetation/Wildlife	None
Archaeological Resources	N/A
Access	Main Street

General Plan, Zoning Ordinance, & Local Coastal Plan Designations	
<b>General Plan/Coastal Plan Land Use Designation</b>	Planning Area 3, Del Mar/Mixed Use
<b>Base Zone District</b>	MCR/R-4
<b>Zoning Overlay District</b>	None
<b>Special Treatment Area</b>	n/a
<b>Combining District</b>	n/a
<b>Specific Plan Area</b>	North Morro Bay Specific Plan area
<b>Coastal Zone</b>	Not within the Coastal Commission Appeal Jurisdiction

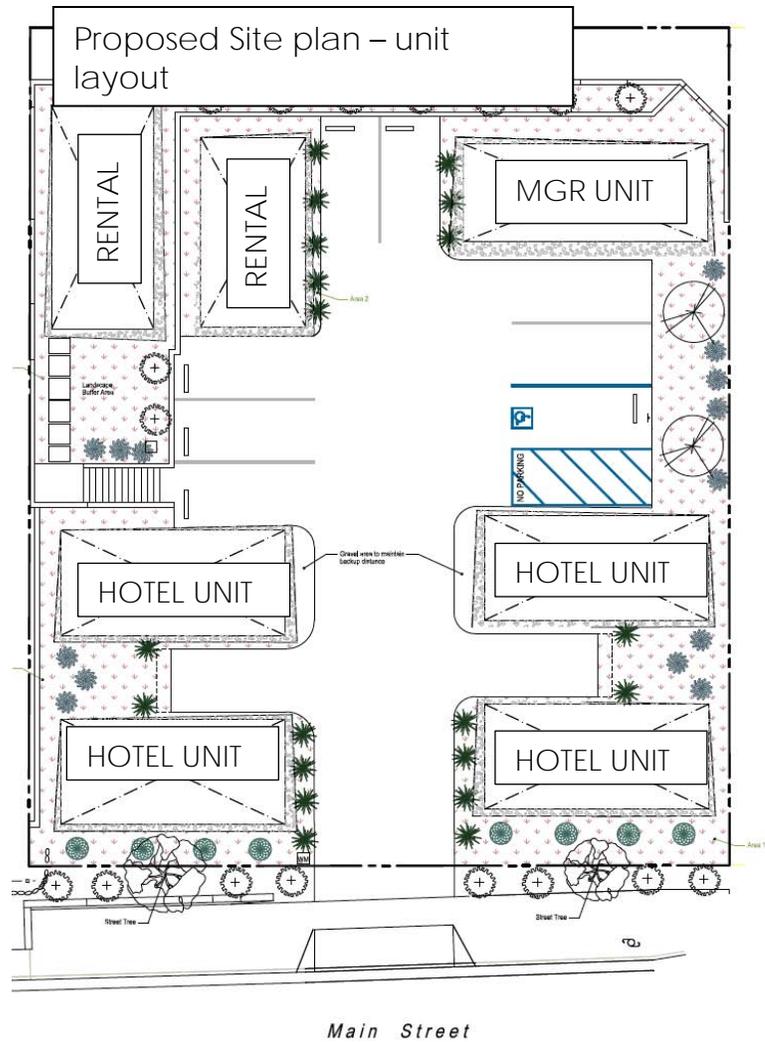
**SITE HISTORY:**



- No previously development noted in SLO County records
- Currently used for parking and non-permanent storage sheds
- Parcel is approximately 12,000 sf in size
- The existing driveway configuration is the same as proposed
- Site is adjacent to an existing mobile home park

## **PROJECT ANALYSIS:**

The proposed project will use all non-permanent housing units creating a new type of project that is a hybrid between a cottage hotel and a mobile home park. The project meets the intended mix of uses of the MCR/R-4 zoning district, proposing the use of the newer 'Park Unit' mobile homes, as short-stay hotel rooms, plus one on-site managers unit (also a mobile home) and 2 long term rentals (also mobile units) that will be deed restricted for moderate income residents (See Planning Condition 11). The plans indicate that the managers unit may be stick built and the project has been conditioned to require amendment to this permit if a stick built unit is proposed (See Planning Condition 9). The hotel units will be placed along the Main Street frontage and the rental units and Manager's unit will be at the back of the site.



The MCR zone allows for hotels, motels and apartments as long as they are subordinate to a commercial project. In this case, the hotel rooms are the commercial use, meeting the intent of the zoning district. However, because they are using non-permanent buildings, the project will fall under the jurisdiction of HCD related to building permit issuance and operational requirements applicable to mobile home parks. The R-4 suffix zoning allows for mobile home parks but requires a minimum site area of 3 acres. In Section 17.48.020 of the MBMC, the Interpretation of ambiguity is resolved by an evaluation of the use, the site and the proposed use compared with the intent of the zoning district and the development standards. In this case, the ambiguity relates to the appropriate classification of this use within the meaning and intent of the title related to the use of non-permanent structures used to meet the intended use of the zone. The planning commission can include their interpretation in the conditions of approval of the conditional use permit. The purpose of the MCR zoning district is to broaden the range of commercial market opportunities and insure compatible development. Staff believes that this project will be compatible with the existing development and meets the intent of the zoning district and Specific Plan area. Prior to approval of

use permits in the MCR zone, the planning commission must find that the following standards have been met (note that these standards are assuming permanent buildings with standard setbacks):

Section 17.24.110 B.6.a – The site layout must provide for compatibility among the uses and provide adequate private and common spaces for all occupants.

*The project meets this criterion.*

Section 17.24.110 B.6.b – Setback areas should be landscaped, typical setbacks for front, rear and side yards are 5 feet.

*These development standards are for permanent buildings, however, since these are non-permanent structures under the purview of HCD, the setbacks will likely be 3 feet, and all the setbacks are landscaped.*

Section 17.24.110 B.6.c – There shall be landscaping in the front yard setback area.

*The applicant has submitted a landscape plan showing landscaping in the front yard and side yards – for a total of 2,768 total square feet of landscape area (23% of the total site area)*

	<b>MCR/R-4/SP Standards</b>	<b>Proposed Project</b>
<b>Front Setback</b>	5 feet	6-8 feet
<b>Side-Yard Setback</b>	5 feet	3 feet
<b>Rear Setback</b>	5 feet	16 feet
<b>Height (from ANG)</b>	25 Feet	14-18 feet
<b>Lot Coverage</b>	60%	20.14 %
<b>Parking</b>	8 spaces required	10 spaces provided

**Public Improvements**

The project will also include frontage improvements comprised of a new ten-foot-wide sidewalk, curb and gutter, new driveway approach, and street trees consistent with Public Works Condition 2 found in the attached Resolution.

**DEVELOPMENT STANDARDS:**

The project meets all applicable development standards for the zoning district, as noted in the table above. Mobile homes minimum setback from the property line is determined by HCD and is typically a minimum of 3 feet.

**DENSITY:**

The density for this project is the following: Hotel rooms required 750 sf of land area per room (total of 3,000 sf), mobile homes require 2,900 sf per unit (including the managers unit that is 8,700 sf total required. The total land area required for the proposed use is 11,700 square feet. The site is 12,000 square feet, exceeding the required land area.

**PARKING REQUIREMENTS:**

Parking requirements for a mobile home park are 1 1/2 space for each unit which would equate to 10.5 parking spaces. However, parking calculated for the actual proposed uses would be the following: Hotel Rooms required one parking space for each room (4 hotel rooms = 4 parking spaces); the 2 rental units would require 2 parking spaces for deed restricted affordable units and the managers unit would require 2 parking spaces. This totals 8 parking spaces required. The proposed project is providing 10 spaces, including a van accessible space. The parking spaces will be pervious pavers or pervious concrete (if supported by the geotechnical soils report), whereas the driveway and drive-isle will be standard concrete. This project meets the parking requirements. See plans for vehicle exiting scenarios for the two spaces along the east property line.

**ENVIRONMENTAL DETERMINATION:**

Environmental review was performed for this project and staff determined it meets the requirements for a Categorical Exemption under CEQA Guidelines Section 15303 and 15304. These exemptions apply to small structures and limited development (15303) and minor alternations to land which is applicable because of the use of non-permanent structures (15304). Additionally, none of the Categorical Exemption exceptions, noted under Section 15300.2, apply to the project.

**CONCLUSION:**

The project is consistent with the Morro Bay Municipal Code, the General Plan, the Local Coastal Program, and the North Morro Bay Specific Plan as conditioned.

**PUBLIC HEARING NOTICE:**

Notice of a public hearing on this item was published in the San Luis Obispo Tribune newspaper on March 27, 2020, and all property owners and occupants of record within 500 feet of the project site were notified of the scheduled public hearing and invited to voice any concerns on this application. The project site was also posted with a public notice sign.

**RECOMMENDATION:**

Staff recommends that the Planning Commission **CONDITIONALLY APPROVE THE PROJECT** by adopting Planning Commission Resolution 06-20 which includes findings for CDP19-009 and CUP20-02 to allow the proposed use as reflected on the plans submitted to the City of Morro Bay on February 14, 2020.

**ATTACHMENTS:**

Exhibit A – Resolution 06-20 – Findings and Conditions of Approval  
Exhibit B – Plans

RESOLUTION NO. PC 06-20

A RESOLUTION OF THE MORRO BAY PLANNING COMMISSION  
APPROVING CONDITIONAL USE PERMIT CUP20-02 AND COASTAL  
DEVELOPMENT PERMIT CDP19-009 FOR A NEW MIXED-USE PROJECT AT  
1930 MAIN STREET

**WHEREAS**, the Planning Commission of the City of Morro Bay (the “City”) conducted a public hearing at the Morro Bay Veteran’s Hall, 209 Surf Street, Morro Bay, California, on April 7, 2020, for the purpose of considering the approval of the CUP20-02 and CDP19-009 for an new mixed-use hotel/residential project in non-permanent structures to be located at 1930 Main Street; and

**WHEREAS**, notice of the public hearing was provided at the time and in the manner required by law; and

**WHEREAS**, the Planning Commission has duly considered all evidence, including verbal/written testimony of the applicant, interested parties, and the evaluation and recommendations by staff, presented at said hearing.

**NOW, THEREFORE, BE IT RESOLVED** by the Planning Commission of the City of Morro Bay as follows:

**Section 1: Findings.** Based upon all the evidence, the Commission makes the following findings:

California Environmental Quality Act (CEQA)

- A. Pursuant to the California Environmental Quality Act, the project meets the requirements for a Categorical Exemption under CEQA Guidelines Section 15304. The exemption applies to minor alternations to land, applicable because this project is non-permanent buildings. Additionally, none of the Categorical Exemption exceptions, noted under Section 15300.2, apply to the project.

Conditional Use Permit and Coastal Development Permit findings

- A. The proposed development is consistent with the MCR/R-4/SP Zoning designation in providing for a mixed-use commercial/residential project that is compatible with the neighborhood. The project is also consistent with commercial mixed-use designation in the Local Coastal Program (LCP). The project will not have any substantial adverse impacts on the environment or coastal resources.
- B. The project is in compliance with the General Plan and certified Local Coastal Program and will not be detrimental to the health, safety, and general welfare of persons residing or working in the surrounding neighborhood.

**Section 2: Action.** The Planning Commission does hereby approve Conditional Use Permit (CUP20-02) and Coastal Development Permit (CDP19-009) subject to the following conditions:

**STANDARD CONDITIONS:**

1. Permit: Conditional Use Permit (CUP20-02) and a Coastal Development Permit (CDP19-009) providing conditional approval for a new mixed-use hotel/residential complex using non-permanent buildings. The site is zoned MCR/R-4/SP and is not located within the Coastal Commission appeals jurisdiction.
2. Inaugurate Within Two Year: Unless the construction or operation of the structure, facility, or use is commenced not later than two (2) years after the effective date of this approval and is diligently pursued thereafter, this approval will automatically become null and void; provided, however, that upon the written request of the applicant, prior to the expiration of this approval, the applicant may request up to two extensions for not more than one (1) additional year each. Said extensions may be granted by the Director, upon finding that the project complies with all applicable provisions of the Morro Bay Municipal Code, General Plan and Local Coastal Program Land Use Plan (LCP) in effect at the time of the extension request.
3. Changes: Any minor change may be approved by the Community Development Director. Any substantial change will require the filing of an application for an amendment.
4. Compliance with the Law: All requirements of any law, ordinance or regulation of the State of California, City of Morro Bay, and any other governmental entity shall be complied with in the exercise of this approval.
5. Hold Harmless: The applicant, as a condition of approval, hereby agrees to defend, indemnify, and hold harmless the City, its agents, officers, and employees, from any claim, action, or proceeding against the City as a result of the action or inaction by the City, or from any claim to attack, set aside, void, or annul this approval by the City of the applicant's project; or applicant's failure to comply with conditions of approval. This condition and agreement shall be binding on all successors and assigns.
6. Compliance with Conditions: Compliance with and execution of all conditions listed hereon shall be necessary, unless otherwise specified, prior to obtaining final building inspection clearance. Deviation from this requirement shall be permitted only by written consent of the Community Development Director and/or as authorized by the Planning Commission. Failure to comply with these conditions shall render this entitlement, at the discretion of the Director, null and void. Continuation of the use without a valid entitlement will constitute a violation of the Morro Bay Municipal Code and is a misdemeanor.

7. Archaeology: In the event of the unforeseen encounter of subsurface materials suspected to be of an archaeological or paleontological nature, all grading or excavation shall immediately cease in the immediate area, and the find should be left untouched until a qualified professional archaeologist or paleontologist, whichever is appropriate, is contacted and called in to evaluate and make recommendations as to disposition, mitigation and/or salvage. The developer shall be liable for costs associated with the professional investigation.
8. Compliance with Morro Bay Standards: This project shall meet all applicable requirements under the Morro Bay Municipal Code and shall be consistent with all programs and policies contained in the certified Coastal Land Use plan and General Plan for the City of Morro Bay.

### **PLANNING CONDITIONS:**

9. Building permits: The project, as approved, will fall under the jurisdiction of the State of California Housing and Community Development jurisdiction for building permits, placement of the non-permanent buildings on the site and operational requirements. In the event the project would like to include a permanent building, the applicant shall be required to submit an application for amendment of this permit to the Community Development Department for review and approval.
10. Signage: A signage program is not included in this permit. Signage for the hotel or residential units will require a signage permit. On-site directional signage does not require a signage permit from the City of Morro Bay. Any proposed signage shall be submitted to the Community Development Department for review and approval prior to installation.
11. Deed Restriction for Affordable Units. The applicant shall record a deed restriction over the property, on forms provided by the City, for the 2 required affordable housing units available at rental rates at or below levels for moderate income tenants. The deed restriction shall identify the deed restricted units by space number.

### **PUBLIC WORKS DEPARTMENT:**

1. Stormwater Management: The City has adopted Low Impact Development (LID) and Post Construction requirements to protect water quality and control runoff flow from new and redevelopment projects. The requirements can be found in the Stormwater management guidance manual on the City's website [www.morro-bay.ca.us/mainmanual](http://www.morro-bay.ca.us/mainmanual) Projects with more than 2,500sf of new or redeveloped impervious area are subject to these requirements. All proposed projects must complete the "Appendix C - Performance Requirement Determination Form" to prove compliance.

2. Frontage Improvements: The installation of frontage improvements is required. Show the installation of a City standard driveway approach B-6, 10-foot sidewalk, curb, gutter and street tree. An encroachment permit is required for any work within the Right of Way.
3. Sewer Lateral: Indicate and label new or existing sewer lateral and connection. If an existing lateral is used, perform a video inspection of the lateral and submit to Public Works via flash drive or DVD, prior to building permit plan approval. Lateral shall be repaired as necessary and all repairs shall be noted on approved set of plans.
4. Erosion and Sediment Control Plan: For small projects less than one acre and less than 15% slope, provide a standard erosion and sediment control plan. Show on plans the control measures to provide protection against erosion of adjacent property and prevent sediment or debris from entering the City right of way, adjacent properties, any harbor, waterway, or ecologically sensitive area. Remove erosion and sediment control measures for areas not part (lots 1-3) of this project.
5. Water Meter: Indicate and label new or existing water meter on plans.
6. Grading and Drainage: Indicate on plans the existing and updated contours, drainage patterns, spot elevations, finish floor elevation and all existing and proposed drainage pipes and structures.
7. Utilities: Show all existing and proposed locations of the sewer lateral, water service, and water and sewer mains on the building plans. Include sizes where appropriate. Note the location of all overhead utilities and construction underground service entrances per the CBC. Per Municipal code 17.48.050, all utility service lines to the new development must be undergrounded.
8. Water Backflow Prevention Device: Verify and label all new or existing water backflow preventers. Water backflow preventer devices are required for fire water systems, irrigation systems (on a dedicated water meter), systems which may change in character of use (commercial rentals, etc.), gray water systems, or any plumbing system which has cross-connections or the ability to allow water of deteriorated sanitary quality to enter the public water supply. Add note to plan that device is required to be an approved domestic water backflow prevention device.

Add the following Notes to the Plans:

1. Any damage, as a result of construction operations for this project, to City facilities, i.e. curb/berm, street, sewer line, water line, or any public

improvements shall be repaired at no cost to the City of Morro Bay.

2. No work shall occur within (or use of) the City's Right of Way without an encroachment permit. Encroachment permits are available at the City of Morro Bay Public Works Office located at 955 Shasta Ave. A standard encroachment permit shall be required for the proposed driveway; the driveway shall comply with B-9 (Driveway Ramps: Size & Location). A sewer encroachment permit shall be required for any repairs or installation of a sewer lateral within the City right-of-way or within a utility easement. If a construction dumpster is used, the dumpster location shall be on private property, unless allowed by an encroachment permit within the City right-of-way.

### **FIRE CONDITIONS:**

1. Fire Safety during Construction and Demolition shall be in accordance with 2019 California Fire Code, Chapter 33. This chapter prescribes minimum safeguards for construction, alteration and demolition operations to provide reasonable safety to life and property from fire during such operations.
2. Automatic fire sprinklers. An automatic fire sprinkler system, in accordance with NFPA 13-D, California Fire Code (Section 903) and Morro Bay Municipal Code (Section 14.08.090).
3. Fire Department access to equipment. Rooms or areas containing controls for Electrical, FAU, Alarm and Fire Sprinkler Systems shall be identified by approved and appropriate signage for Fire Department use. (CFC 1001.8)
4. Fire Extinguishers. A minimum of one 2A-10-BC extinguisher shall be provided for each floor area, so that travel distance does not exceed 75 feet. Extinguishers shall be serviced annually and shall have a current service tag attached. (CCR, Title 19, Sec. 3.29)
5. Required water supply. An approved water supply capable of supplying the required fire flow for fire protection shall be provided to premises upon which facilities, buildings or portions of buildings are hereafter constructed or moved into or within the jurisdiction (CFC 507.1). Provide the required fire-flow requirement as contained in CFC Table B105.1(2).
6. Fire hydrant where required. Where a portion of the facility or building hereafter constructed or moved into or within the jurisdiction is more than 400 feet from a hydrant on a fire apparatus road, as measured by an approved route around the exterior of the facility or building, on-site fire hydrants and mains shall be provided where required by the fire code official.

7. Fire Lanes. Access roads and fire lanes shall be provided and identified by approved signage to read: "Fire Lane, No Parking" stenciled over red-painted curbs and signage.

PASSED AND ADOPTED by the Morro Bay Planning Commission at a regular meeting thereof held on this 7th day of April 2020 on the following vote:

AYES:

NOES:

ABSENT:

ABSTAIN:

\_\_\_\_\_  
Chairperson Gerald Luhr

ATTEST

\_\_\_\_\_  
Scot Graham, Planning Secretary

The foregoing resolution was passed and adopted on this 7th day of April 2020.

Site Plan Notes & Symbol Legend

SYMBOL	DESCRIPTION
02 00	Existing Conditions
02 01	Existing Power Pole
02 02	Existing fence or wall to be removed
02 03	Approximate Line of building on adjacent lot
02 04	Existing asphalt paving to be removed
03 00	Concrete
03 01	Extend 4' min. wide sidewalk, curb, gutter [City Std. B-5 similar] & Street Tree
03 02	Provide new driveway approach per City Std B-6
03 03	New concrete driveway, see site plan for perviousness: Standard Concrete:
	Pervious Concrete or pavers:
	Gravel/Greenstone: at unit space perimeter
	Decomposes Granite/Greenstone
03 04	Concrete stepping stone walkway
04 00	Masonry
04 01	New CMU Retaining Wall - 6' high max sections
05 00	Metals
05 01	+36" gaurdrail w/ balusters spaced such that a 4" sphere shall not pass located on retaining wall adjacent to Space 7 - 30" above adjacent grade. Aluminum or steel prestribed system - black.
06 00	Wood
06 01	6' high wood fence
22 00	Plumbing
22 01	Hot tap new 1 1/2" domestic water w/ 1" meter per City Std. at Connection - (Based on anticipated 73 WSFU) Symbol: ———
22 02	4" PVC/ABS sewer pipe - slope 2% min to drain Symbol: ——— Use PVC at lateral from Cleanout at PL to sewer main per City Standard S-1
22 03	Irrigation manifold - See Irrigation Plan
22 04	Sewer Cleanout
26 00	Electrical
26 01	Main Electrical Service Switchboard - Meter Panel - 400 Amp
26 02	Sub-panel with outlet(s) - 50 Amp
26 03	2 - 3" dia PVC underground conduit to existing power pole Symbol: ———
26 04	1 - 1" dia PVC underground conduit to each unit subpanel Symbol: ———
32 00	Exterior Improvements
32 01	D.G. pad below each space

Sheet Index

Site Plan & Statistics	A0.1
Parking Lot Maneuvering Diagrams	A0.2
Draining & Grading Plan	A0.3
Site Details - Erosion Control BMP's	A0.4
Site Elevation (& Section)	A0.5
Preliminary Landscape Plan	L1.1

Project Statistics

Address:	1930 Main St. Morro Bay, CA
Legal Description:	City of Morro Bay, Tract 47, Block 2, Lots 4 & 5
APN:	065-282-015
Zone:	MCR-R4
Lot Area:	11,915 sf
Setbacks:	Rear (East) 3' Side (South) 3' Side (North) 3' Front 6' to 8'
Unit Spaces:	7
Unit Heights:	14'-0" to 18' above Natural Grade
Lot Coverage:	2,400/11,915 = 20.14% [Max coverage when all units occupied]
Parking:	
Accessible (Van) Spaces	1
Standard Spaces	7
Compact Spaces	2
Total:	10

Impervious Area Calculation

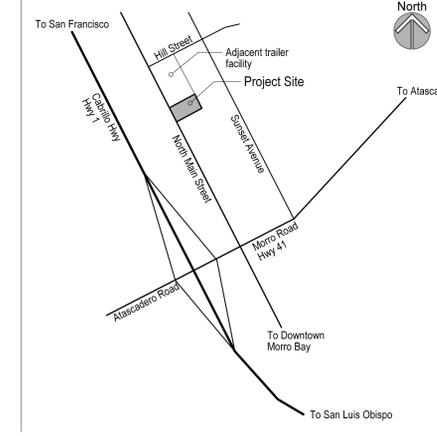
Existing Impervious Area:	548 sf
New Impervious Areas:	0 sf
Buildings:	2,083 sf
Parking and Driveways:	110 sf
Walkways:	446 sf
Impervious Area Removed:	
Shed Slab:	102 sf
Parking and Driveways:	446 sf
Completed Project Total Impervious Area:	2,193 sf*

Pervious Areas:

Parking Pads:	2,400 sf
New Landscape Area:	2,768 sf
Existing Landscape & Gravel Areas:	2,523 sf
Permeable Concrete or Pavers:	2,031 sf
Total Lot Area:	11,915 sf

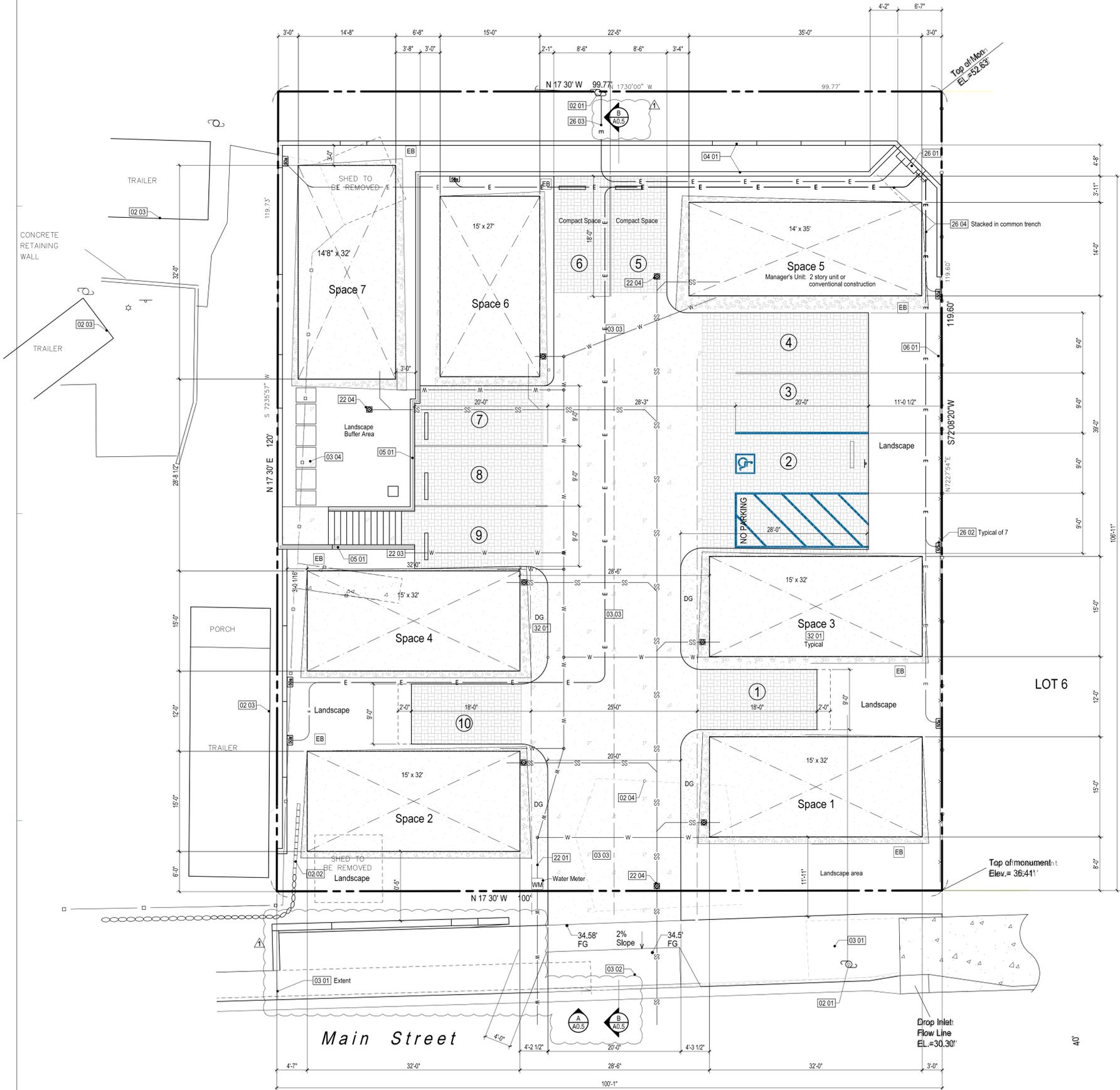
\* Project adds less than 2,500 sf of new impervious area. SUSMP and LID requirements are not applicable per Morro Bay's Stormwater Management Guidance Manual for Low Impact Development & Post Construction Requirements

Vicinity Map



Additional Notes per City

- Any damage, as a result of construction operations for this project, to City facilities, i.e. curb/berm, street, sewer line, water line, or any public improvements shall be repaired at no cost to the City of Morro Bay.
- No work shall occur within (or use of) the City's Right of Way without an encroachment permit. Encroachment permits are available at the City of Morro Bay Public Works Office located at 955 Shasta Ave. A standard encroachment permit shall be required for the proposed driveway; the driveway shall comply with B-3 (Driveway Ramps: Size & Location). A sewer encroachment permit shall be required for any repairs or installation of a sewer lateral within the City right-of-way or within a utility easement. If a construction dumpster is used, the dumpster location shall be on private property, unless allowed by an encroachment permit within the City right-of-way.



Site Plan  
1/8" = 1'-0"



S Squared Architecture Inc.  
Attn: Jeff Schneider  
8575 Morro Road, Suite E  
Atascadero, CA 93422  
PH 805.464.2228  
FX 805.556.4873  
info@s2arch.us

www.s2arch.us

CONSULTANTS

OWNER	Owner/Applicant: Jeff Borges, et. al. 625 Wild Oats Way Templeton, CA 93465 Phone: (805) 610-4906						
PROJECT	Ocean Breeze Cottages Project Address: 1930 Main St Morro Bay, CA						
KEY PLAN	Plan North True North						
DATE	Print Date: 2/14/2020 Issued for: Presentation						
INITIALS	Initial Submittal: - Project number: 18.19-MOO Drawn by: JRA Checked by: JES						
REVISIONS	<table border="1"> <thead> <tr> <th>No.</th> <th>Description</th> <th>Date</th> </tr> </thead> <tbody> <tr> <td>1</td> <td>Planning/Public Works Comments</td> <td>12/17/20</td> </tr> </tbody> </table>	No.	Description	Date	1	Planning/Public Works Comments	12/17/20
No.	Description	Date					
1	Planning/Public Works Comments	12/17/20					
SCALE	Site Plan & Statistics A0.1 Scale 1/8" = 1'-0"						



Site Plan Notes & Symbol Legend (not all symbols necessarily on this sheet)

SYMBOL	DESCRIPTION
22 00	Plumbing
22 01	Hot tap new 1 1/2" domestic water w/ 1' meter per City Std. at Connection - [Based on anticipated 73 WSFU] Symbol: — x — x
22 02	4" PVC/ABS sewer pipe - slope 2% min to drain Symbol: — s — s
22 03	Irrigation manifold - See Irrigation Plan
22 04	Sewer Cleanout
26 00	Electrical
26 01	Main Electrical Service Switchboard - Meter Panel - 400 Amp
26 02	Sub-panel with outlet(s) - 50 Amp
26 03	2 - 3" dia PVC underground conduit to existing power pole
26 04	1 - 1" dia PVC underground conduit to each unit subpanel Symbol: — r — r
31 00	Earthwork
31 01	Erosion Control BMP's
31 01	Provide Stockpile Management per CASQA detail WM-3/A0.4 as occurs See sheet A0.2 for location
31 02	Provide Concrete Washout per CASQA detail WM-8/A0.4 & 4/A0.4 See sheet A0.2 for location
31 03	Install Fiber rolls at base of slope as indicated per CASQA detail SE-5 & 1/A0.4
31 04	Silt Fence per detail 5/A0.4 - Reference CASQA SE-1
31 05	Temporary material storage area per CASQA detail WM-1/A0.4
31 06	Inlet protection w/ Filtrax Composite Filter Sock or equal on Sheet A0.4

Standards:

The improvements shown on these plans shall be constructed in conformance with the standard drawings and specifications listed below. In the event of a discrepancy between these plans and the standard drawings and specifications, the governing order of precedence shall be as follows:

1. City of Morro Bay Standard Specifications and Engineering Standards
2. Caltrans Standard Plans and Specifications
3. Specifications by S Squared Architecture Inc.

Project Statistics/Quantities

Address:	1930 Main Street Morro Bay, CA
APN:	068-282-015
Legal Description:	City of Morro Bay, Tract 47, Block 2, Lots 4 & 5
Project Description:	Construction of 7 mobile unit pads and parking
Lot Area:	0.274 Acres (11,915 sf)
Impervious Area Calculation	
Existing Impervious Area:	548 sf
New Impervious Areas:	
Buildings:	0 sf
Parking and Drivesways:	2,083 sf
Walkways:	110 sf
Impervious Area Removed:	
Shed Slab:	102 sf
Parking and Drivesways:	446 sf
Completed Project Total Impervious Area:	2,193 sf
Perivable Areas:	
Parking Pads:	2,400 sf
New Landscape Area:	2,768 sf
Existing Landscape & Gravel Areas:	2,523 sf
Permeable Concrete or Pavers:	2,031 sf
Total Lot Area:	11,915 sf

\* Project adds less than 2,500 sf of new impervious area. SUSMP and LID requirements are not applicable per Morro Bay's Stormwater Management Guidance Manual for Low Impact Development & Post Construction Requirements

Standard Concrete:	
Perivable Concrete or pavers:	
Gravel/Greenstone:	
Decomposes Granite/Greenstone:	

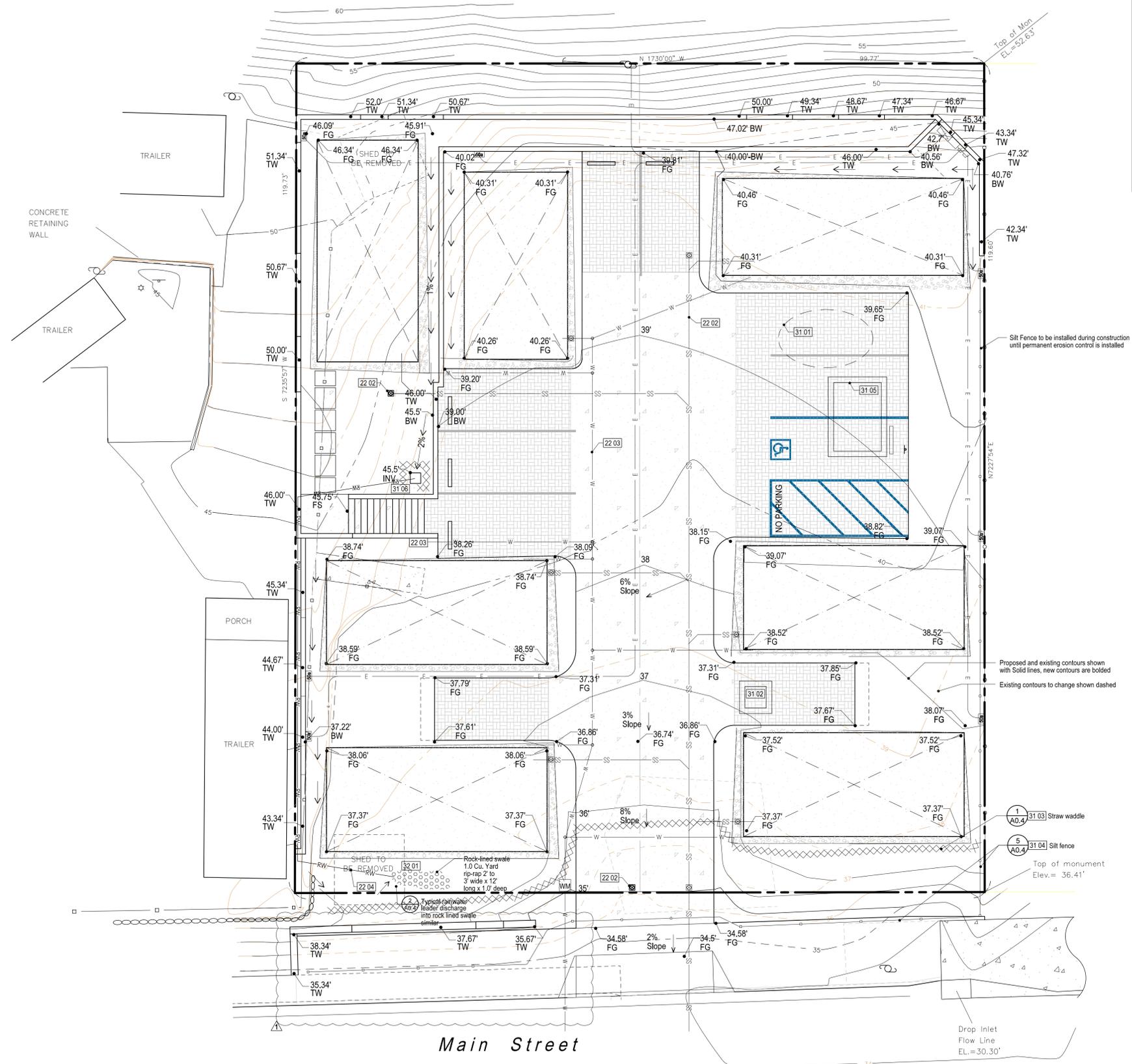
Estimated Earthwork Quantities:	Cut:	256 CY
	Fill:	58 CY
	Import:	58 CY
	Export:	258 CY
	Over-Excavation:	0 CY TBD
	Max cut depth:	6' +/- (at retaining walls)
	Max fill depth:	1.25' +/-

Preliminary Grading Plan Notes

- All clearing, grubbing, site preparation, over-excavation, earthwork, engineered fill, and material testing shall be in compliance with the geotechnical engineering report.
- Roof drains shall discharge on solid surface as indicated or shall be conveyed in pipes to discharge a safe distance away from structures in a non-erosive manner or conveyed to vegetated/rock swales.
- The cut and fill quantities shown above are for permit purposes only. The contractor shall, after examining the grading plan, soils report and terrain, prepare his/her estimate independently of this estimate.
- Any existing survey monuments shall be protected in place or shall be tied out by a licensed land surveyor prior to disturbance and then replaced prior to occupancy in accordance with section 8771 of the CA Business & Professions Code.
- Lot grading shall meet the minimum requirements of the latest edition of the CBC including a 5% slope away from the structure u.o.n.
- All excavations to be free of water and debris prior to pouring foundations.
- Use only clean soils in backfills and grading around buildings.
- No grading or drainage improvements which alter existing drainage courses or concentrate drainage to adjacent properties will be allowed.
- Remove all grass, shrubs and other organic material with the construction zone, down to the natural grade.
- Transport all waste material from the project site to a legal off-site dump.
- All utility and/or trenches, pipe chases, and similar openings through foundation shall be sealed against water migration.
- Slope grade away from building 5% for a minimum of 10' u.o.n. on plan. This may be accomplished through permeable paver/slab grade construction. Paved surfaces may slope 2% away from building.
- Cut and fill slopes shall not exceed a grade of 2 horizontal to 1 vertical.
- Fill and backfill placed at near optimum moisture in layers with loose thickness not greater than 8" should be compacted to a minimum of 95% of the maximum density obtainable by the ASTM D1557 "best method". The soils engineer shall provide intermittent inspections and testing of the fill and backfill.
- Approved erosion and sedimentation protection devices shall be provided and maintained and shall be in place at the of each day's work.

Additional Notes per City

- Any damage, as a result of construction operations for this project, to City facilities, i.e. curb/berm, street, sewer line, water line, or any public improvements shall be repaired at no cost to the City of Morro Bay.
- No work shall occur within (or use of) the City's Right of Way without an encroachment permit. Encroachment permits are available at the City of Morro Bay Public Works Office located at 955 Shasta Ave. A standard encroachment permit shall be required for the proposed driveway; the driveway shall comply with B-9 (Driveway Ramps: Size & Location). A sewer encroachment permit shall be required for any repairs or installation of a sewer lateral within the City right-of-way or within a utility easement. If a construction dumpster is used, the dumpster location shall be on private property, unless allowed by an encroachment permit within the City right-of-way.



Main Street

Preliminary Grading & Drainage w/ Erosion Control

1/8" = 1'-0"



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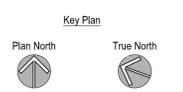
CONSULTANTS

OWNER

Owner/Applicant:  
Jeff Borges, et. al.  
625 Wild Oats Way  
Templeton CA 93465  
Phone: (805) 610-4906

Ocean Breeze Cottages

Project Address:  
1930 Main St  
Morro Bay, CA



Print Date: 2/14/2020  
Issued for: Presentation

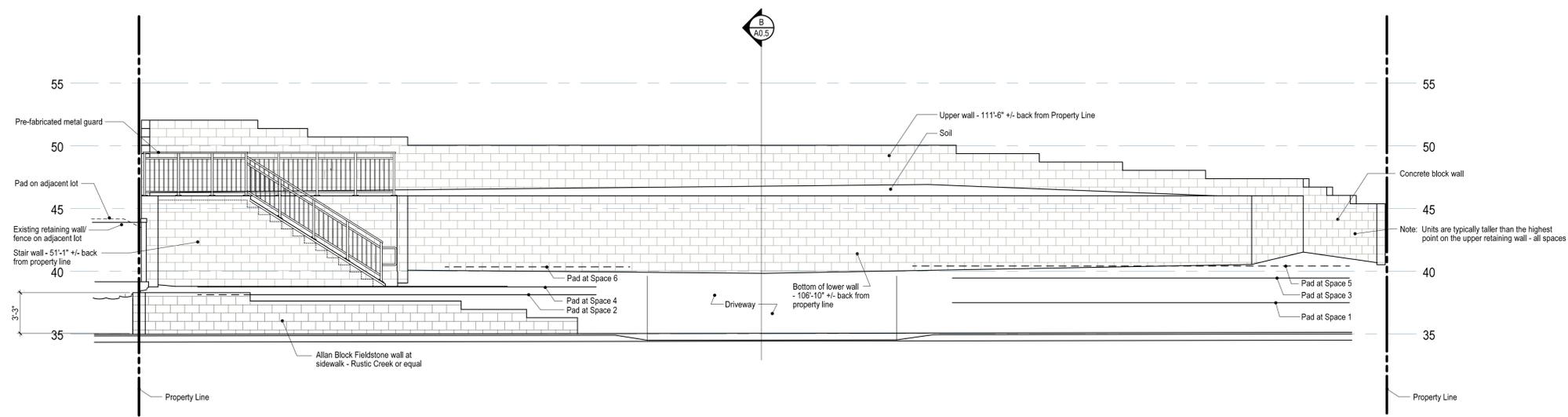
Initial Submittal:  
Project number: 18-19-AMQ  
Drawn by: JRS  
Checked by: JRS

Revisions	No.	Description	Date
▲	1	Planning/Public Works	12/17/20
▲	2	Comments	
▲	3		
▲	4		
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▲	9		
▲	10		

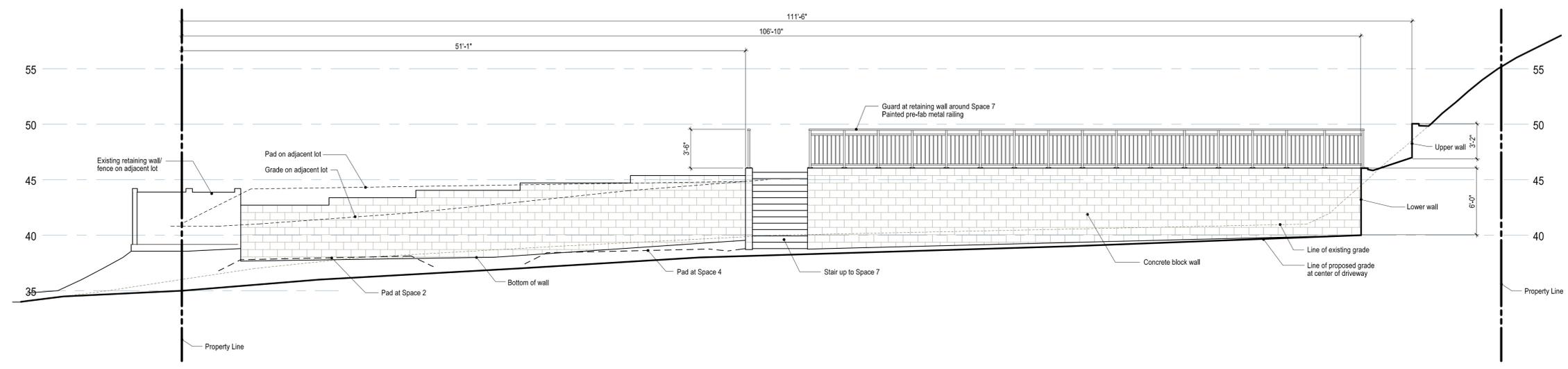
Preliminary Grading & Drainage iPlan

A0.3  
Scale 1/8"=1'-0"





A. Site Elevation from Main Street  $\triangle$   
3/16" = 1'-0"



B. Site Section/Elevation at Driveway Center  $\triangle$   
3/16" = 1'-0"

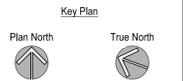


S Squared Architecture Inc.  
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CONSULTANTS

OWNER  
Owner/Applicant:  
Jeff Borges, et. al.  
625 Wild Oats Way  
Tempton, CA 93465  
Phone: (805) 610-4906

Ocean Breeze Cottages  
Project Address:  
1930 Main St  
Morro Bay, CA

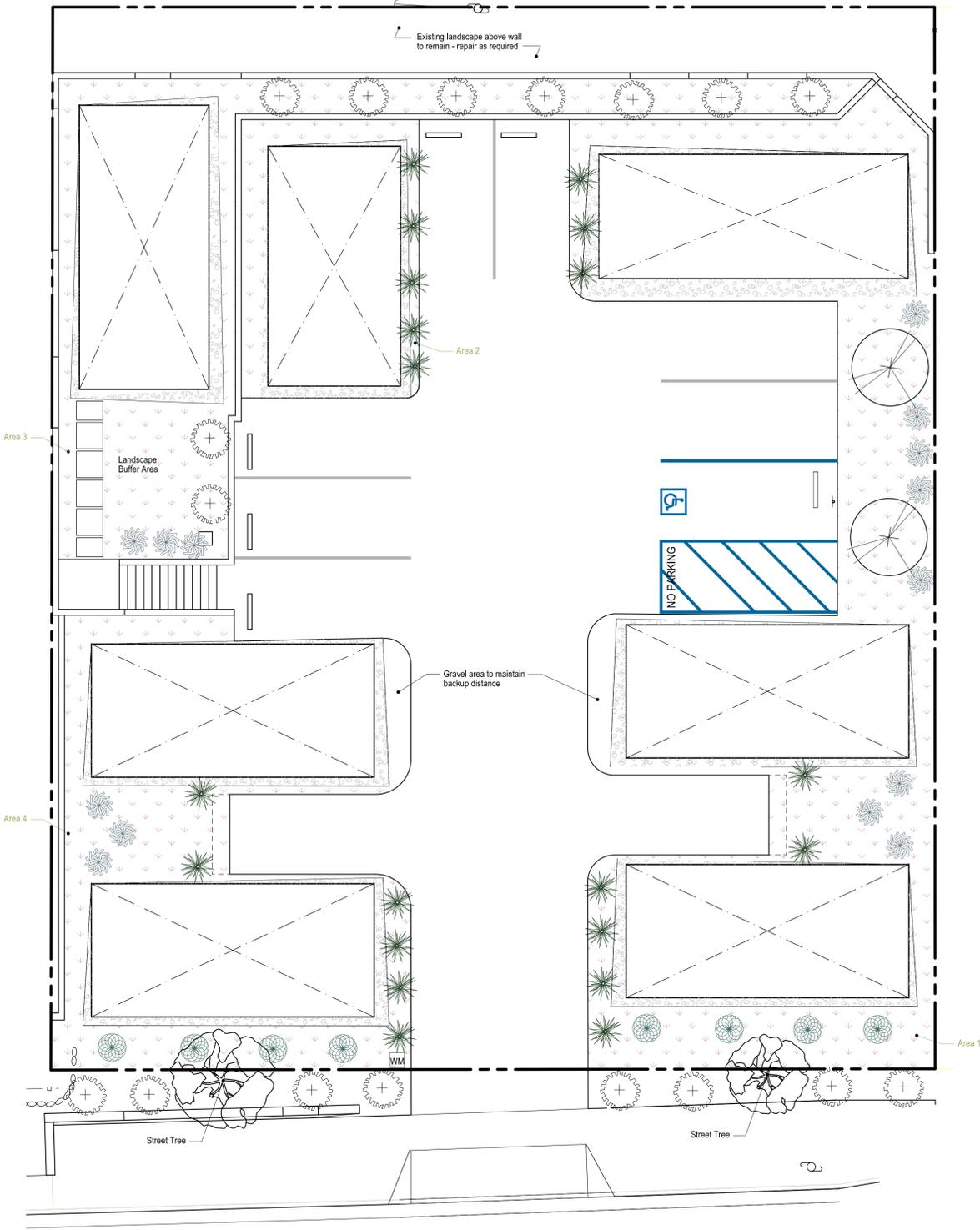
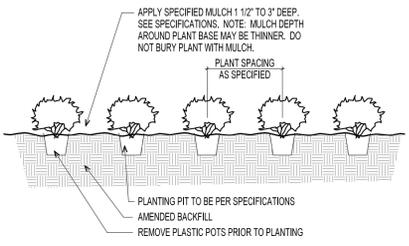
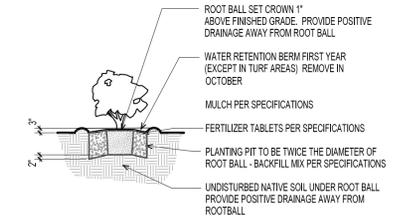
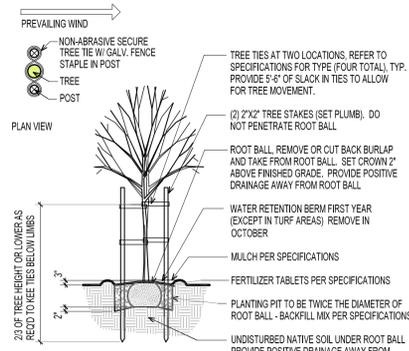


Print Date: 2/14/2020  
Issued for: Presentation  
Initial Submittal:  
Project number: 18.19-1MCO  
Drawn by: JRA  
Checked by: JES

No.	Description	Date
$\triangle$	Planning/Public Works Comments	12/17/20
$\triangle$		

Site Elevations & Section

A0.5  
Scale 3/16"=1'-0"



- LANDSCAPE PLAN NOTES**
- In no way shall plan to be interpreted to exceed the legal boundaries of the Owner's real property.
  - All plantings and irrigation shall be installed to meet all applicable city, county, state and federal codes.
  - This plan shall be considered preliminary until approved by all governing agencies. Implementation shall not proceed until issuance of all related permits.
  - Plant quantities are for information only. In case of any discrepancy, the plan shall govern.
  - The contractor shall verify the location of existing underground utilities and structures prior to performing any excavation, contractor shall repair any damage to utilities caused by his work at no additional cost to the owner.
  - The Contractor shall repair any damage to existing elements on and off site resulting from the contractor's work.
  - The Contractor is responsible for the viability of all plant material for 2 years after completion of the planting. Diseased, dying or dead plant material shall be replaced by the contractor during the 2 year period and maintained for an additional 2 years.
  - All plant materials shall match specifications for species and shall comply with ANSI Z60.1 "Standards for Nursery Stock."
  - Immediately upon bid award, contractor shall secure the plant materials as specified from available sources. In the event that plant materials are not available, contact Architect for approved substitutions. No substitutions for plant material will be allowed without prior written approval of the landscape designer.
  - Incorporate 10-20-20 fertilizer into the root zone of all new plantings.
  - Ronstar, or approved equal, preemergent herbicide to be applied to all planted areas per manufacturer's instructions
  - Existing vegetation to be removed to be sprayed with Roundup, or approved equal per mfg's instructions. Sufficient time shall be given to allow existing material to die. Remove existing vegetation mat and rototill or scarify soil.
  - Top dress all shrub and groundcover areas with 2" of fir bark mulch. Submit sample to landscape designer prior to construction for approval.
  - Tree locations may be adjusted in the field to suit site requirements as directed by the architect.
  - Excavated planting pits shall have positive drainage. Plant pits fully flooded with water shall drain within 12 hours of filling. The contractor shall ensure all plant pits have positive drainage.
  - Finish grade shall be set to allow positive drainage.
  - Rototill 2" of compost into all planted areas.
  - Plant material shall be planted with root crown 1" above finish grade to allow for positive drainage away from crown.
  - Netting shall be provided at all slopes greater than 3 to 1 and covered with decorative gravel.
  - All trees over 8' in height shall be staked per details.
  - Landscape contractor shall coordinate with general contractor to provide for necessary sleeving through constructed elements including but not limited to concrete/masonry walls, footings & flatwork.
  - All shrubs in the vision clearance area for driveway need to be maintained at a maximum height of 3'-0".
  - Vegetative swale grass height to be maintained to be 4" to 6".

**Trees & Shrubs Legend**

Image	Description	Symbol	Hydrazone	Count
	<i>Cupressus macrocarpa</i> Monterey Cypress 15 Gallon Can On City of Morro Bay, Street Tree List		Low	2
	<i>Metrosideros excelsus</i> New Zealand Christmas Tree 15 Gallon Can		Low	2
	<i>Arctostaphylos hookeri</i> Monterey Carpet Manzanita 5 Gallon Can		Low	19
	<i>Senecio mandraliscae</i> Blue Chalksticks 1 gallon can Height: 1'-2' Width: 1'-2' Spacing: 2'		Low	16
	<i>Agave</i> Blue Glow Agave 1 gallon can Height: 1.5' Width: 2' Spacing: 3'		Low	15
	<i>Anigozanthus 'Bush Pearl'</i> Kangaroo Paw Bush Pearl 1 gallon can Height: 1'-6' Width: 1'-3' Spacing: 3'		Low	17
	<i>Thymus serpyllum 'Coccineum'</i> Creeping Mother-of-Thyme Flats Height: 6" Width: 1'-1.5' Spacing: 2'		Low	6

**TO CALCULATE MAWA - Maximum Applied Water Allowance**

ETo	39.9
LA	2768
SLA	0
MAWA (Gallons)	47,932
MAWA (Inches per sq.ft.)	27.8
MAWA (Inches per DAY)	0.08

Maximum Applied Water Allowance Equation:  
MAWA = (ETo) (0.62) [(0.7 x LA) + (0.3 x SLA)]

**TO CALCULATE ETWU - Estimated Total Water Use**

ETo	39.9
PPFHA (see chart)	491.55
HA (same as LA)	2768
IE (see chart)	0.9
SLA	0
ETWU (Gallons)	13,511
ETWU (Inches per sq.ft.)	7.8
ETWU (Inches per DAY)	0.02

Estimate Total Water Use Equation:  
ETWU = (ETo x 0.62) [(PPF x HA)/IE] + SLA

**DEFINITIONS**

ETo	Reference provided in Appendix A - CMRS
LA	Landscape area
SLA	Special landscaped area WITHIN the landscaped area
P.F.	Plant water use factor- WUCOLS
H.A.	Hydro zone area = Irrigated area
IE	Irrigation efficiency. Must exceed 0.71.

**To Determine Plant Factor with Multiple Hydro Zones**

H.Z.	Type	P.F.	H.A.	Weighted P.F.
1	low	0.03	1255	37.65
2	low	0.9	161	46.8
3	low	0.9	732	215.6
4	low	0.9	620	188
5	low	0.9	0	0
6	low	0.9	0	0
Totals			2768	491.55

**To Determine Average System "IE" exceeds .71**

H.Z.	Type	Sprinkler	HA	"IE"	Weighted Area
1	low	drip	1255	0.9	1129.5
2	low	drip	161	0.9	144.9
3	low	drip	732	0.9	658.8
4	low	drip	620	0.9	558
5	low	spray	0	0.75	0
6	low	spray	0	0.75	0
Totals			2768		2491.2

Average System IE (IE) is a derivative of DU defined as  
IE = DU x IME, Where IME = Irrigation Management Efficiency

Does ETWU Qualify? **Yes - ETWU Does Not Exceed Maximum Allowed**

Main Street

Preliminary Landscape Plan

1/8" = 1'-0"

**S<sup>2</sup> Architecture**

S Squared Architecture Inc.  
Attn: Jeff Schneider  
8575 Morro Road, Suite E  
Alicadero, CA 93422  
PH 805.464.2228  
FX 805.556.4873  
info@s2arch.us

www.s2arch.us

CONSULTANTS

**OWNER**

Owner/Applicant:  
Jeff Borges, et. al.  
625 Wild Oats Way  
Templeton, CA 93465  
Phone: (805) 614-6906

**Ocean Breeze Cottages**

Project Address:  
1930 Main St  
Morro Bay, CA

**Key Plan**

Plan North True North

Print Date 2/14/2020  
Issued for: Presentation

Initial Submittal: -  
Project number 18-19-MOO  
Drawn by JRA  
Checked by JES

**Revisions**

No.	Description	Date
1	Planning/Public Works	12/17/20
2	Comments	
3		
4		
5		
6		

Preliminary Landscape Plan

**L1.1**

Scale 1/8" = 1'-0"



# Planning Commission

**PUBLIC HEARING  
TO CONSIDER A  
CONDITIONAL USE PERMIT  
(CUP 20-02)**

**AND**

**COASTAL DEVELOPMENT PERMIT (CDP19-009-)  
FOR 1930 MAIN STREET**

1930 Main-St

**APRIL 7, 2020**



**MORRO BAY**  
PUT LIFE ON COAST

## Existing Site Information

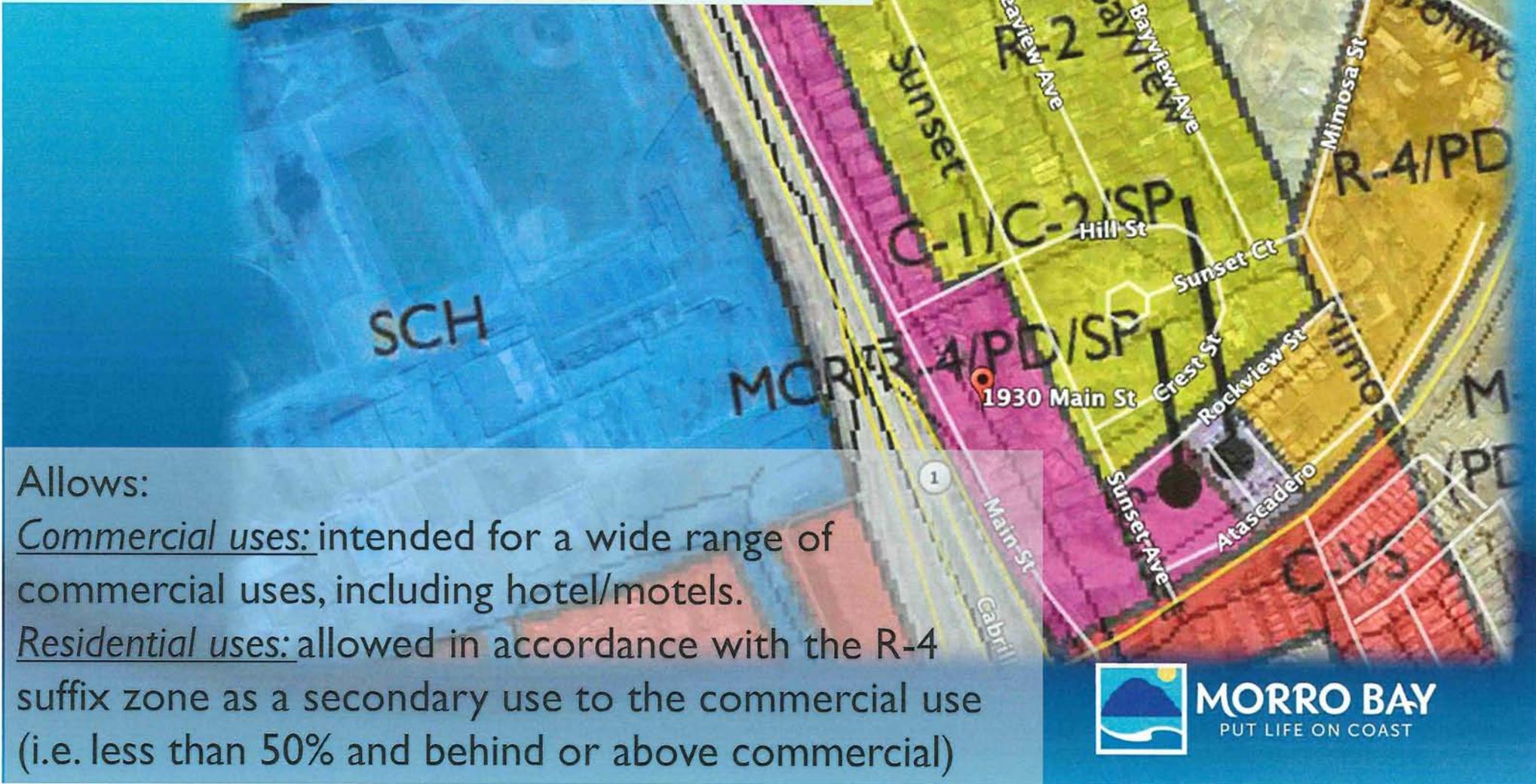


- 12,000 sf site
- Currently used for parking and non-permanent storage sheds
- The existing driveway configuration is the same as proposed
- Site is adjacent to an existing mobile home park



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## MCR/R-4/North Main Specific Plan Area



# North Main Specific Plan Area

## North Main Street Area Specific Plan – Area C:

provides for consideration of building height, roof line variations, street trees and street frontage improvements



## Land Use Designation



This site has a land use designation of Mixed Use – Area F, which allows for a mixture of uses as appropriate, evaluated on a parcel by parcel basis.



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# Photo Simulation from Main Street – Hotel units

Sea Breeze Cottages



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# Examples of other Park Model homes that may be used on the site



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## How this project meets the intent of the zoning and land use districts

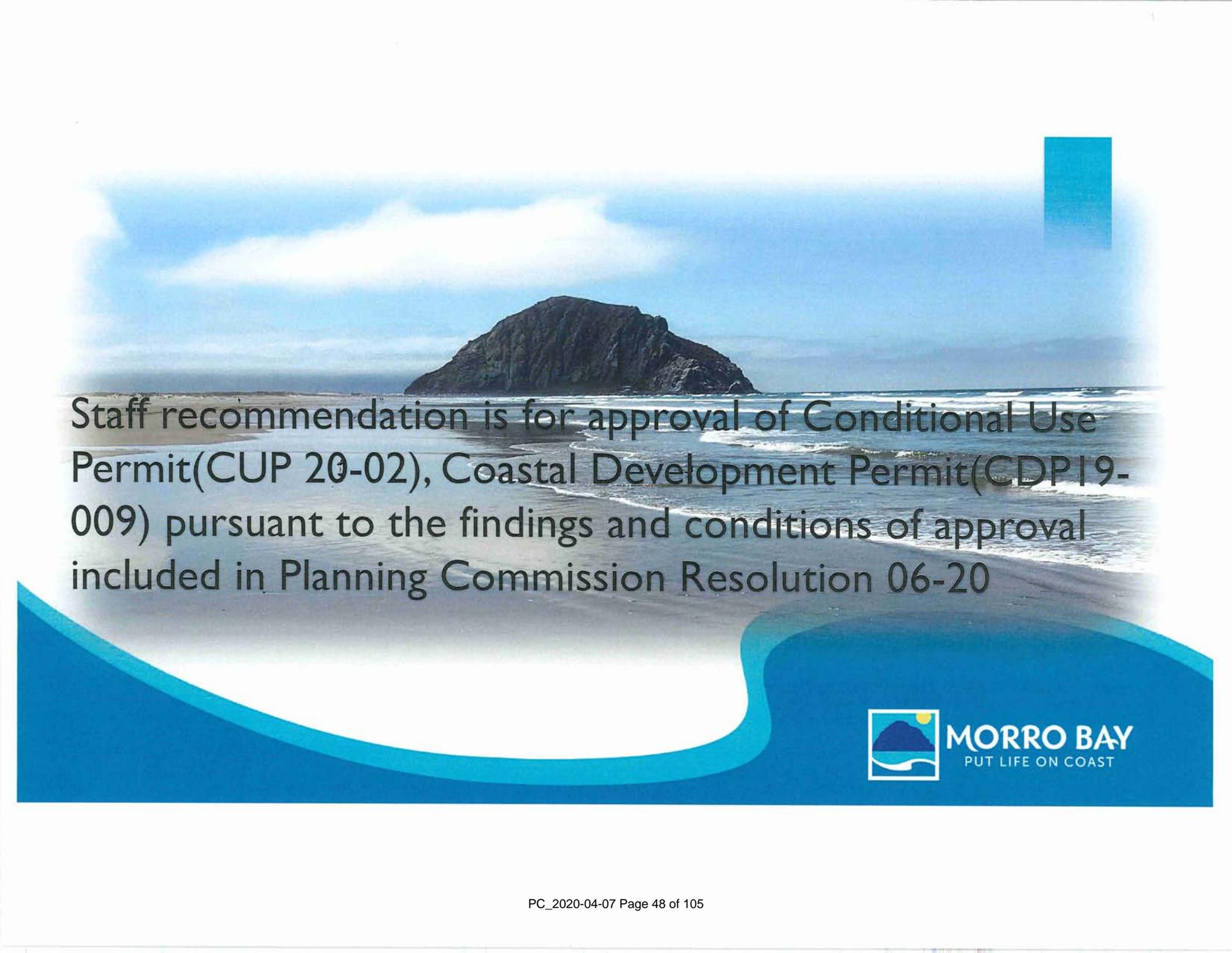
- Provides an active mix of commercial and residential
- Residential is secondary to the commercial use
- The project meets the density and parking standards
- The project is compatible with the neighborhood
- The project meets the enforceable zoning development standards
- The only difference is this project will be non-permanent structures



City Development Standards

	<b>MCR/R-4/SP Standards</b>	<b>Proposed Project</b>
<b>Front Setback</b>	5 feet	6-8 feet
<b>Side-Yard Setback</b>	5 feet	3 feet
<b>Rear Setback</b>	5 feet	16 feet
<b>Height (from ANG)</b>	25 Feet	14-18 feet
<b>Lot Coverage</b>	60%	20.14 %
<b>Parking</b>	8 spaces required	10 spaces provided





Staff recommendation is for approval of Conditional Use Permit(CUP 20-02), Coastal Development Permit(CDP19-009) pursuant to the findings and conditions of approval included in Planning Commission Resolution 06-20



**MORRO BAY**  
PUT LIFE ON COAST



AGENDA NO: B-2

MEETING DATE: April 7, 2020

## Staff Report

**TO:** Planning Commissioners      **DATE:** March 30, 2020

**FROM:** Willow Urquidi, Assistant Planner

**SUBJECT:** **Conditional Use Permit (CUP19-21) and Parking Exception (PKG20-01)** Request for Conditional Use Permit (CUP19-21) and Parking Exception (PKG20-01) for a 72 sf deck addition and a 211 sf hall and stairway addition to an existing 1,396 sf non-conforming single-family home. The project has an existing non-conforming parking situation where two cars can park open and uncovered in the driveway. The site is a single-family residential property located at 2820 Greenwood Avenue in an R-1/S.2 zone. The project is outside the Coastal Commission appeal jurisdiction.

**RECOMMENDATION:**

*CONDITIONALLY APPROVE THE PROJECT* by approving Planning Commission **Resolution 04-20** (Exhibit A) which includes the Findings and Conditions of Approval for the project depicted on site development plans on file with the Community Development Department.

**APPLICANT:**

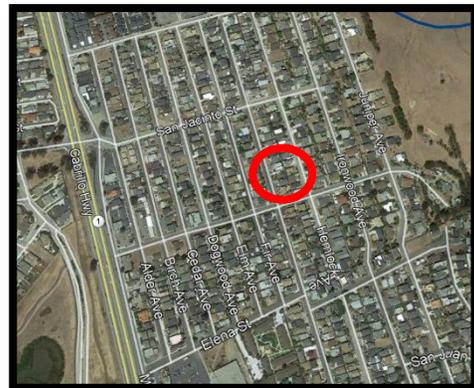
Rich and Jennifer Novick

**AGENT:**

Jason Buckmaster

**LEGAL DESCRIPTION/APN:**

CY MO OCEAN HTS 1 BL 9 LT 9 /  
068-218-009



**PROJECT DESCRIPTION:**

Request for a Conditional Use Permit (CUP19-21) and Parking Exception (PKG20-01) for a 72 sf deck addition and a 211 sf hall and stairway addition to an existing 1,396 sf non-conforming single-family home with an existing non-conforming parking situation.

**PROJECT SETTING:**

The project is located within the Del Mar Neighborhood, designated as Planning Area 3 in the Local Coastal Plan, it lies within the R-1/S.2 Single-Family Residential/Special Treatment Overlay Zoning District and outside of the Coastal Commission Appeal Jurisdiction. This 4,000 sq. ft. lot is located to the north of San Joaquin Street, south of San Jacinto, east of Fir Avenue, and to the west of Hemlock Avenue. The project cannot be seen from scenic Highway 1.



Adjacent Zoning/Land Use			
<b>North:</b>	R-1/S.2 (Single-Family Residential/Special Treatment Overlay)	<b>South:</b>	R-1/S.2 (Single-Family Residential/Special Treatment Overlay)
<b>East:</b>	R-1/S.2 (Single-Family Residential/Special Treatment Overlay)	<b>West:</b>	R-1/S.2 (Single-Family Residential/Special Treatment Overlay)

Site Characteristics	
<b>Site Area</b>	4,000 SF
<b>Existing Use</b>	Existing Single-Family Residence

<b>Terrain</b>	Relatively flat
<b>Vegetation/Wildlife</b>	Ornamental Landscaping
<b>Archaeological Resources</b>	N/A
<b>Access</b>	Greenwood Avenue

<b>General Plan, Zoning Ordinance, &amp; Local Coastal Plan Designations</b>	
<b>General Plan/Coastal Plan Land Use Designation</b>	Medium Density
<b>Base Zone District</b>	R-1
<b>Zoning Overlay District</b>	S.2
<b>Special Treatment Area</b>	n/a
<b>Combining District</b>	n/a
<b>Specific Plan Area</b>	n/a
<b>Coastal Zone</b>	Located outside of the Coastal Commission Appeal Jurisdiction

<b>Zoning Ordinance Standards</b>		
	<b>Standards</b>	<b>Proposed</b>
<b>Front Setback</b>	15'	18'7" (Existing)
<b>Side-Yard Setback</b>	North: 5' Shed: 1' South: 5'	<b>North: 2.4' (Existing)</b> <b>Shed (North): 0' (Existing)</b> South: 5.4' (Existing)
<b>Rear Setback</b>	5'	11.6' (Existing)
<b>Height</b>	25'	21' 3 1/2"
<b>Building Separation</b>	6'	6'
<b>Lot Coverage</b>	50%	38.9%
<b>Parking</b>	2 Car Garage	<b>No garage (Existing)</b> <b>Parking Exception</b>

## **PROJECT DISCUSSION:**

County Assessor records indicate the existing non-conforming single-family residence was constructed in 1953. Since then, the residence has undergone a permitted remodel in 1966, permitted additions in 1967 and 1970, and a permitted roof extension in 1994. Today, the Applicant is proposing an addition that would enclose the stairway access to the second story master bedroom, adding 211 sf of habitable space, and 72 sf of exterior decking.

### **Setbacks**

The existing 1,296 sf primary residence sits 18'7" from the front property line on Greenwood Avenue, 2.4' from the northern side property line, 7.3' from the southern side property line, and 11.6' from the rear property line. The existing garage entry sits 24.7' from the front property line facing Greenwood Avenue. The proposed second story deck posts will be located outside of the required 20' minimum depth for the open and uncovered parking spaces associated with the Parking Exception. Pursuant to Morro Bay Municipal Code (MBMC) Section 17.24.050, non-conforming setbacks exist along the north property line for the both the shed and the residence. The shed setback requirement is 1' and the living structure setback requirement is 5'. All proposed additions are to remain outside of the required setbacks and the shed will be modified to meet the 6' of building separation that is required by MBMC Section 17.48.040.

### **Parking**

The existing residence does not have a garage. According to the permit history, the original home was built with a garage below the second story space. It is unknown when the garage was converted into living space, but it is likely that it was during the permitted remodel from 1966 or around that time. The parking exception will allow the existing non-conforming parking spaces to be located in the driveway. No changes to the current parking situation are proposed, therefore there is no additional impact associated with the proposed addition.

### **Residential Design Guidelines**

1. Relationship to Homes in Immediate Neighborhood

*The visual elements and aesthetic design of the home will be modified to suit the proposed addition. The proposed second story will change from a flat to a pitched roof, which is similar to the homes in the immediate neighborhood. The second story will not negatively impact the view from the street, as there is an existing second story there now and the property is between two two-story homes.*

## 2. Scale and Mass

*The proposed second story addition is located at the rear of the upper floor and will not negatively impact the street view as it will be similar in scale and mass to the second story that exists now.*

## 3. Surface Articulation

*The proposed addition uses similar colors, materials, and design elements to those on the existing primary residence. The added deck also adds surface articulation on the front of the home.*

## 4. Building Orientation

*The front entryway is visible from Greenwood Avenue and no changes are proposed.*

## 5. Garage and Driveway Design

*The project does not have a garage and is asking for a Parking Exception.*

## 6. Building Materials

*The proposed addition is designed to be consistent with the design of the existing residence.*

## 7. Architectural Elements

*The doors, windows, and other architectural features will be consistent with the design of the existing primary residence.*

### **Permit Requirements**

Title 17 of the MBMC establishes land use and zoning permit requirements. The project at 2820 Greenwood Avenue proposes an addition to an existing non-conforming residence and has already used the one-time addition allowed by MBMC Section 17.56.160. The project is also asking for the two open and uncovered spaces in the driveway to meet the parking requirement for the R-1/S.2 Zone. This project requires Planning Commission approval of a Conditional Use Permit (MBMC Section 17.56.160) and a Parking Exception (MBMC Section 17.44.050).

### **Conditional Use Permit**

The Zoning Ordinance, subsection 17.56.160B, requires approval of a Conditional Use Permit for an addition to a nonconforming structure if the residence has been added onto in the past. The project proposes to add 211 sf square-feet of habitable floor area by enclosing the stairway access to the second floor. As noted above,

the primary residence is non-conforming with regards to the side-yard setback and parking situation. The proposed addition is compliant with all pertinent development standards. Permit approval requires the following findings to be made:

1. The enlargement, expansion, or alteration is in conformance with all applicable provisions of the Zoning Ordinance.

*The proposed addition is consistent with Zoning Ordinance requirements as detailed above.*

2. The project meets applicable Title 14 (Building and Construction Code) requirements for a conforming use.

*The Applicant is required to submit a complete building permit application and obtain the required building permit prior to construction.*

3. The project is suitable for conforming uses and will not impair the character of the zone in which it exists.

*The project adds habitable square footage to an existing single-family residence, which is an allowed use in the R-1/S.2 Residential Zoning District.*

4. It is not feasible to make the structure conforming without major reconstruction of the existing structure.

*Major reconstruction would be necessary to meet the required side yard setback and to remedy the parking situation.*

### **Parking Exception**

As per Section 17.44.020 of the Zoning Ordinance, single-family residential developments require two covered and enclosed parking spaces. The existing residence provides none, however two cars can fit in the 20'x20' driveway within the front setback (MBMC Section 17.44.050). Exceptions to the parking standards require the following findings to be made:

1. The exception will not constitute a grant of special privilege inconsistent with the driveway or parking limitations upon other properties in the vicinity and the reduced parking or alternative to the parking design standards of this chapter will be adequate to accommodate on the site all parking needs generated by the use.

*Single-family residences are required to provide two parking spaces. If the parking exception is approved, then the project would meet that requirement. The parking spaces in the front yard setback are adequate in size to accommodate two parked vehicles. Many dwellings in the City have non-conforming parking situations.*

2. The exception will not adversely affect the health, safety, or general welfare of persons working or residing in the vicinity and that no traffic safety problems will result from the proposed modification of the parking standard.

*The current parking situation on site is existing and no changes are proposed. No additional parking impacts will be created in association with this addition. Uncovered and unenclosed parking will not result in traffic safety problems at this location because the parking area will be outside of the Public Right-of-Way; sight distance is adequate for vehicles maneuvering into and out of the driveway.*

3. The exception is reasonably necessary for the applicant's full enjoyment of uses similar to those upon the adjoining real property.

*The Applicant's parking proposal is reasonable given similar parking arrangements in the project vicinity and given the footprint and construction of the existing buildings on site.*

**PUBLIC NOTICE:**

Notice of this item was posted at the site and published in the San Luis Obispo Tribune newspaper on March 27, 2020, and again on March 6, 2020 (due to 3/3/20 Planning Commission meeting cancellation) all property owners and occupants of record within 500 feet of the subject site were notified of this evening's public hearing and invited to voice any concerns on this application.

**ENVIRONMENTAL DETERMINATION:**

Environmental review was performed for this project and staff determined it meets the requirements for a Categorical Exemption under CEQA Guidelines Section 15301 Class 1(e). The exemption applies to additions to existing structures. Additionally, none of the Categorical Exemption exceptions, noted under Section 15300.2, apply to the project.

**CONCLUSION:**

The project is consistent with the General Plan and Local Coastal Plan which establish five residential land use categories to provide for a wide range of densities and to ensure residential land is developed to a density suitable to its location and physical characteristics. The project is consistent with the Zoning Ordinance because housing is a principally allowed use in the Medium Density land use designation and because the Zoning Ordinance allows exceptions to the parking standards (MBMC Section 17.44.050) and additions to non-conforming structures upon approval of a Conditional Use Permit (MBMC Section 17.56.160).

**RECOMMENDATION:**

Staff recommends the Planning Commission approve the requested Conditional Use Permit (CUP19-21), and Parking Exception (PKG20-01) for the proposed project at 2820 Greenwood Avenue, as shown on plans dated February 19, 2020 by adopting Planning Commission **Resolution 04-20** which includes the Findings and Conditions of Approval for the project.

**EXHIBITS:**

- Exhibit A – Planning Commission Resolution 04-20
- Exhibit B – Plan Reductions
- Exhibit C – Photosimulation

RESOLUTION NO. PC 04-20

A RESOLUTION OF THE MORRO BAY PLANNING COMMISSION  
APPROVING CONDITIONAL USE PERMIT (CUP19-21) AND PARKING  
EXCEPTION (PKG20-01) FOR AN ADDITION TO A NON-CONFORMING  
RESIDENCE WITH A NON-CONFORMING PARKING SITUATION OUTSIDE  
THE COASTAL COMMISSION APPEAL JURISDICTION

**WHEREAS**, the Planning Commission of the City of Morro Bay (the “City”) conducted a public hearing via video conference at the Morro Bay Veteran’s Hall, 209 Surf Street, Morro Bay, California, on April 7, 2020 for the purpose of considering Conditional Use Permit (CUP19-21), and Parking Exception (PKG20-01) for an addition to an existing non-conforming residence in the R-1/S.2 zone. The project is outside the Coastal Commission appeal jurisdiction; and

**WHEREAS**, notice of the public hearing was provided at the time and in the manner required by law; and

**WHEREAS**, the Planning Commission has duly considered all evidence, including the testimony of the applicant, interested parties, and the evaluation and recommendations by staff, presented at said hearing.

**NOW, THEREFORE, BE IT RESOLVED** by the Planning Commission of the City of Morro Bay as follows:

**Section 1: Findings.** Based upon all the evidence, the Commission makes the following findings:

California Environmental Quality Act (CEQA) Finding

1. Pursuant to the California Environmental Quality Act, the project is categorically exempt under Section 15301, Class 1(e) for additions to existing structures. Additionally, none of the Categorical Exemption Exceptions, noted under Section 15300.2, apply to the project.

Conditional Use Permit Findings

1. The project is consistent with the General Plan and Local Coastal Plan which establish five residential land use categories to provide for a wide range of densities and to ensure that residential land is developed to a density suitable to its location and physical characteristics.
2. The proposed habitable square footage and deck additions are in conformance with all applicable provisions of the Morro Bay City Zoning Ordinance (the “Zoning Ordinance”), including building height, setbacks, and lot coverage.
3. The project meets applicable Title 14 (Building and Construction Code) requirements for a conforming use since the applicant is required to submit

- a complete building permit application and obtain the required building permit prior to construction.
4. The project is suitable for conforming uses and will not impair the character of the zone in which it exists because it proposes an addition to an existing single-family residence, which is an allowed use in the R-1/S.2 zone.
  5. It is not feasible to make the existing primary residence conforming without major reconstruction/demolition to meet the required setbacks or construct a garage.
  6. The Planning Commission finds the project, as conditioned, is consistent with the character of the neighborhood in which it is located. It is surrounded by compatible uses of moderate density residential development; has size and scale similar to nearby structures.

#### Parking Exception Findings

1. The exception will not constitute a grant of special privilege inconsistent with the driveway or parking limitations upon other properties in the vicinity and the alternative parking design standards of this chapter will be adequate to accommodate on site all parking needs to be generated by the use.
2. The exception will not adversely affect the health, safety, or general welfare of person working or residing in the vicinity and that no traffic safety problems will result from the proposed modification of parking standards.
3. The exception is reasonably necessary for the Applicant's full enjoyment of uses similar to those upon the adjoining real property.

**Section 2. Action.** The Planning Commission does hereby approve Conditional Use Permit (CUP19-21) and Parking Exception (PKG20-01) for the property located at 2820 Greenwood Avenue subject to the following conditions:

#### STANDARD CONDITIONS

1. This permit is granted for the land described in the staff report dated February 24, 2020 for the project at 2820 Greenwood as depicted on plans dated February 19, 2020, as part of Conditional Use Permit (CUP19-21) and Parking Exception (PKG20-01) on file with the Community Development Department, as modified by these conditions of approval, and more specifically described as follows: Site development and all installed structures and improvements shall be located and designed substantially as shown on plans, unless otherwise specified herein.
2. Inaugurate Within Two Years: Unless the construction or operation of the structure, facility, or use is commenced not later than two (2) years after the effective date of this Resolution and is diligently pursued, thereafter, this approval will automatically become null and void; provided, however, that upon the written request of the applicant, prior to the expiration of this approval, the applicant may request up to two extensions for not more than one (1) additional year each. Any extension may be granted by the City's

Community Development Director (the "Director"), upon finding the project complies with all applicable provisions of the Morro Bay Municipal Code (the "MBMC"), General Plan and certified Local Coastal Program Land Use Plan (LCP) in effect at the time of the extension request.

3. Changes: Minor changes to the project description and/or conditions of approval shall be subject to review and approval by the Community Development Director. Any changes to this approved permit determined, by the Director, not to be minor shall require the filing of an application for a permit amendment subject to Planning Commission review.
4. Compliance with the Law: (a) All requirements of any law, ordinance or regulation of the State of California, the City, and any other governmental entity shall be complied with in the exercise of this approval, (b) This project shall meet all applicable requirements under the MBMC, and shall be consistent with all programs and policies contained in the LCP and General Plan for the City.
5. Hold Harmless: The applicant, as a condition of approval, hereby agrees to defend, indemnify, and hold harmless the City, its agents, officers, and employees, from any claim, action, or proceeding against the City as a result of the action or inaction by the City, or from any claim to attack, set aside, void, or annul this approval by the City of the applicant's project; or applicants failure to comply with conditions of approval. Applicant understands and acknowledges the City is under no obligation to defend any legal actions challenging the City's actions with respect to the project. This condition and agreement shall be binding on all successors and assigns.
6. Compliance with Conditions: The applicant's establishment of the use or development of the subject property constitutes acknowledgement and acceptance of all Conditions of Approval. Compliance with and execution of all conditions listed hereon shall be required prior to obtaining final building inspection clearance. Deviation from this requirement shall be permitted only by written consent of the Director or as authorized by the Planning Commission. Failure to comply with any of these conditions shall render this entitlement, at the discretion of the Director, null and void. Continuation of the use without a valid entitlement will constitute a violation of the MBMC and is a misdemeanor.
7. Compliance with Morro Bay Standards: This project shall meet all applicable requirements under the MBMC, and shall be consistent with all programs and policies contained in the LCP and General Plan of the City.

## **PLANNING CONDITIONS**

1. **Archaeology:** In the event of the unforeseen encounter of subsurface materials suspected to be of an archaeological or paleontological nature, all grading or excavation shall immediately cease in the immediate area, and the find should be left untouched until a qualified professional archaeologist or paleontologist, whichever is appropriate, is contacted and called in to evaluate and make recommendations as to disposition, mitigation and/or salvage. The developer shall be liable for costs associated with the professional investigation.
2. **Construction Hours:** Pursuant to MBMC subsection 9.28.030.I, Construction or Repairing of Buildings, the erection (including excavating), demolition, alteration or repair of any building or general land grading and contour activity using equipment in such a manner as to be plainly audible at a distance of fifty feet from the building other than between the hours of seven a.m. and seven p.m. on weekdays and eight a.m. and seven p.m. on weekends except in case of urgent necessity in the interest of public health and safety, and then only with a permit from the Community Development Department, which permit may be granted for a period not to exceed three days or less while the emergency continues and which permit may be renewed for a period of three days or less while the emergency continues.
3. **Dust Control:** That prior to issuance of a grading permit, a method of control to prevent dust and wind blow earth problems shall be submitted for review and approval by the Building Official.
4. **Conditions of Approval on Building Plans:** Prior to the issuance of a Building Permit, the final Conditions of Approval shall be attached to the set of approved plans. The sheet containing Conditions of Approval shall be the same size as other plan sheets and shall be the last sheet in the set of Building Plans.
5. **Architecture:** Building color and materials shall be as shown on plans approved by the Planning Commission and specifically called out on the plans submitted for a Building Permit to the satisfaction of the Community Development Director.
6. **Boundaries and Setbacks:** The property owner is responsible for verification of lot boundaries. A licensed land surveyor shall verify lot boundaries and building setbacks to the satisfaction of the Community Development Director. A copy of the surveyor's *Form Certification* based on a boundary survey shall be submitted with the request for foundation inspection.
7. **Building Height Verification:** Prior to foundation inspection, a licensed land surveyor shall measure and inspect the forms and submit a letter to the Community Development Director certifying that the tops of the forms are in compliance with the finish floor elevations as shown on approved plans. Prior to either roof nail or framing inspection, a licensed surveyor

shall submit a letter to the building inspector certifying that the height of the structures is in accordance with the approved plans and zoning ordinance standard.

**BUILDING CONDITIONS:**

**A. PRIOR TO ISSUANCE OF A BUILDING PERMIT:**

1. Building permit plans shall be submitted by a California licensed architect or engineer when required by the Business & Professions Code, except when otherwise approved by the Chief Building Official.
2. The owner shall designate on the building permit application a registered design professional who shall act as the Registered Design Professional in Responsible Charge. The Registered Design Professional in Responsible Charge shall be responsible for reviewing and coordinating submittal documents prepared by others including phased and staggered submittal items, for compatibility with design of the building.
3. The owner shall comply with the City's Structural Observation Program. The owner shall employ the engineer or architect responsible for the structural design, or another engineer or architect designated by the engineer of record or architect responsible for the structural design, to perform structural observation as defined in Section 220. Observed deficiencies shall be reported in writing to the owner's representative, special inspector, contractor and the building official. The structural observer shall submit to the building official a written statement that the site visits have been made and identify any reported deficiencies that, to the best of the structural observer's knowledge, have not been resolved.
4. The owner shall comply with the City's Special Inspection Program. Special inspections will be required by Section 1704 of the California Building Code. All Special Inspectors shall first be approved by the Building Official to work in the jurisdiction. All field reports shall be provided to the City Building Inspector when requested at specified increments in order for the construction to proceed. All final reports from Special Inspectors shall be provided to the Building Official when they are complete and prior to final inspection.
5. Mitigation measures for natural occurring asbestos require approval from San Luis Obispo County Air Pollution Control District.
6. A soils investigation performed by a qualified professional shall be required for this project. All cut and fill slopes shall be provided with subsurface drainage as necessary for stability; details shall be provided. Alternatively, submit a completed City of Morro Bay soils report waiver request.

7. BUILDING PERMIT APPLICATION. To apply for building permits, submit three (3) sets of construction plans to the Building Division.
8. The Title sheet of the plans shall include:
  - a. Street address, lot, block, track and Assessor Parcel Number.
  - b. Description of use.
  - c. Type of construction.
  - d. Maximum Height of the building allowed and proposed.
  - e. Floor area of the building(s).
  - f. Vicinity map.
  - g. Minimum building set back per zoning designation or conditional use approval.

All construction will conform to the 2016 California Building Code (CBC), 2016 California Residential Code (CRC), 2016 California Fire Code (IFC), 2016 California Mechanical Code (CMC), 2016 California Plumbing Code (CPC), 2016 California Electrical Code (CEC), 2016 California Energy Code, 2016 California Green Code (CGBC), and Accessibility Standards where applicable and all City codes as they apply to this project.

(Code adoption dates are subject to change. The code adoption year is established by application date of plans submitted to the Building Division for plan review.

**B. CONDITIONS TO BE MET DURING CONSTRUCTION:**

1. SITE MAINTENANCE. During construction, the site shall be maintained so as to not infringe on neighboring property, such as debris and dust.
2. ARCHAEOLOGICAL MATERIALS. In the event unforeseen archaeological resources are unearthed during any construction activities, all grading and or excavation shall cease in the immediate area and the find left untouched. The Building Official shall be notified so that the extent and location of discovered materials may be recorded by a qualified archaeologist, Native American, or paleontologist, whichever is appropriate. The qualified professional shall evaluate the find and make reservations related to the preservation or disposition of artifacts in accordance with applicable laws and ordinances. If discovered archaeological resources are found to include human remains, or in any other case when human remains are discovered during construction, the Building Official shall notify to county coroner. If human remains are found to be of ancient age and of archaeological and spiritual significance, the Building Official shall notify the Native American Heritage Commission. The developer shall be liable for costs associated with the professional investigation.

3. A licensed surveyor or engineer shall verify pad elevations, setbacks, prior to foundation inspection, and/or building height prior to framing inspection when determined necessary by the Planning Division.

**C. CONDITIONS TO BE MET PRIOR TO FINAL INSPECTION AND ISSUANCE OF CERTIFICATE OF OCCUPANCY:**

1. Prior to building division final approval all required inspections from the other various divisions must have been completed and verified by a city inspector. All required final inspection approvals must be obtained from the various departments and documented on the permit card.
2. Title 24 form(s) 2F-6R (Certificate of installation) for building, mechanical, electrical and plumbing systems.

**PUBLIC WORKS CONDITIONS:**

1. Stormwater Management: The City has adopted Low Impact Development (LID) and Post Construction requirements to protect water quality and control runoff flow from new and redevelopment projects. The requirements can be found in the Stormwater management guidance manual on the City's website [www.morro-bay.ca.us/mainmanual](http://www.morro-bay.ca.us/mainmanual). Projects with more than 2,500sf of new or redeveloped impervious area are subject to these requirements.
2. Erosion and Sediment Control Plan: For small projects less than one acre and less than 15% slope, provide a standard erosion and sediment control plan. Show on plans the control measures to provide protection against erosion of adjacent property and prevent sediment or debris from entering the City right of way, adjacent properties, any harbor, waterway, or ecologically sensitive area.

**Additional Notes - Add the following notes to the Building Permit plans.**

1. Any damage, as a result of construction operations for this project, to City facilities, i.e. curb/berm, street, sewer line, water line, or any public improvements shall be repaired at no cost to the City of Morro Bay.
2. No work shall occur within (or use of) the City's Right of Way without an encroachment permit. Encroachment permits are available at the City of Morro Bay Public Works Office located at 955 Shasta Ave. The Encroachment permit shall be issued concurrently with the building permit.

**FIRE CONDITIONS:**

1. Fire Safety during Construction and Demolition shall be in accordance with 2016 California Fire Code, Chapter 33. This chapter prescribes minimum safeguards for construction, alteration and demolition operations to provide reasonable safety to life and property from fire during such operations.
2. Carbon monoxide alarms in new dwellings and sleeping units. An approved carbon monoxide alarm shall be installed in dwellings having a fossil fuel-burning heater or appliance, fireplace or an attached garage. Carbon monoxide alarms shall be listed as complying with UL 2034 and be installed and maintained in accordance with NFPA 720 and the manufacturer's instructions. (CRC R315.2)

PASSED AND ADOPTED by the Morro Bay Planning Commission at a regular meeting thereof held on this 7<sup>th</sup> day of April on a motion by \_\_\_\_\_ and seconded by \_\_\_\_\_ and passed on the following vote:

AYES:

NOES:

ABSENT:

ABSTAIN:

\_\_\_\_\_  
Chairperson Luhr

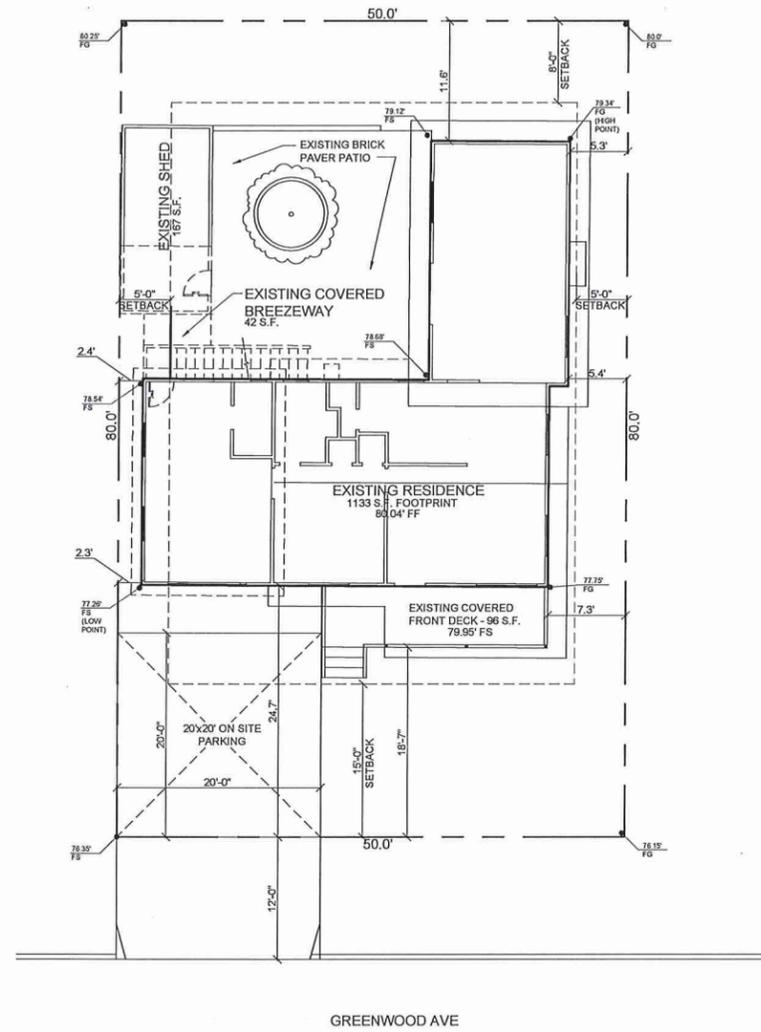
ATTEST

\_\_\_\_\_  
Scot Graham, Planning Secretary

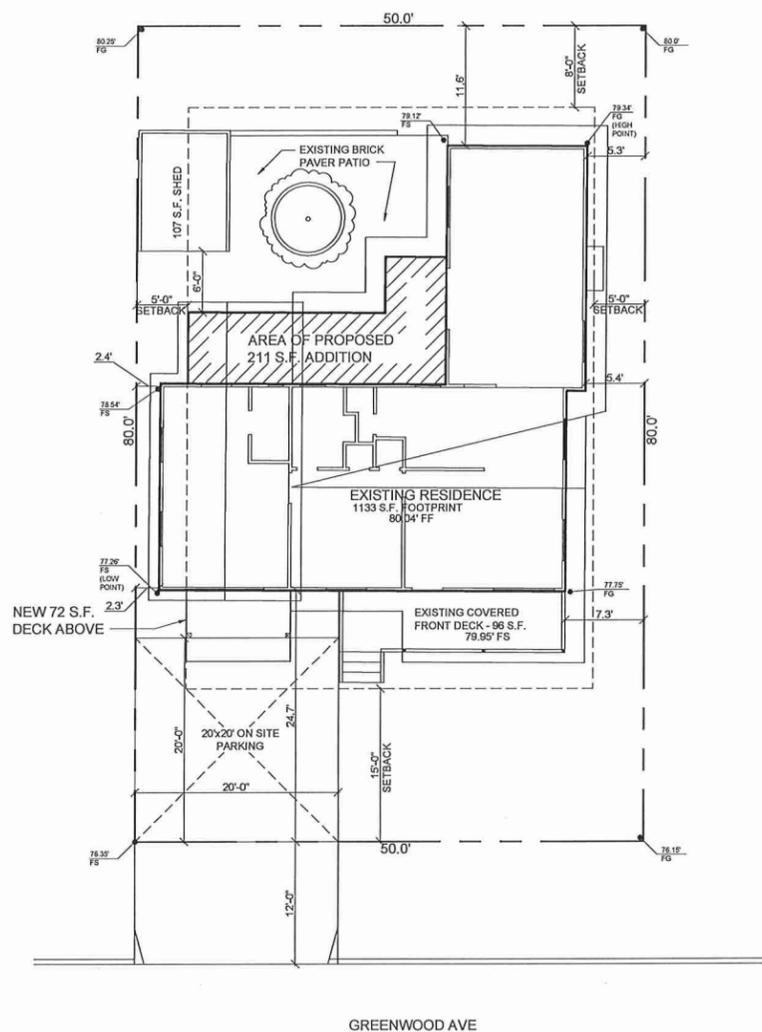
The foregoing resolution was passed and adopted this 7<sup>th</sup> day of April, 2020.

# Exhibit B

# NOVICK ADDITION



**EXISTING SITE PLAN**  
1/8" = 1'-0"



**NEW SITE PLAN**  
1/8" = 1'-0"

### PROJECT DESCRIPTION

SITE ADDRESS: 2820 GREENWOOD AVE.  
MORRO BAY, CA 93442

APN NUMBER: 068-218-009

DESCRIPTION OF WORK:

DEMOLISH EXISTING DRY ROTTED EXTERIOR STAIR. REPLACE SECOND STORY UNINSULATED FLAT ROOF WITH NEW INSULATED GABLED TRUSS ROOF. DEMOLISH 60 S.F. OF EXISTING SHED.

211 S.F. HALL AND STAIR ADDITION. 72 S.F. NEW DECK TO SINGLE FAMILY RESIDENCE.

USE: SINGLE FAMILY RESIDENCE

### LOT INFO

ZONING: R1/S.2  
LOT SIZE: 4000 S.F.  
LOT COVERAGE (50%MAX): 4000 x .5 = 2000 S.F. (MAX)

### EXISTING LOT COVERAGE INFO

EXISTING RESIDENCE FOOTPRINT - 1133 S.F.  
EXISTING COVERED FRONT PORCH - 96 S.F.  
EXISTING SHED FOOTPRINT - 167 S.F.  
EXISTING COVERED BREEZEWAY - 42 S.F.  
EXISTING LOT COVERAGE: 1438 S.F.

### PROPOSED LOT COVERAGE INFO

EXISTING RESIDENCE FOOTPRINT - 1133 S.F.  
EXISTING COVERED FRONT PORCH - 96 S.F.  
MODIFIED SHED FOOTPRINT - 107 S.F.  
PROPOSED ADDITION - 211 S.F.  
PROPOSED LOT COVERAGE: 1547 S.F.

NEW IMPERVIOUS SURFACE AREA: 119 S.F.

### BUILDING AREAS:

#### FLOOR AREA

1ST FLOOR AREA 1133 S.F.  
2ND FLOOR AREA 263 S.F.  
TOTAL EXISTING LIVABLE AREA 1396 S.F.

NEW FLOOR AREA - 211 S.F.  
NEW TOTAL 1607 S.F.

#### EXISTING DECK

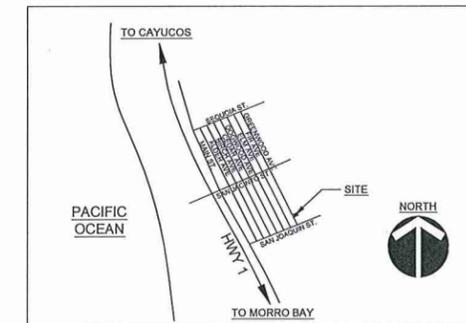
COVERED FRONT DECK 96 S.F.  
UNCOVERED FRONT DECK 43 S.F.

#### NEW DECK

NEW 2ND FLOOR DECK - 72 S.F.

### SHEET INDEX

- A1) SITE PLAN
- A2) EXISTING/DEMO FLOOR PLANS
- A3) NEW 1ST & 2ND FLOOR PLANS
- A4) NEW ELEVATIONS
- A5) PHOTO RENDERINGS



**VICINITY MAP**

### HEIGHT CALCULATION

LOW N.G. ADJACENT TO BLD'G - 77.26'  
HIGH N.G. ADJACENT TO BLD'G - +79.34'  
 $156.6/2 = 78.3'$  A.N.G.  
+25.0'  
103.3' MAX. BLD'G. HT.

EXISTING BUILDING HIGH POINT - 98.13'  
PROPOSED ROOF HIGH POINT - 99.59' < 103.3' O.K.  
SEE ELEVATION FOR MORE INFO

**RECEIVED**

**FEB 19 2020**

City of Morro Bay  
Community Development Dept.

REVISIONS	BY

DESIGNER: **Buckmaster Designs**  
GASON BUCKMASTER  
473 WHIDBEY WAY  
MORRO BAY, CA 93442  
E-MAIL: buckmasterdesigns@earthlink.net  
(805)801-4973



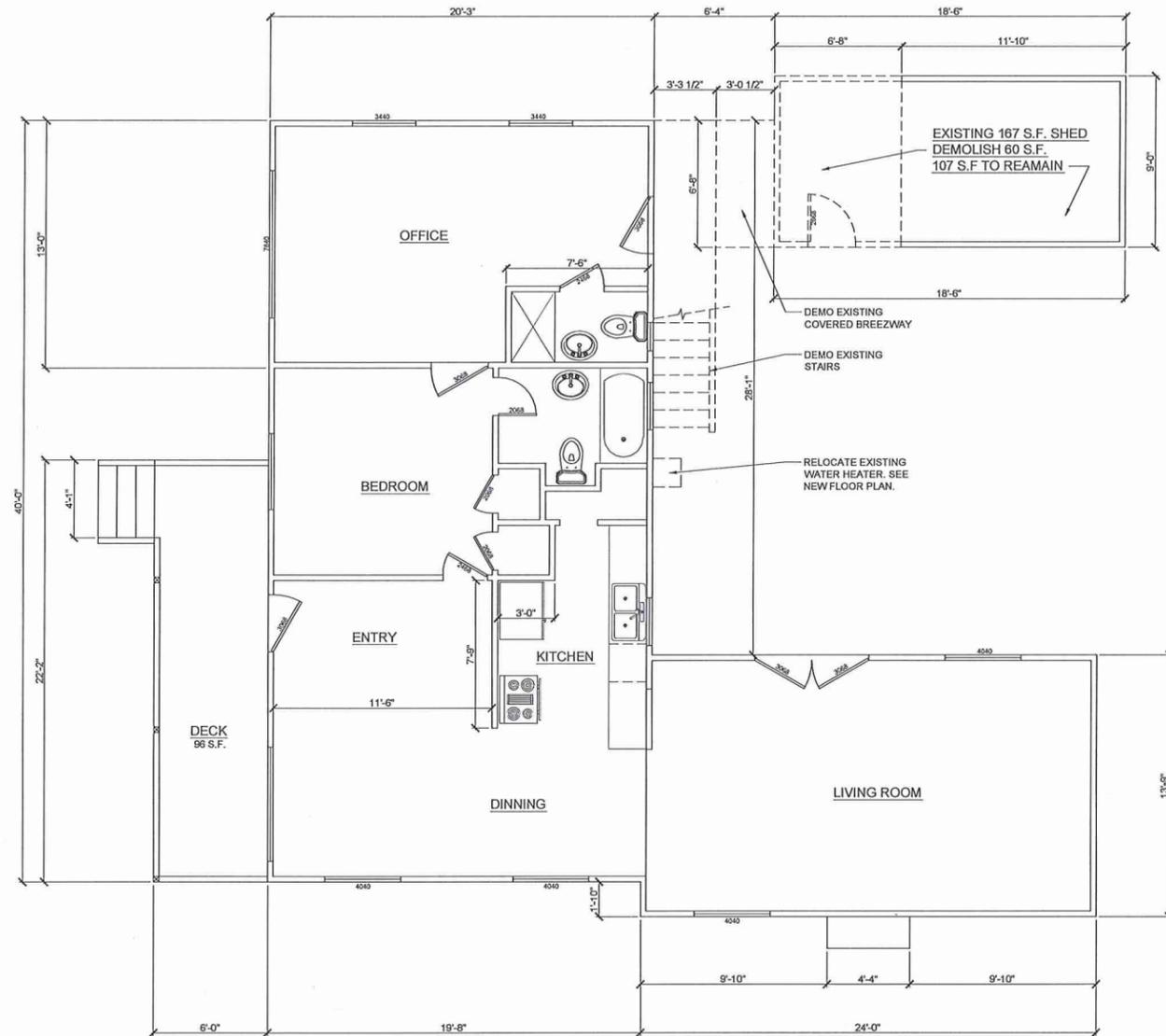
ADDITION FOR:  
RICH & JENNIFER NOVICK  
2820 GREENWOOD AVE  
MORRO BAY, CA 93442  
PH: (805) 235-2660

**NOVICK ADDITION**  
TITLE SHEET  
2820 GREENWOOD AVE.  
MORRO BAY, CA 93442  
APN: 068-218-009

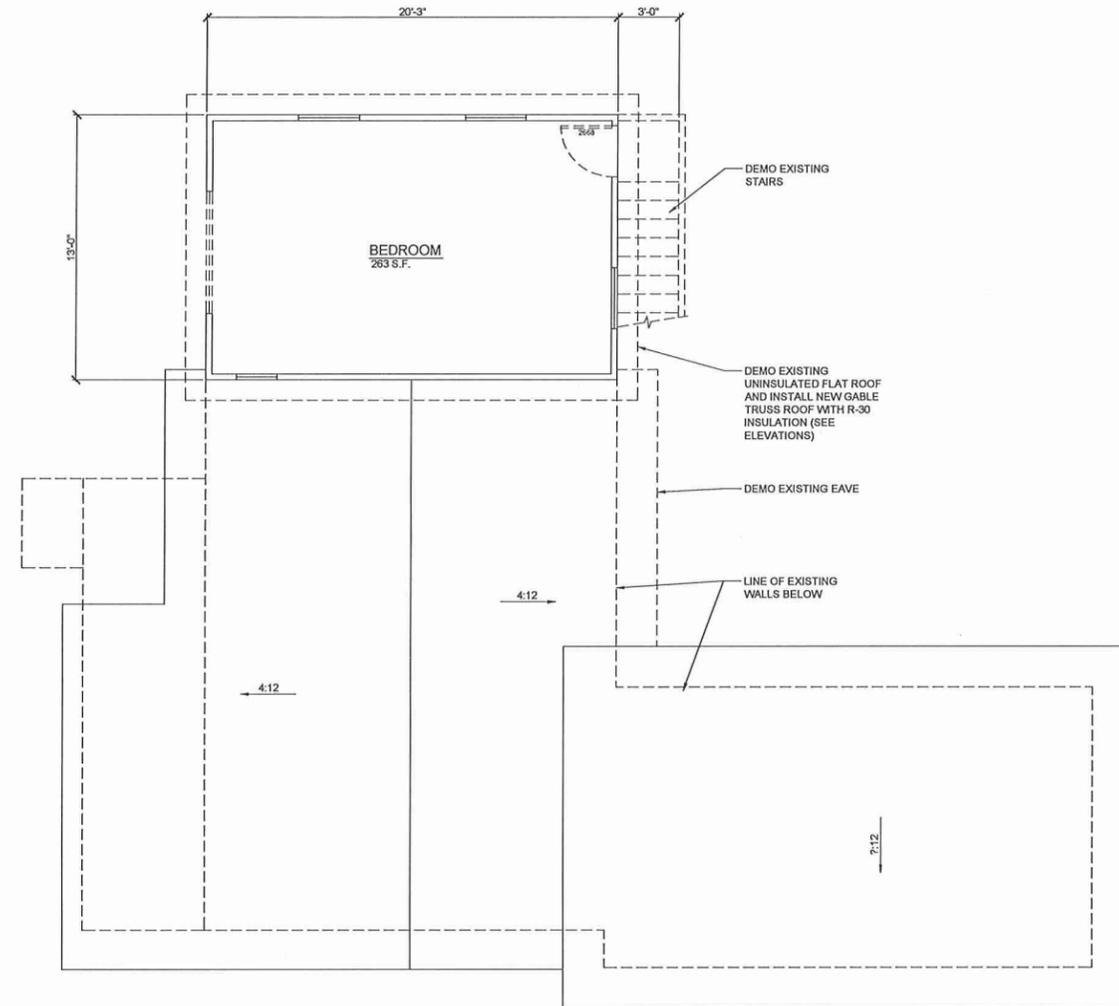
DRAWN JB
DATE 2/18/20
SCALE 1/8" = 1'-0"
JOB NOVICK
SHEET

**A1**

# Exhibit B



**EXISTING/DEMO 1ST FLOOR PLAN**  
1/4" = 1'-0"



**EXISTING/DEMO 2ND FLOOR PLAN**  
1/4" = 1'-0"

1ST FLOOR - 1133 S.F.  
2ND FLOOR - 263 S.F.  
TOTAL - 1396 S.F.

WALL LEGEND	
	EXISTING WALL TO REMAIN
	EXISTING TO BE DEMOLISHED

REVISIONS	BY

**DESIGNER:** Buckmaster Designs  
JASON BUCKMASTER  
473 WHIDBEY WAY  
MORRO BAY, CA 93442  
E-MAIL: buckmasterdesigns@buckmaster.com  
(805) 501-4973

**ADDITION FOR:** RICH & JENNIFER NOVICK  
2820 GREENWOOD AVE  
MORRO BAY, CA 93442  
PH: (805) 235-2660

**NOVICK ADDITION**  
EXISTING/DEMO PLANS  
2820 GREENWOOD AVE.  
MORRO BAY, CA 93442  
APN: 068-218-009

DRAWN  
JB  
DATE  
2/18/20  
SCALE  
1/4" = 1'-0"  
JOB  
NOVICK  
SHEET

**A2**

# Exhibit B

REVISIONS	BY

**DESIGNER:** Buckmaster Designs  
 JASON BUCKMASTER  
 473 WHIDBEY WAY  
 MORRO BAY, CA 93442  
 P: (805) 235-2660  
 E: jason@buckmasterdesigns.com  
 (605) 501-4973

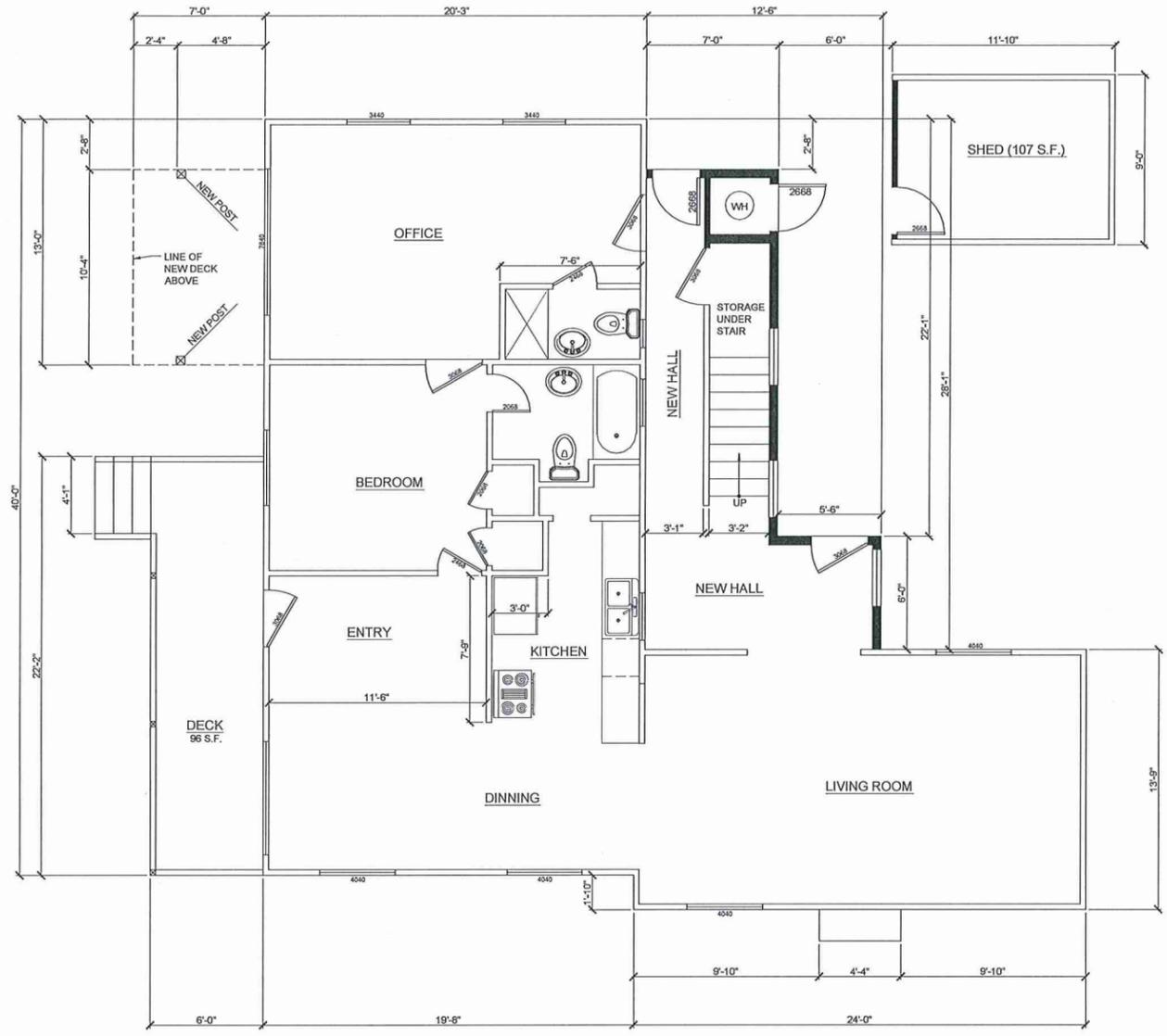


**ADDITION FOR:**  
 RICH & JENNIFER NOVICK  
 2820 GREENWOOD AVE  
 MORRO BAY, CA 93442  
 PH: (805) 235-2660

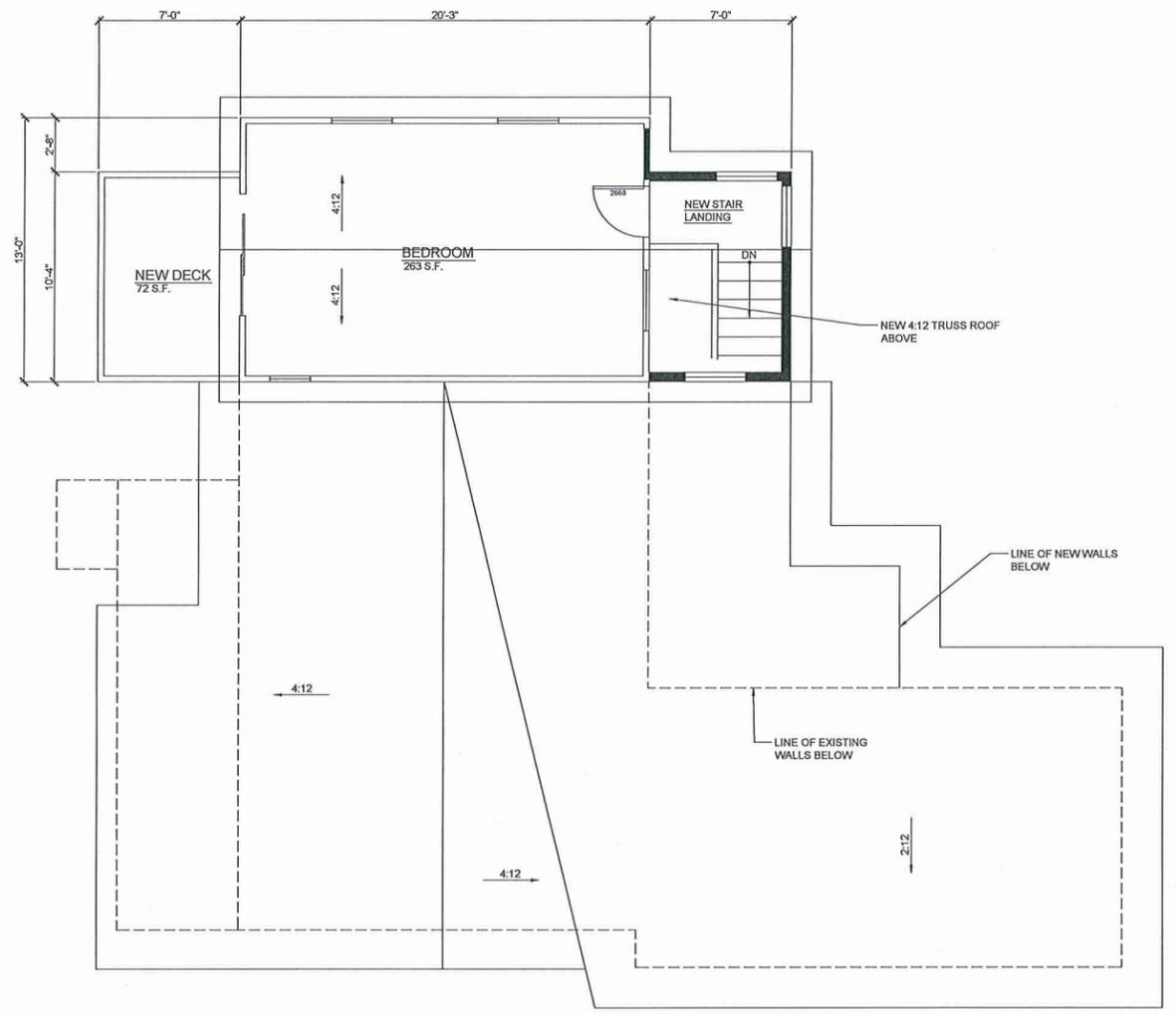
**NOVICK ADDITION**  
 NEW FLOOR PLANS  
 2820 GREENWOOD AVE.  
 MORRO BAY, CA 93442  
 APN: 068-218-009

DRAWN	JB
DATE	2/18/20
SCALE	1/4" = 1'-0"
JOB	NOVICK
SHEET	

## A3




**NEW 1ST FLOOR PLAN**  
 1/4" = 1'-0"

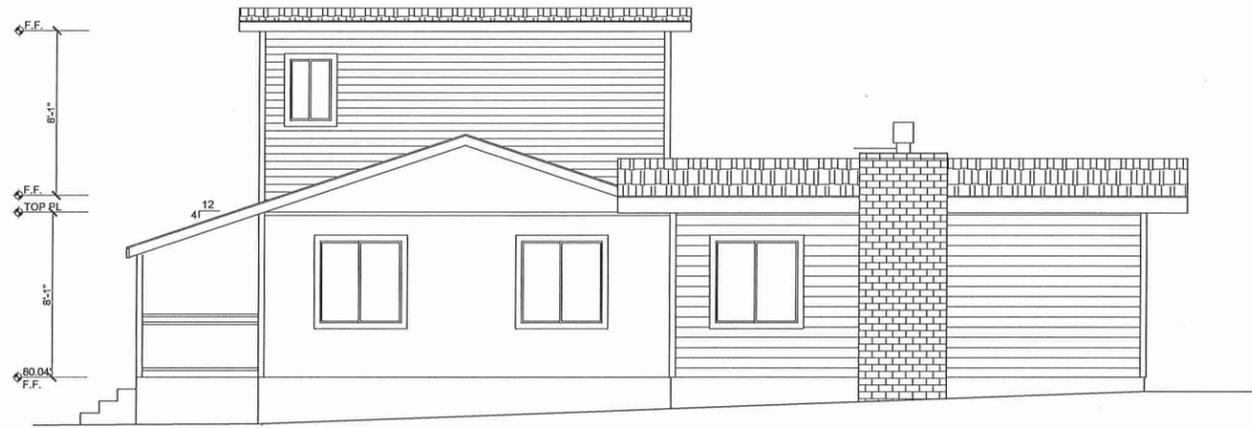



**NEW 2ND FLOOR PLAN**  
 1/4" = 1'-0"

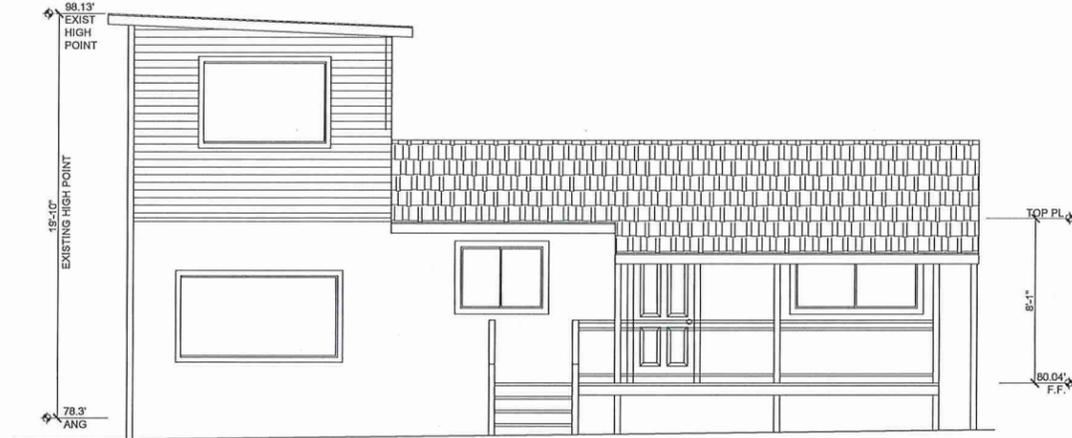
EXISTING 1ST FLOOR - 1133 S.F.  
 EXISTING 2ND FLOOR - 263 S.F.  
 EXISTING TOTAL 1396 S.F.  
  
 NEW FLOOR AREA - 211 S.F.  
 NEW TOTAL 1607 S.F.  
  
 NEW 2ND FLOOR DECK - 72 S.F.

WALL LEGEND	
	EXISTING WALL TO REMAIN
	NEW WALL

# Exhibit B



**EXISTING SOUTH ELEVATION**  
1/4" = 1'-0"



**EXISTING WEST ELEVATION**  
1/4" = 1'-0"



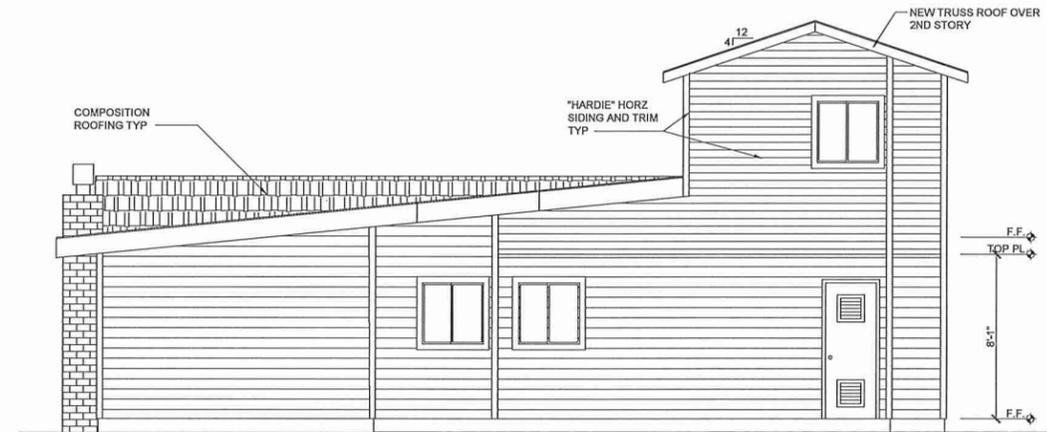
**NEW SOUTH ELEVATION**  
1/4" = 1'-0"



**NEW WEST ELEVATION**  
1/4" = 1'-0"



**NEW NORTH ELEVATION**  
1/4" = 1'-0"



**NEW EAST ELEVATION**  
1/4" = 1'-0"

REVISIONS	BY

DESIGNER: **Buckmaster Designs**  
 JASON BUCKMASTER  
 473 W. HODDGE WAY  
 MORRO BAY, CA 93442  
 E: jason@buckmasterdesigns.com  
 (805) 218-4973

ADDITION FOR:  
 RICH & JENNIFER NOVICK  
 2820 GREENWOOD AVE  
 MORRO BAY, CA 93442  
 PH: (805) 235-2680

**NOVICK ADDITION**  
 ELEVATIONS  
 2820 GREENWOOD AVE.  
 MORRO BAY, CA 93442  
 APN: 068-218-009

DRAWN	JB
DATE	2/18/20
SCALE	1/4" = 1'-0"
JOB	NOVICK
SHEET	A4

# Exhibit C

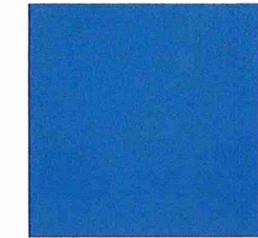


PROPOSED WEST ELEVATION



EXISTING WEST ELEVATION

REVISIONS	BY



SIDING AND STUCCO COLOR



TRIM COLOR

**DESIGNER:**  
**Buckmaster Designs**  
 JASON BUCKMASTER  
 473 WHIDDEY WAY  
 MORRO BAY, CA 93442  
 E-MAIL: buckmasterdesigns@charter.net  
 (805) 235-4973



**ADDITION FOR:**  
 RICH & JENNIFER NOVICK  
 2820 GREENWOOD AVE  
 MORRO BAY, CA 93442  
 PH: (805) 235-2660

**NOVICK ADDITION**  
 FRONT ELEVATION RENDERING  
 2820 GREENWOOD AVE.  
 MORRO BAY, CA 93442  
 APN: 068-218-009

**RECEIVED**

**FEB 19 2020**

City of Morro Bay  
 Community Development Dept.

DRAWN  
 JB  
 DATE  
 2/18/20  
 SCALE  
 1/4" = 1'-0"  
 JOB  
 NOVICK  
 SHEET

**A5**



# City of Morro Bay Planning Commission

**2820 GREENWOOD AVE**

**CUP19-21 & PKG20-01**

**CONDITIONAL USE PERMIT /  
PARKING EXCEPTION**

**ADDITION TO NON-  
CONFORMING RESIDENCE**

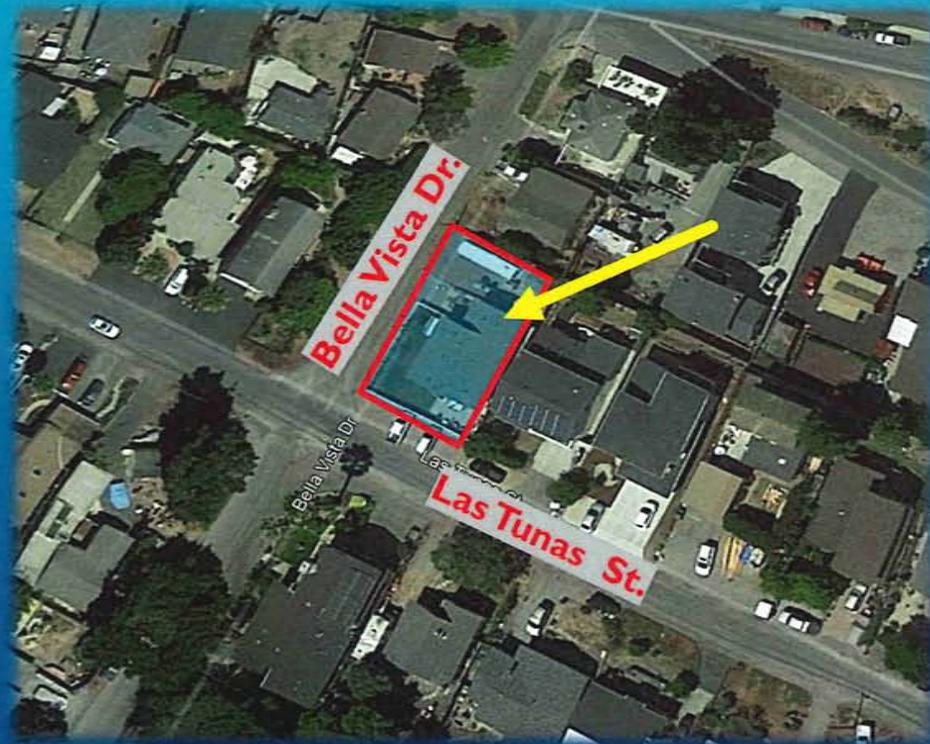
**APPLICANT:**

**RICH AND JENNIFER NOVICK**

**AGENT:**

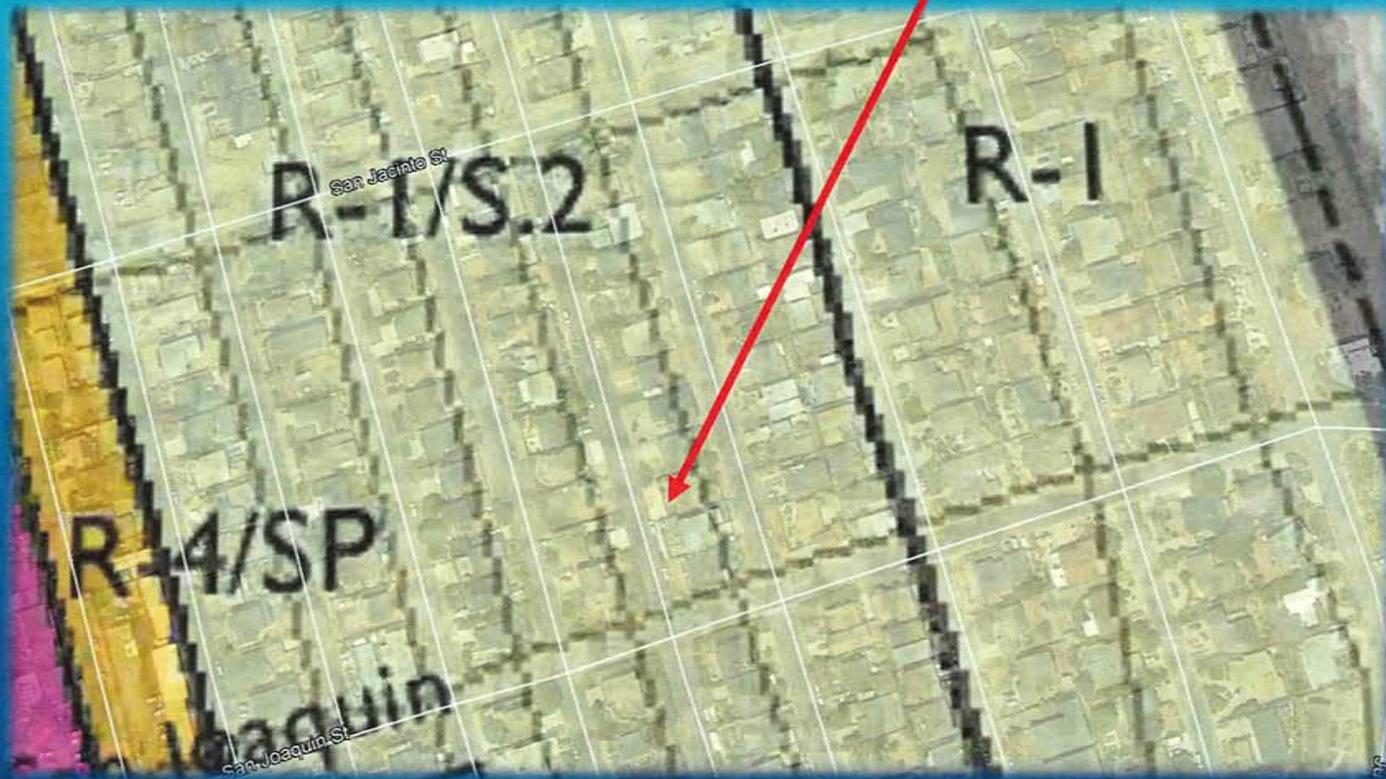
**JASON BUCKMASTER**

**APRIL 7, 2020**



**MORRO BAY**  
PUT LIFE ON COAST

# Zoning: R-1/S.2



# Existing Site



**Greenwood Avenue**



**Greenwood Avenue**



**MORRO BAY**  
PUT LIFE ON COAST



# Zoning Ordinance Standards

Zoning Ordinance Standards		
	Standards	Proposed
Front Setback	15'	18'7" (Existing)
Side-Yard Setback	North: 5' Shed: 1' South: 5'	<b>North: 2.4' (Existing)</b> <b>Shed (North): 0' (Existing)</b> South: 5.4' (Existing)
Rear Setback	5'	11.6' (Existing)
Height	25'	21' 3 1/2"
Building Separation	6'	6'
Lot Coverage	50%	38.9%
Parking	2 Car Garage	<b>No garage (Existing)</b> <b>Parking Exception</b>



**MORRO BAY**  
PUT LIFE ON COAST

## Non-Conforming items addressed by project

- 1. Non-conforming setback:** Project has an existing non-conforming north side yard setback of 2.4', where 5' is required. No work is proposed in the setback areas.
- 2. Non-conforming parking:** The garage was converted to living space likely in 1966 during a remodel or around then. Applicant is requesting a Parking Exception to allow open and uncovered parking for two cars in the existing driveway.



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## Parking Exception

1. The exception will not constitute a grant of special privilege, be dissimilar to parking limitations on other sites in the area, and the proposed parking will be able to accommodate all parking needs on site.
2. The exception will not adversely affect the health, safety, or general welfare of person working or residing in the vicinity and no traffic safety problems will result from the proposed modification of parking standards.
3. The exception is reasonably necessary for the Applicant's full enjoyment of uses similar to those upon the adjoining real property.

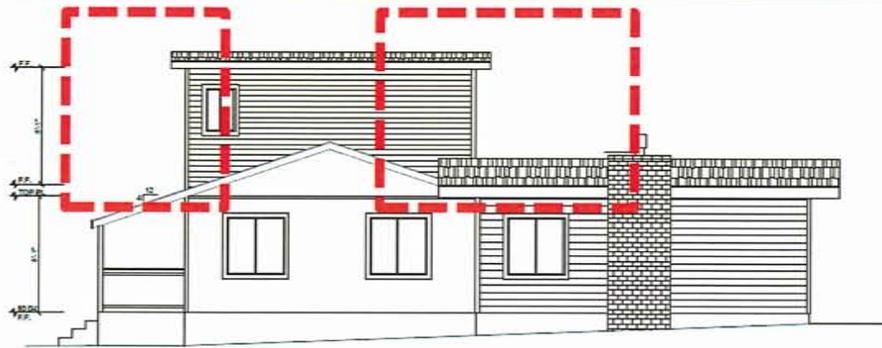


**MORRO BAY**  
PUT LIFE ON COAST

# Conditional Use Permit

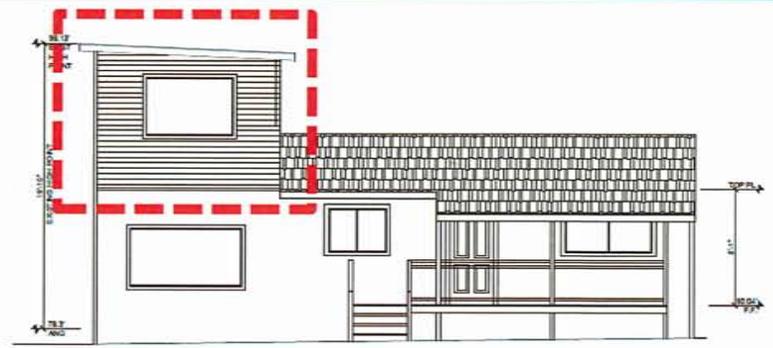
1. The project is consistent with the General Plan and Local Coastal Plan
2. The proposed additions are in conformance with all applicable provisions of the Morro Bay City Zoning Ordinance
3. The project meets applicable Title 14 (Building and Construction Code) since the applicant is required obtain a building permit prior to construction.
4. The project is suitable for conforming uses and will not impair the character of the zone in which it exists
5. It is not feasible to make the existing primary residence conforming without major reconstruction/demolition to meet the required setbacks or construct a garage.
6. The Planning Commission finds the project, as conditioned, is consistent with the character of the neighborhood in which it is located. It is surrounded by compatible uses of moderate density residential development; has size and scale similar to nearby structures.





EXISTING SOUTH ELEVATION

1/4" = 1'-0"



EXISTING WEST ELEVATION

1/4" = 1'-0"



NEW SOUTH ELEVATION

1/4" = 1'-0"



NEW WEST ELEVATION

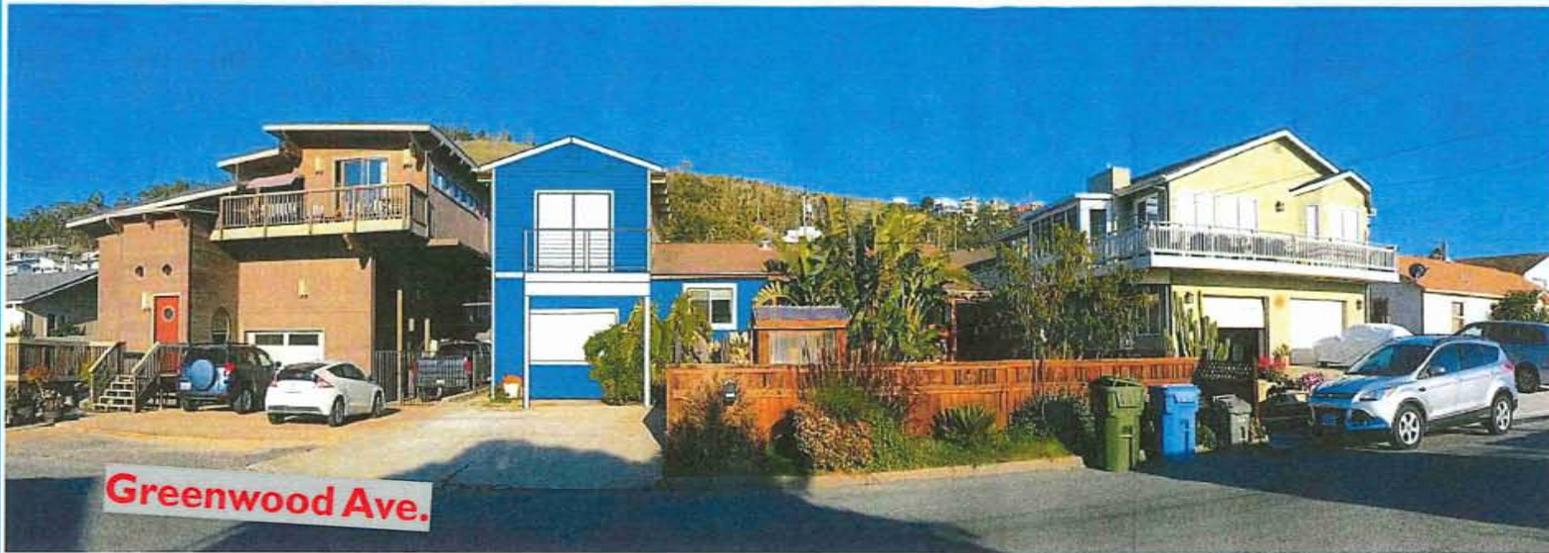
1/4" = 1'-0"

Proposed new building height: 21' 3 1/2"



**MORRO BAY**  
PUT LIFE ON COAST

# Photo Simulation



PROPOSED WEST ELEVATION



EXISTING WEST ELEVATION

# Residential Design Guidelines

Proposed project meets the following design guidelines:

- Relationship to existing homes
- Scale and Mass
- Surface Articulation
- Building Orientation
- Garage Driveway and Design
- Building Materials
- Architectural Elements



PROPOSED WEST ELEVATION



**MORRO BAY**  
PUT LIFE ON COAST

# Recommendation

**Adopt  
Planning Commission Resolution 04-20  
which includes the Findings and Conditions  
of Approval  
for  
CUP19-21 & PKG20-01  
for the proposed development at  
2820 Greenwood**



**MORRO BAY**  
PUT LIFE ON COAST



AGENDA NO: B-3

MEETING DATE: April 7, 2020

## Staff Report

**TO:** Planning Commissioners      **DATE:** March 30, 2020

**FROM:** Willow Urquidi, Assistant Planner

**SUBJECT:** **Tentative Parcel Map (PAR20-01) and Coastal Development Permit (CDP19-046)** Request for a Tentative Parcel Map 19-0112 and Coastal Development Permit for a parcel split at the corner of Paula Street and Ironwood Avenue. Parcel 1 would include the existing single-family residence, and the single-family residence on parcel 2 is proposed to be demolished as a part of this Coastal Development Permit. Parcel 1 would be 8,008 sf, and parcel 2 would be 6,812 sf. The parcel is zoned R-1/S.2 and is located outside the Coastal Commission Appeal Jurisdiction.

**RECOMMENDATION:**

*CONDITIONALLY APPROVE THE PROJECT* by approving Planning Commission **Resolution 05-20** (Exhibit A) which includes the Findings and Conditions of Approval for the project depicted on the tentative parcel map dated February 27, 2020 (Exhibit B) and the demolition plans dated December 19, 2019 (Exhibit C).

**APPLICANT:**

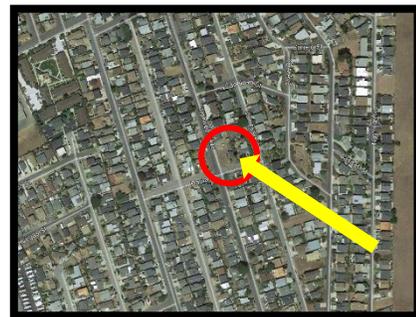
Bruce and Sandra Santoianni

**AGENT:**

Mark Molini

**ADDRESS/APN:**

675 Paula St./2560 Ironwood Ave. 068-242-004



**PROJECT DESCRIPTION:**

The Applicant is requesting Tentative Parcel Map and Coastal Development Permit approval for the reconfiguration of the existing parcel into two lots. Parcel 1 would be 8,008 square feet and is developed with an existing single-family residence. Parcel 2 would be 6,812 square feet and the existing home is proposed to be demolished as a part of this Coastal Development Permit application, leaving a vacant developable R-1/S.2 lot.

**PROJECT SETTING:**

The project is located within the Del Mar Neighborhood, designated as Planning Area 3 in the Local Coastal Plan, it lies within the R-1/S.2 Single-Family Residential/Special Treatment Overlay Zoning District and outside of the Coastal Commission Appeal Jurisdiction. The average slope is roughly 3% from the northeast corner to the southwest corner of the existing lot, and roughly 6% from east to west on parcel 1 and roughly 8% from east to west on parcel 2.

The 14,820 sf project site is located on the corner of Paula Street and Ironwood Avenue, to the south of San Juan Street, to the north of Avalon Street, to the west of Juniper Avenue, and to the East of Hemlock Avenue. The parcel is surrounded by R-1/S2 lots with single-family homes on all sides.

<b>Site Characteristics</b>	
<b>Site Area</b>	14,820 square feet
<b>Existing Use</b>	Single-Family Residential
<b>Terrain</b>	Slopes southerly up to 3%
<b>Vegetation/Wildlife</b>	Grasses, weeds, and ornamental vegetation
<b>Archaeological Resources</b>	N/A
<b>Access</b>	Paula Street and Ironwood Avenue

<b>Adjacent Zoning/Land Use</b>			
<b>North:</b>	R-1/S.2 Moderate Density	<b>South:</b>	R-1/S.2 Moderate Density
<b>East:</b>	R-1/S.2 Moderate Density	<b>West:</b>	R-1/S.2 Moderate Density

<b>General Plan, Zoning Ordinance, &amp; Local Coastal Plan Designations</b>	
<b>General Plan/Coastal Plan Land Use Designation</b>	Moderate Density Residential
<b>Base Zone District</b>	R-1 (Single-Family Residential)
<b>Zoning Overlay District</b>	N/A
<b>Special Treatment Area</b>	S.2 (Special Treatment Overlay)
<b>Combining District</b>	N/A
<b>Specific Plan Area</b>	N/A
<b>Coastal Zone</b>	Located outside of the Coastal Commission Appeal Jurisdiction

## **PROJECT ANALYSIS**

The proposed project is located at the corner of Paula Street and Ironwood Avenue. The proposed Tentative Parcel Map consists of creating two (2) parcels by splitting an existing parcel. A 6-foot-wide drainage easement exists across the northern lot line.

The proposed project would not result in any new residential development at this time. The single-family residence on parcel 2 was built in 1952 according to County records. In compliance with the California Environmental Quality Act (CEQA), Applied Earthworks conducted a historical evaluation on the residence in February 2020 that determined the residence had no historic significance. This residence is proposed to be demolished as a part of this Coastal Development Permit, leaving behind a vacant, developable R-1/S.2 lot. No residential development is proposed at this time, and any future development will require a separate Coastal Development Permit subject to approval by the Community Development Department.

Creating four or less parcels requires the approval of a Parcel Map, which does not require City Council approval, although the project may be appealed to the Council.

### **Subdivision Design**

The Subdivision Ordinance, Section 16.36.050 requires a minimum lot size of 4,300 sq. ft. for a standard subdivision in the R-1/S.2 Residential Zoning District. The existing lot is 14,820 sq. ft. and the requested subdivision would result in two standard parcels that would be 8,008 sq. ft. and 6,812 sq. ft. respectively. Each lot would be in compliance with the depth to width ration of 3:1 and would also be in compliance with the minimum permissible lot width of 40 ft. The average slope of the lots is less than 15% therefore no special subdivision design criteria has been applied to the project.

### **Public Improvements**

The installation of frontage improvements is required on Ironwood Avenue, as it is designated as a “major collector” street. These improvements will include, curb, gutter, sidewalk and a curb ramp at the corner of Ironwood and Paula per city standards for the respective street types. Paula Street is a “local” street and does not require frontage improvements.

### **Subdivision Review Board**

The Subdivision Review Board reviewed the proposed Parcel Map on February 25, 2020 and found the application complete and was able to make the required findings for approval. The group discussed the completeness and accuracy of the tentative map, the overall design of the subdivision and conformity with all pertinent requirements of the Morro Bay Municipal Code, the provisions for public improvements, and the provisions for public areas (Section 16.16.060).

### **Coastal Development Permit**

As noted above, the project requires Planning Commission approval of a Regular Coastal Development Permit subject to the following required findings:

1. The project is an allowable use in its zoning district and is also in accordance with the Certified Local Coastal Plan and the General Plan
2. The establishment, maintenance, or operation of the use applied for will not be detrimental to the health, safety, morals, comfort, and general welfare of the persons residing or working in the neighborhood.
3. The use will not be injurious or detrimental to property and improvements in the neighborhood or the general welfare of the City.

### **Subdivision Map Act Findings**

1. The proposed Tentative Parcel Map to create two residential lots is consistent with the General Plan, Local Coastal Plan and Zoning Code.
2. The site is physically suited for the type and density of development because it allows for future residential development.
3. The project is not likely to cause substantial environmental damage because it is a minor division of land.
4. The subdivision is not likely to cause serious public health problems.
5. The subdivision will not conflict with easements acquired by the public at large because no easements are required for the public.

### **PUBLIC NOTICE:**

Notice of this item was published in the San Luis Obispo Tribune newspaper on March 27, 2020, and all property owners and occupants of record within 500 feet of the subject site were notified of this evening's public hearing and invited to voice any concerns on this application.

### **ENVIRONMENTAL DETERMINATION:**

Environmental review was performed for this project and staff determined that the project is categorically exempt pursuant to Section 15315, Class 15 which consists of the division of property in urbanized areas zoned for residential, commercial, or

industrial use into four or fewer parcels when the division is in conformance with the General Plan and zoning, no variances or exceptions are required, all services and access to the proposed parcels to local standards are available, the parcel was not involved in a division of a larger parcel within the previous 2 years, and the parcel does not have an average slope greater than 20 percent.

The project was also determined to be categorically exempt pursuant to Section 15301, Class 1 (I) for demolition and removal of up to three single-family residences applies to the demolition of the single-family residence at 675 Paula. The residence was not found to be historically significant. Additionally, none of the Categorical Exemption exceptions, noted under Section 15300.2, apply to the project.

**CONCLUSION:**

With the recommended conditions of approval, the proposed project is consistent with the General Plan and the Local Coastal Plan and would not have a significant impact on the environment. The project is consistent with the Zoning and Subdivision Ordinances of the City of Morro Bay and would, in fact, further the City's goals for more orderly development consistent with R-1/S.2 residential zoning district.

**RECOMMENDATION:**

Staff recommends that the Planning Commission conditionally approve the project as depicted on the Tentative Parcel Map dated February 27, 2020 by adopting Planning Commission Resolution No. 05-20 subject to the associated Conditions of Approval.

**EXHIBITS:**

- Exhibit A – Planning Commission Resolution 05-20
- Exhibit B – Tentative Parcel Map Reductions
- Exhibit C – Demolition Plan Reductions

RESOLUTION NO. PC 05-20

A RESOLUTION OF THE MORRO BAY PLANNING COMMISSION  
APPROVING COASTAL DEVELOPMENT PERMIT CDP19-046 AND SUBDIVISION  
PAR20-01 TO ALLOW FOR THE CREATION OF TWO PARCEL FROM ONE EXISTING  
PARCEL AT 675 PAULA AND 2560 IRONWOOD AND DEMOLITION OF ONE SINGLE-  
FAMILY RESIDENCE AT 675 PAULA

**WHEREAS**, the Planning Commission of the City of Morro Bay (the “City”) conducted a public hearing via video conference at the Morro Bay Veteran’s Hall, 209 Surf Street, Morro Bay, California, on April, 2020 for the purpose of considering Coastal Development Permit CDP19-046 and Subdivision PAR20-01 for a lot split at 675 Paula Street and 2560 Ironwood Avenue and demolition of a residence at 675 Paula (APN 068-242-004); and

**WHEREAS**, notice of the public hearing was provided at the time and in the manner required by law; and

**WHEREAS**, the Planning Commission has duly considered all evidence, including the testimony of the applicant, interested parties, and the evaluation and recommendations by staff, presented at said hearing.

**NOW, THEREFORE, BE IT RESOLVED** by the Planning Commission of the City of Morro Bay as follows:

**Section 1: Findings.** Based upon all the evidence, the Commission makes the following findings:

California Environmental Quality Act (CEQA) Finding

1. Pursuant to the California Environmental Quality Act, the project is categorically exempt under Section 15315, Class 15, which exempts minor land divisions in urban areas zoned for residential, commercial, or industrial uses into four or fewer parcels and under Section 15301, Class 1 (I) for demolition and removal of up to three single-family residences. None of the exceptions found in CEQA Section 15300.2 apply to this project.

Coastal Development Permit Findings

1. The project is an allowable use in its zoning district and is also in accordance with the Certified Local Coastal Plan and the General Plan
2. The establishment, maintenance, or operation of the use applied for will not be detrimental to the health, safety, morals, comfort, and general welfare of the persons residing or working in the neighborhood.
3. The use will not be injurious or detrimental to property and improvements in the neighborhood or the general welfare of the City.

Subdivision Map Act Findings

1. The proposed Tentative Parcel Map to create two residential lots is consistent with the General Plan and Local Coastal Plan.
2. The site is physically suited for the type and density of development because it allows for future residential development.

3. The project is not likely to cause substantial environmental damage because it is a minor division of land.
4. The subdivision is not likely to cause serious public health problems.
5. The subdivision will not conflict with easements acquired by the public at large because no easements are required for the public.

**Section 2. Action.** The Planning Commission does hereby approve Coastal Development Permit CDP19-046 and Subdivision PAR20-01 for property located at 675 Paula Street and 2560 Ironwood Avenue subject to the following conditions:

### **STANDARD CONDITIONS**

1. This permit is granted for the land described in the staff report dated March 9, 2020 for the project at 675 Paula Street and 2560 Ironwood Avenue (APN: 068-242-004) depicted on Tentative Parcel Map Number 19-0112 dated February 27, 2020 as part of Coastal Development Permit CDP19-046 and Subdivision PAR20-01, on file with the Community Development Department, as modified by these conditions of approval, and more specifically described as follows: Site development, including all buildings and other features, shall be located and designed substantially as shown on plans, unless otherwise specified herein.
2. Inaugurate Within Two Years: Unless the construction or operation of the structure, facility, or use is commenced not later than two (2) years after the effective date of this Resolution and is diligently pursued, thereafter, this approval will automatically become null and void; provided, however, that upon the written request of the applicant, prior to the expiration of this approval, the applicant may request up to two extensions for not more than one (1) additional year each. Any extension may be granted by the City's Community Development Director (the "Director"), upon finding the project complies with all applicable provisions of the Morro Bay Municipal Code (the "MBMC"), General Plan and certified Local Coastal Program Land Use Plan (LCP) in effect at the time of the extension request.
3. Changes: Minor changes to the project description and/or conditions of approval shall be subject to review and approval by the Community Development Director. Any changes to this approved permit determined, by the Director, not to be minor shall require the filing of an application for a permit amendment subject to Planning Commission review.
4. Compliance with the Law: (a) All requirements of any law, ordinance or regulation of the State of California, the City, and any other governmental entity shall be complied with in the exercise of this approval, (b) This project shall meet all applicable requirements under the MBMC, and shall be consistent with all programs and policies contained in the LCP and General Plan for the City.
5. Hold Harmless: The applicant, as a condition of approval, hereby agrees to defend, indemnify, and hold harmless the City, its agents, officers, and employees, from any claim, action, or proceeding against the City as a result of the action or inaction by the

City, or from any claim to attack, set aside, void, or annul this approval by the City of the applicant's project; or applicant's failure to comply with conditions of approval. Applicant understands and acknowledges the City is under no obligation to defend any legal actions challenging the City's actions with respect to the project. This condition and agreement shall be binding on all successors and assigns.

6. Compliance with Conditions: The applicant's establishment of the use or development of the subject property constitutes acknowledgement and acceptance of all Conditions of Approval. Compliance with and execution of all conditions listed hereon shall be required prior to obtaining final building inspection clearance. Deviation from this requirement shall be permitted only by written consent of the Director or as authorized by the Planning Commission. Failure to comply with any of these conditions shall render this entitlement, at the discretion of the Director, null and void. Continuation of the use without a valid entitlement will constitute a violation of the MBMC and is a misdemeanor.
7. Compliance with Morro Bay Standards: This project shall meet all applicable requirements under the MBMC, and shall be consistent with all programs and policies contained in the LCP and General Plan of the City.

### **PLANNING CONDITIONS**

1. Final Parcel Map: The Applicant shall update the proposed Final Parcel Map areas listed in the project information section of the Tentative Parcel Map to reflect the actual proposed areas. Specifically, Parcel 1 shall be 8,008 sq. ft. and Parcel 2 shall be 6,812 sq. ft.
2. Demolition Hours: Pursuant to MBMC Section 9.28.030 (I), noise-generating demolition related activities shall be limited to the hours of seven a.m. to seven p.m. daily, unless an exception is granted by the Community Development Director pursuant to the terms of this regulation.
3. New Construction: New construction is not allowed under this Coastal Development Permit. Any new construction shall be preceded by the approval of the appropriate land use and building permits.
4. Disposal of Debris: All debris resulting from the demolition shall be properly disposed of through a recycling facility, or if that is not possible at an approved landfill site by the property owner.

### **BUILDING CONDITIONS**

#### **A. PRIOR TO ISSUANCE OF A BUILDING PERMIT:**

1. Building permit plans shall be submitted by a California licensed architect or engineer when required by the Business & Professions Code, except when otherwise approved by the Chief Building Official.
2. The owner shall designate on the building permit application a registered design professional who shall act as the Registered Design Professional in Responsible Charge. The Registered Design Professional in Responsible Charge shall be responsible for reviewing and coordinating submittal documents prepared by others including phased and staggered submittal items, for compatibility with design of the building.
3. The owner shall comply with the City's Structural Observation Program. The owner shall employ the engineer or architect responsible for the structural design, or another engineer or architect designated by the engineer of record or architect responsible for the structural design, to perform structural observation as defined in Section 220. Observed deficiencies shall be reported in writing to the owner's representative, special inspector, contractor and the building official. The structural observer shall submit to the building official a written statement that the site visits have been made and identify any reported deficiencies that, to the best of the structural observer's knowledge, have not been resolved.
4. The owner shall comply with the City Special Inspection Program. Special inspections will be required by Section 1704 of the California Building Code. All Special Inspectors shall first be approved by the Building Official to work in the jurisdiction. All field reports shall be provided to the City Building Inspector when requested at specified increments in order for the construction to proceed. All final reports from Special Inspectors shall be provided to the Building Official when they are complete and prior to final inspection.
5. Mitigation measures for natural occurring asbestos require approval from San Luis Obispo County Air Pollution Control District.
6. A soils investigation performed by a qualified professional shall be required for this project. All cut and fill slopes shall be provided with subsurface drainage as necessary for stability; details shall be provided. Alternatively, submit a completed City of Morro Bay soils report waiver request.
7. **BUILDING PERMIT APPLICATION.** To apply for building permits, submit three (3) sets of construction plans to the Building Division.
8. The Title sheet of the plans shall include:
  - a. Street address, lot, block, track and Assessor Parcel Number.
  - b. Description of use.

- c. Type of construction.
- d. Maximum Height of the building allowed and proposed.
- e. Floor area of the building(s).
- f. Vicinity map.
- g. Minimum building set back per zoning designation or conditional use approval.

All construction will conform to the 2016 California Building Code (CBC), 2016 California Residential Code (CRC), 2016 California Fire Code (IFC), 2016 California Mechanical Code (CMC), 2016 California Plumbing Code (CPC), 2016 California Electrical Code (CEC), 2016 California Energy Code, 2016 California Green Code (CGBC), and Accessibility Standards where applicable and all City codes as they apply to this project.

(Code adoption dates are subject to change. The code adoption year is established by application date of plans submitted to the Building Division for plan review.)

**B. CONDITIONS TO BE MET DURING CONSTRUCTION:**

1. SITE MAINTENANCE. During construction, the site shall be maintained so as to not infringe on neighboring property, such as debris and dust.
2. ARCHAEOLOGICAL MATERIALS. In the event unforeseen archaeological resources are unearthed during any construction activities, all grading and or excavation shall cease in the immediate area and the find left untouched. The Building Official shall be notified so that the extent and location of discovered materials may be recorded by a qualified archaeologist, Native American, or paleontologist, whichever is appropriate. The qualified professional shall evaluate the find and make reservations related to the preservation or disposition of artifacts in accordance with applicable laws and ordinances. If discovered archaeological resources are found to include human remains, or in any other case when human remains are discovered during construction, the Building Official shall notify to county coroner. If human remains are found to be of ancient age and of archaeological and spiritual significance, the Building Official shall notify the Native American Heritage Commission. The developer shall be liable for costs associated with the professional investigation.
3. A licensed surveyor or engineer shall verify pad elevations, setbacks, prior to foundation inspection, and/or building height prior to framing inspection when determined necessary by the Planning Division.

**C. CONDITIONS TO BE MET PRIOR TO FINAL INSPECTION AND ISSUANCE OF CERTIFICATE OF OCCUPANCY:**

1. Prior to building division final approval all required inspections from the other various divisions must have been completed and verified by a city inspector. All required final inspection

approvals must be obtained from the various departments and documented on the permit card.

2. Title 24 form(s) 2F-6R (Certificate of installation) for building, mechanical, electrical and plumbing systems.

## **PUBLIC WORKS CONDITIONS**

**A. Tentative Parcel Map Conditional Approval:** These items will receive final approval during the Final Parcel Map Review.

1. Frontage Improvements: The installation of frontage improvements is required on Ironwood Ave. as it is designated as a “major collector”. Paula St. is a “Local” street and does not require frontage improvements in the current zoning classification. The required frontage improvements shall include a curb ramp at the corner of Ironwood and Paula. Frontage Improvements shall be installed per city standards for the respective street types. (MBMC 14.44).
2. Parkland In-lieu Fee: Prior to recordation of the Final Map, the applicant shall pay park in-lieu fees, consistent with City of Morro Bay Municipal Code section 16.52.050.

**B. Final Parcel Map Requirements:** The following comments will be addressed in the Final Parcel Map application and subsequent review. Please be advised that the City has a “Final Map Application Checklist”. Additional comments may apply.

1. Frontage Improvements: Prior to the recordation of the final map, plans prepared Page 2 of 2 by a registered engineer shall be prepared and approved by the Public Works Department. Additionally, the frontage improvements shall be either installed, or sufficiently bonded for prior to final map recording.
2. Copies of all Easements: Copies of all easements related to this site will be required for review.
3. Closure Calculations: Parcel boundary closure calculations will be required.

## **C. Demolition Conditional Approval**

1. Abandonment of Existing Sewer Lateral: Provide a Private Sewer Line (PSL) video inspection per the instructions located at the following link. [www.morrobayca.gov/pslvideo](http://www.morrobayca.gov/pslvideo) . This will determine not only if any defects currently exist, but also where a cap will need to be installed. Correct any defects identified in the inspection video on pipe that is proposed to remain. All repairs shall be shown on the plans. Identify the location of temporary or permanent “cap”. Note that the sewer service is on the Ironwood side of the frontage per the attached utility exhibit.
2. Detailed Erosion and Sediment Control Plan: All construction sites require an Erosion and Sediment Control Plan as described in the Construction Site Erosion and

Sediment Control Manual” located on the City of Morro Bay website at <http://www.morro-bay.ca.us/689/Construction-Sites> . The Plan shall show control measures to provide protection against erosion of adjacent property and prevent sediment or debris from entering the City right of way, adjacent properties, any harbor, waterway, or ecologically sensitive area. It must include a detailed site plan, typical drawing and details.

3. Encroachment Permits: No work shall occur within (or use of) the City’s Right of Way (ROW) without an encroachment permit. Surface improvement work will require a standard encroachment permit. Any underground utility work within the City ROW or easement will require a standard utility encroachment permit. If a construction dumpster is used, the dumpster location shall be on private property, unless allowed by an encroachment permit within the City right-of-way. Additional Notes - Add the following notes to the plans. These are required for Building Permit Approval. 1. Any damage, as a result of construction operations for this project, to City facilities, i.e. curb/berm, street, sewer line, water line, or any public improvements shall be repaired at no cost to the City of Morro Bay. 2. No work shall occur within (or use of) the City’s Right of Way without an encroachment permit. Encroachment permits are available at the City of Morro Bay Public Works Office located at 955 Shasta Ave. The Encroachment permit shall be issued concurrently with the building permit.

PASSED AND ADOPTED by the Morro Bay Planning Commission at a regular meeting thereof held on this 7<sup>th</sup> day of April on a motion by \_\_\_\_\_ and seconded by \_\_\_\_\_ and passed on the following vote:

AYES:  
NOES:  
ABSENT:  
ABSTAIN:

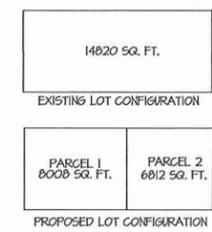
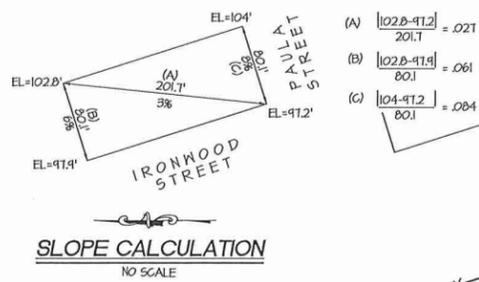
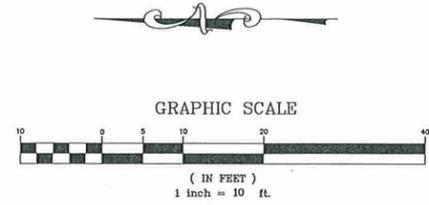
\_\_\_\_\_  
Chairperson Gerald Luhr

ATTEST

\_\_\_\_\_  
Scot Graham, Planning Secretary

The foregoing resolution was passed and adopted this 7<sup>th</sup> day of April 2020.

# EXHIBIT B



LOT CONFIGURATIONS  
NO SCALE

**RECORD OWNERS**  
B P 45 B FAMILY TRUST  
2570 IRONWOOD AVENUE  
MORRO BAY, CALIFORNIA 93442

**NON PLOTTABLE EASEMENTS**  
AN EASEMENT FOR RIGHT OF WAY PURPOSE OF ERECTING, INSTALLING, AND MAINTAINING ELECTRIC LIGHT, POWER AND/OR TELEPHONE POLES AND WIRES, CROSS ARMS AND WIRES IN CONNECTION THEREWITH, WATER PIPES GAS PIPES, SEWERS AND CONDUITS, INGRESS AND EGRESS, AND INCIDENTAL PURPOSES RECORDED OCTOBER 6, 1932 IN BOOK 128 AT PAGE 430 OF OFFICIAL RECORDS.  
AN EASEMENT FOR ELECTRICAL FACILITIES, COMMUNICATION FACILITIES, INGRESS, EGRESS, AND INCIDENTAL PURPOSES RECORDED OCTOBER 15, 1941 IN BOOK 308 AT PAGE 240 OF OFFICIAL RECORDS.

- LEGEND**
- ▲ DENOTES FOUND CITY OF MORRO BAY BRASS CAP IN MONUMENT WELL MARKED "RCE 127140"
  - RI RECORD DATA PER 3/18/01
  - R2 RECORD DATA PER 7/15/55
  - R3 RECORD DATA PER 4/15/43
  - DD1 10/8/01/184
  - DD2 03/1/01/220
  - CF CALCULATED FROM
  - FH FIRE HYDRANT
  - M MEASURED
  - MID ESTABLISHED AT MIDPOINT
  - OFF/INT= OFFSET INTERSECTION
  - PP POWER POLE
  - SP SINGLE PROPORTION
  - S STREET SIGN
  - SMH SANITARY SEWER MANHOLE
  - WM WATER METER
  - WV WATER VALVE
  - 2" W 2 INCH WATER LINE
  - 6" SS 6" VITREOUS CLAY PIPE SANITARY SEWER
  - 6" ACP 6" ASBESTOS CEMENT PIPE WATERLINE
  - 6" CMLC 6" CEMENT MORTAR LINED COATED STEEL PIPE
  - X X FENCE
  - OHU OVERHEAD UTILITIES
  - 18" CMP 18" CORRUGATED METAL PIPE STORM DRAIN

**BASIS OF BEARINGS**  
THE BASIS OF BEARINGS FOR THIS SURVEY IS BETWEEN FOUND MONUMENTATION AT THE INTERSECTION OF SAN JUAN AVENUE AND JUNIPER AVENUE (FORMERLY TENTH STREET), AND THE INTERSECTION OF JUNIPER AVENUE (FORMERLY TENTH STREET), AND AVALON DRIVE AND NOTED TO BE N1733'00"W PER R1.

**BASIS OF ELEVATIONS**  
THE BASIS OF ELEVATIONS AS SHOWN HEREON IS NAVD 88 AND COMPILED FROM GPS OBSERVATIONS DATED DECEMBER 4, 2019 AND CALCULATED WITH THE NGS ONLINE POSITIONING USER SYSTEM (OPUS).

**NOTES**  
BOUNDARY INFORMATION AND AREA CALCULATIONS SHOWN HEREON ARE BASED ON A FIELD SURVEY DATED NOVEMBER OF 2019.

ALL UNDERGROUND UTILITIES SHOWN HEREON HAVE BEEN COMPILED FROM RECORD DATA SOURCES PROVIDED BY THE CITY OF MORRO BAY. THERE IS NO WARRANTY EITHER EXPRESSED OR IMPLIED AS TO THE ACTUAL LOCATION AND SIZES OF ANY UNDERGROUND SERVICES

RECEIVED  
FEB 27 2020

City of Morro Bay  
Community Development Dept.

**TENTATIVE PARCEL MAP 19-0112**  
BEING A DIVISION OF A PORTION OF THE SOUTH 1/2 OF BLOCK 16 OF THE MORRO DEL MAR SUBDIVISION NO. 2, IN THE CITY OF MORRO BAY, COUNTY OF SAN LUIS OBISPO, STATE OF CALIFORNIA, ACCORDING TO THE MAP RECORDED OCTOBER 11, 1926 IN BOOK 3 AT PAGE 81 OF MAPS, FILED IN THE OFFICE OF THE COUNTY RECORD OF SAID COUNTY AND STATE.

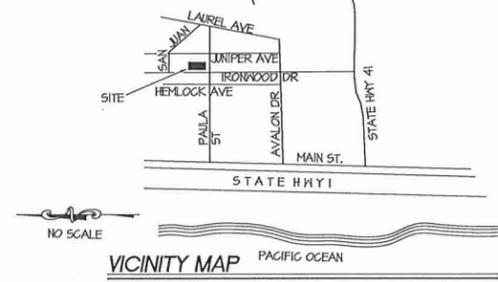
MARK E. MOLINI, INC.

1075 Hemingway Lane  
Templeton, California 93465  
(805) 674-4185

JOB: 19-042 DATE: DECEMBER 2019  
DRAWING #19042.DWG  
DRWN: MM, REVISED 2-24-20



SHEET 1 OF 1



# EXHIBIT C

## SITE NOTES - TREE PROTECTION

STURDY AND HIGHLY VISIBLE PROTECTIVE FENCING SHALL BE PLACED ALONG THE "PROJECT LIMIT AREA". FENCE SHALL REMAIN IN PLACE DURING DURATION OF PROJECT CONSTRUCTION.

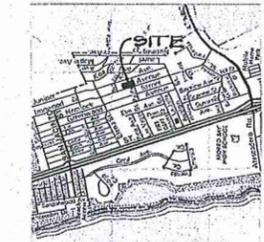
NATIVE TREES AND UNDERGROWTH OUTSIDE OF "PROJECT LIMIT AREA" SHALL BE LEFT UNDISTURBED.

ANY TREE TRIMMING OR LIMB REMOVAL SHALL BE DONE BY A SKILLED ARBORIST.

NOTE:  
TEMPORARY ENVIRONMENTAL CONTROL MEASURES ARE TO BE INSTALLED TO REDUCE POLLUTANT RELEASES. OWNER AND/OR CONTRACTOR IS RESPONSIBLE FOR IMPLEMENTATION

## LEGEND

- PROPERTY LINE
- ▭ EXIST STRUCTURE FOOTPRINT
- ▨ STRUCTURE TO BE DEMOLISHED
- - - EXISTING NATURAL GRADE
- DH — DIRECTION OF SURFACE DRAINAGE
- G — GAS SERVICE TO BE REMOVED
- W — WATER SERVICE TO BE REMOVED
- E — ELECTRIC SERVICE TO BE REMOVED
- S — SEWER LATERAL TO BE REMOVED
- F — EXISTING SIX FOOT HIGH FENCE
- T — TEMPORARY STRAW WATTLES ( DURING RAINY SEASON )
- ⊗ PALM TREE TO BE REMOVED



VICINITY MAP

## DESIGN TEAM

**OWNERS**  
BRUCE AND SANDRA SANTOIANI  
2570 IRONWOOD AVE.  
MORRO BAY, CA. 93442  
805-459-2415

**ARCHITECT**  
BRENT BERRY, ARCHITECT  
656 WEYMOUTH STREET  
CAMBRIA, CA. 93428  
805-927-4962

## PROJECT DATA

**LEGAL DESCRIPTION**  
LOT 4, BLOCK 16,  
MORRO DEL MAR SUB NO. 2  
CITY OF MORRO BAY  
SLO COUNTY, CA.

**APN**  
068-242-004

**ADDRESS**  
675 PAULA ST.  
MORRO BAY, CA.

**USE**  
DEMOLISH 624 SF RESIDENCE NO. 2

**ZONING**  
R-4

**OCCUPANCY GROUP**  
R-3

**CONSTRUCTION TYPE**  
V-B

**LOT SIZE**  
14,800 SF

**EXISTING BUILDING FOOTPRINT**  
RESIDENCE NO. 1 1,104 SF  
RESIDENCE NO. 2 624 SF  
STORAGE NO. 1 413 SF  
STORAGE NO. 2 324 SF  
CARPORT 270 SF  
TOTAL 2,735 SF  
PERCENTAGE OF SITE: 2,735 / 14,800 = 18%

**PROPOSED BUILDING FOOTPRINT**  
2,735 SF - 624 SF = 2,111 SF  
PERCENTAGE OF SITE: 2,111 / 14,800 = 14%

**PROPOSED PERMEABLE SURFACE OF SITE**  
14,800 - 2,111 = 12,689 SF  
PERCENTAGE OF SITE: 12,689 / 14,800 = 86%

**EXISTING BUILDING HEIGHT RESIDENCE NO. 2**  
15 FT

**AVERAGE LOT SLOPE**  
2 FT / 20 FT = 10%

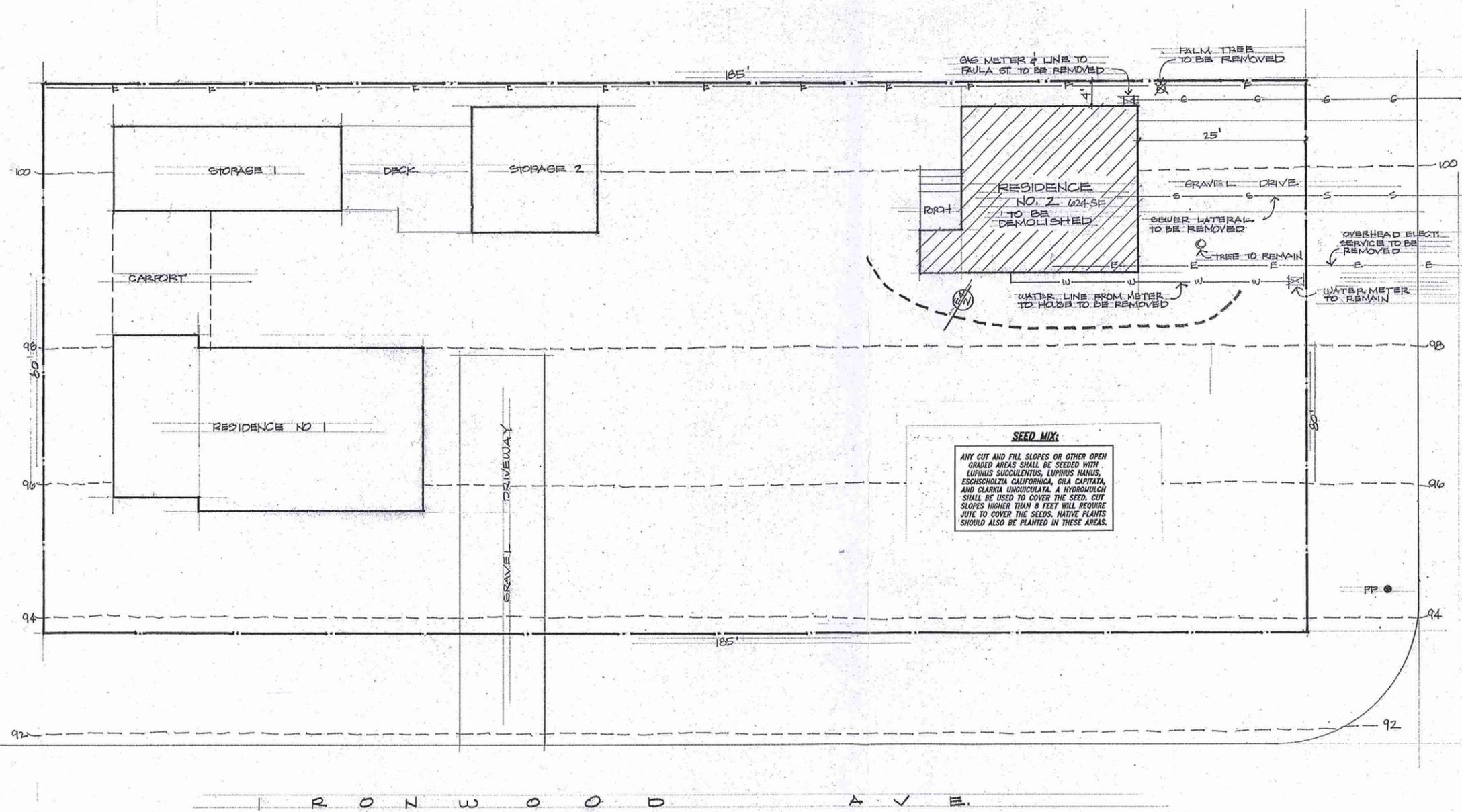
City of Morro Bay  
Community Development Dept.

DEC 19 2019

RECEIVED

## SHEET INDEX

1. SITE PLAN, DRAINAGE, EROSION CONTROL AND LANDSCAPE PLAN, PROJECT TEAM, PROJECT DATA,
2. SITE DEVELOPMENT, DRAINAGE AND EROSION CONTROL NOTES AND DETAILS.



**SEED MIX:**  
ANY CUT AND FILL SLOPES OR OTHER OPEN GRADED AREAS SHALL BE SEEDED WITH LUPINUS SUCCULENTUS, LUPINUS NANUS, ESCHSCHOLZIA CALIFORNICA, GILA CAPITATA, AND CLARIA UNGUICULATA. A HYDROGEL SHALL BE USED TO COVER THE SEED. CUT SLOPES HIGHER THAN 8 FEET WILL REQUIRE JUTE TO COVER THE SEEDS. NATIVE PLANTS SHOULD ALSO BE PLANTED IN THESE AREAS.

REVISIONS	BY

**SANTOIANI**  
**HOUSE DEMOLITION**  
675 PAULA ST.

**BRENT BERRY**  
ARCHITECT  
656 WEYMOUTH ST. • CAMBRIA • CA. 93428  
805-927-4962

Date	12.12.19
Scale	
Drawn	BB
Job	SANTOIANI
Sheet	1
Of	2 Sheets

## SITE PLAN - 1/8" = 1'-0"

### DRAINAGE, EROSION CONTROL AND LANDSCAPE PLAN





# City of Morro Bay Planning Commission

**675 PAULA STREET/2560  
IRONWOOD**

**PAR20-01 AND CDP19-046**

**TENTATIVE PARCEL MAP AND  
COASTAL DEVELOPMENT PERMIT**

**LOT SPLIT AND DEMOLITION**

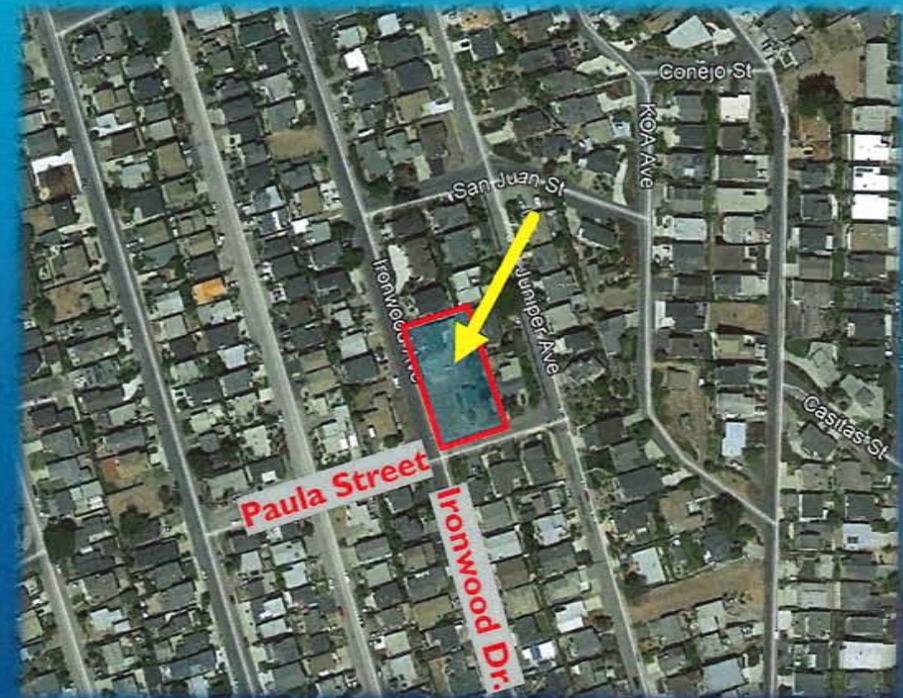
**APPLICANT:**

**BRUCE AND SANDRA SANTOIANNI**

**AGENT:**

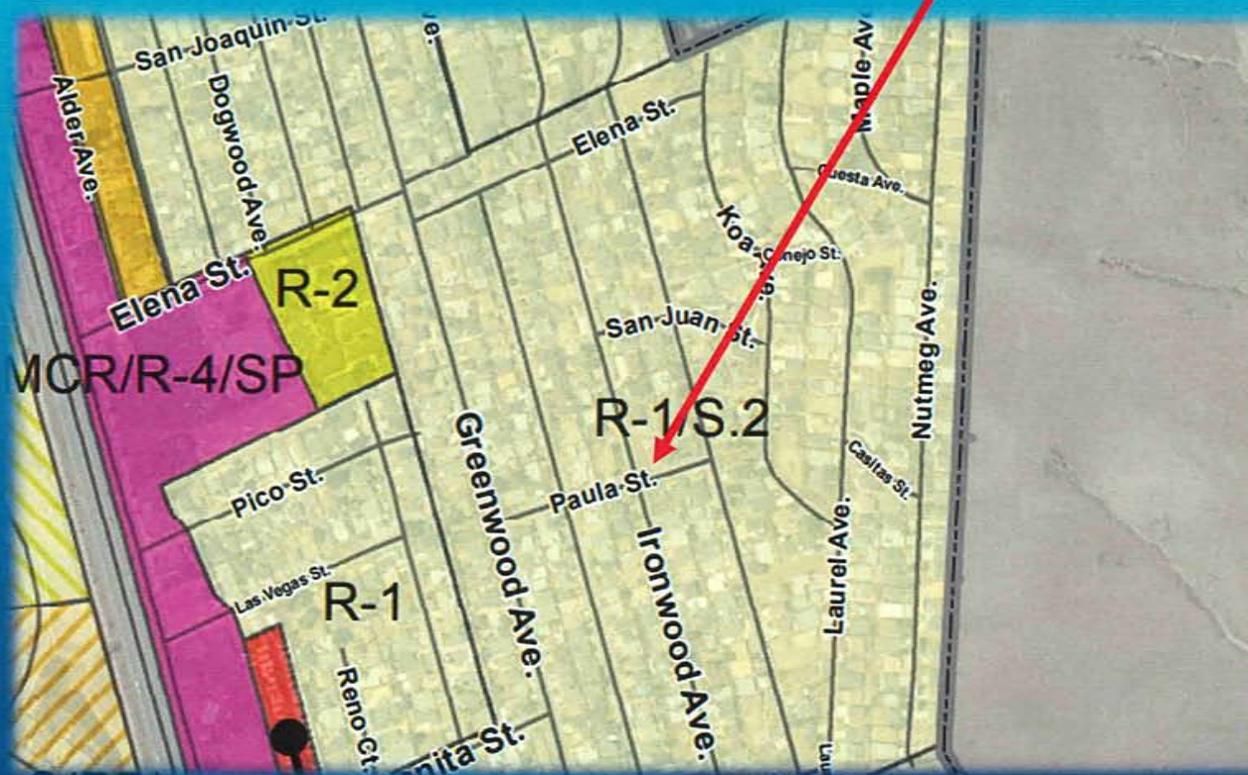
**MARK MOLINI**

**APRIL 7, 2020**



**MORRO BAY**  
PUT LIFE ON COAST

# Zoning: R-1/S.2



**MORRO BAY**  
PUT LIFE ON COAST

# Aerial View



This residence proposed to be **demolished** as a part of this Coastal Development Permit



**MORRO BAY**  
PUT LIFE ON COAST

# Existing Site from Paula Street

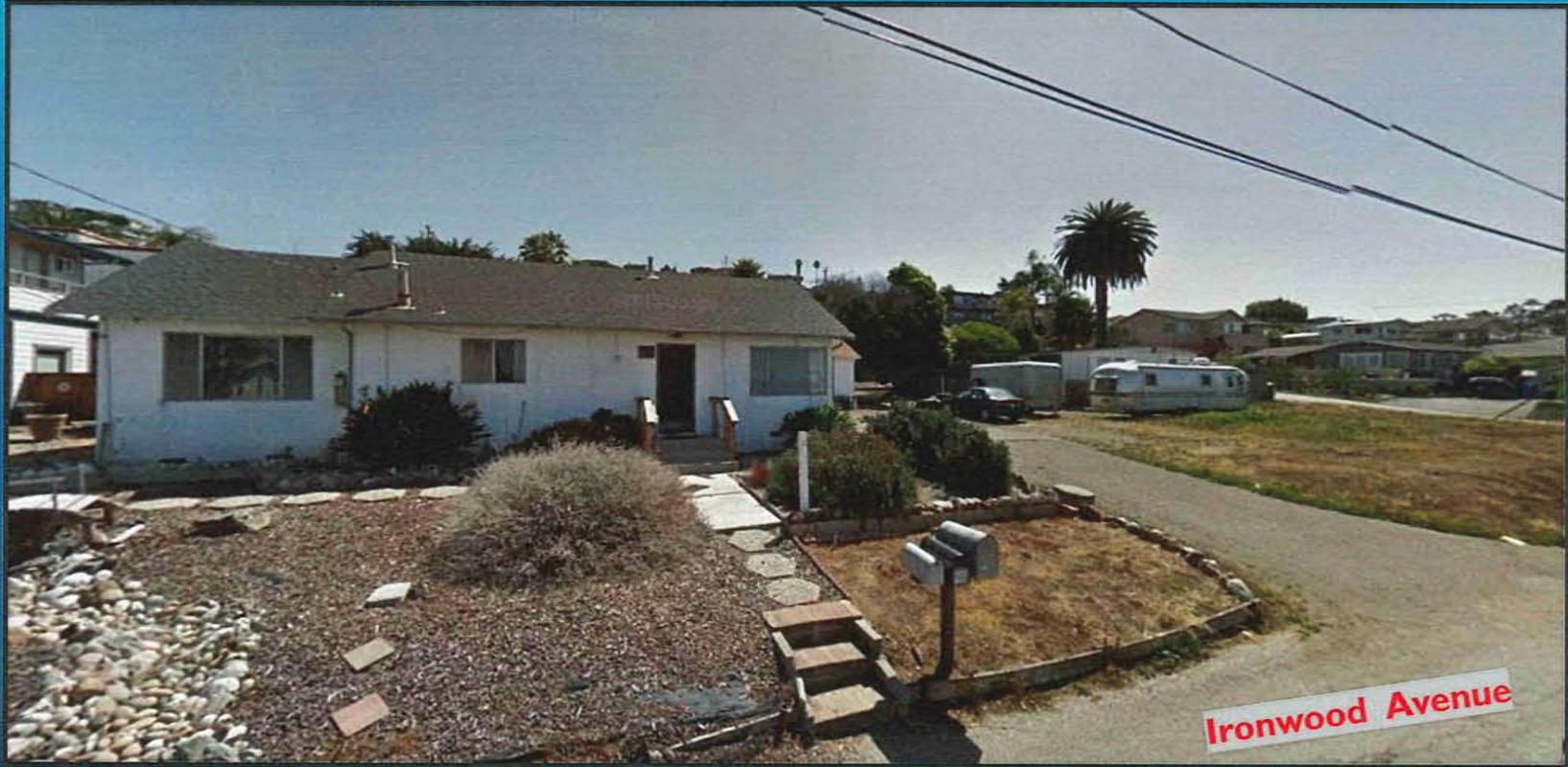


Existing home to be **demolished** as a part of this Coastal Development Permit



**MORRO BAY**  
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# Existing Site from Ironwood Ave.



**MORRO BAY**  
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# Design Guidelines and Public Improvements

## Public Improvements

- Curb, gutter, sidewalk on Ironwood
- Curb ramp at the corner of Ironwood and Paula
- Parkland In-lieu Fee

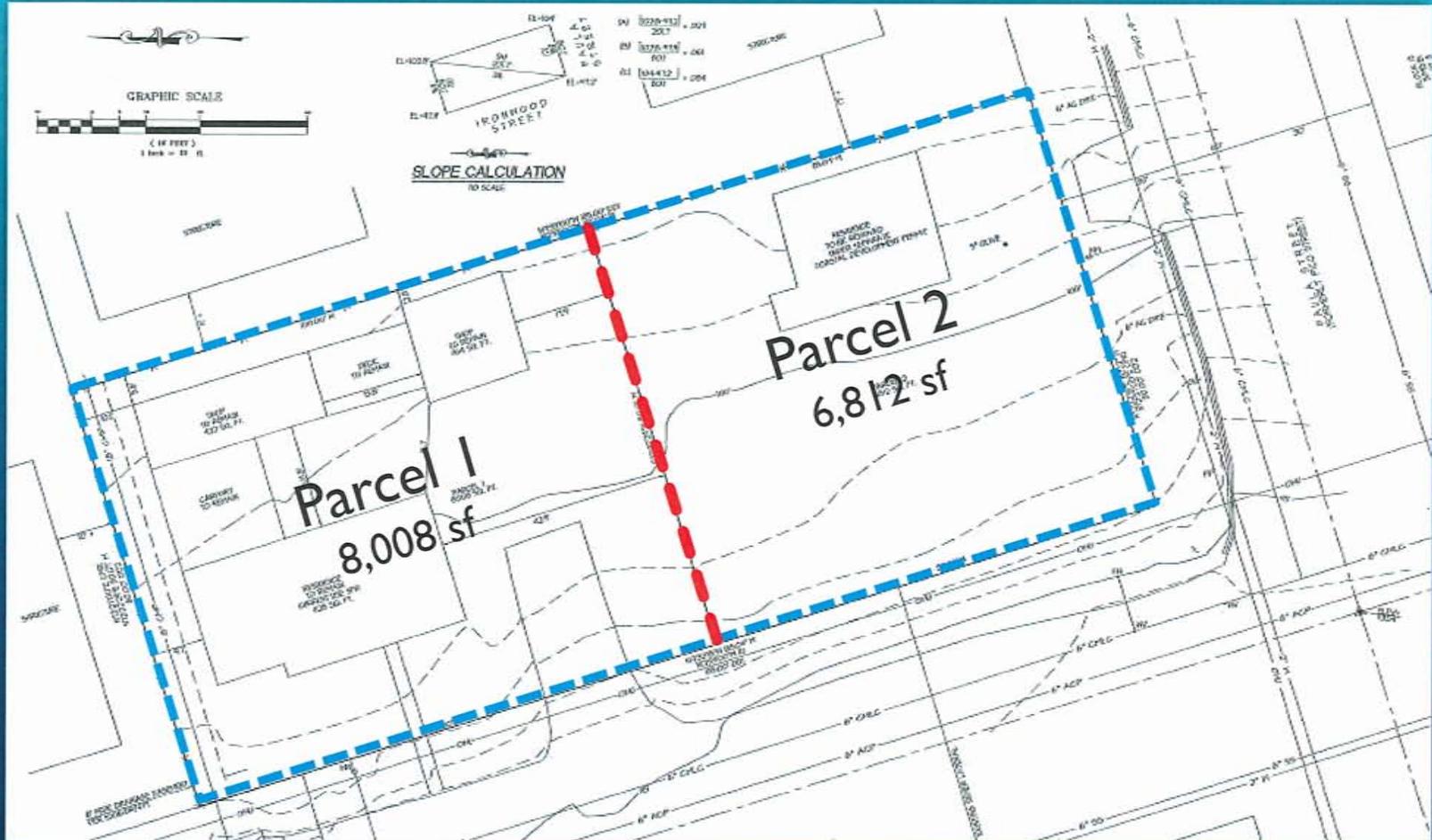
## Design Guidelines

- Minimum lot size 4,300 sq. ft.
- Depth to width ration 3:1
- Maximum slope 30%
- Minimum Lot Width 40'



**MORRO BAY**  
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# Tentative Parcel Map



**MORRO BAY**  
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# Parcel Map and Coastal Development Permit

1. The project is an allowable use in its zoning district and is also in accordance with the Certified Local Coastal Plan and the General Plan
  2. The establishment, maintenance, or operation of the use applied for will not be detrimental to the health, safety, morals, comfort, and general welfare of the persons residing or working in the neighborhood.
  3. The use will not be injurious or detrimental to property and improvements in the neighborhood or the general welfare of the City.
1. The proposed Tentative Parcel Map to create two residential lots is consistent with the General Plan, Local Coastal Plan and Zoning Code.
  2. The site is physically suited for the type and density of development because it allows for future residential development.
  3. The project is not likely to cause substantial environmental damage because it is a minor division of land.
  4. The subdivision is not likely to cause serious public health problems.
  5. The subdivision will not conflict with easements acquired by the public at large because no easements are required for the public.



**MORRO BAY**  
PUT LIFE ON COAST

# Recommendation

**Adopt  
Planning Commission Resolution 05-20  
which includes the Findings and Conditions  
of Approval  
for  
PAR20-01 and CDPI9-046  
for the proposed development at  
675 Paula St. and 2560 Ironwood Ave.**



**MORRO BAY**  
PUT LIFE ON COAST