



CITY OF MORRO BAY PLANNING COMMISSION AGENDA

The City of Morro Bay provides essential public services and infrastructure to maintain a safe, clean and healthy place for residents and visitors to live, work and play.

**Regular Meeting -Tuesday, July 20, 2021 - 6:00 P.M.
Held Via Teleconference**

Chairperson Susan Stewart

Vice-Chairperson William Roschen
Commissioner Jennifer Ford

Commissioner Joseph Ingraffia
Commissioner Mike Rodriguez

ESTABLISH QUORUM AND CALL TO ORDER
MOMENT OF SILENCE
PLANNING COMMISSIONER ANNOUNCEMENTS
PUBLIC COMMENT PERIOD
PRESENTATIONS

Public Participation:

In order to prevent and mitigate the effects of the COVID-19 pandemic, and limit potential spread within the City of Morro Bay, in accordance with Executive Order N-08-21, the City will not make available a physical location from which members of the public may observe the meeting and offer public comment. Remote public participation is allowed in the following ways:

- *Community members are encouraged to submit agenda correspondence in advance of the meeting via email to the Community Development office at planningcommission@morrobayca.gov prior to the meeting and will be published on the City website with a final update one hour prior to the meeting start time. Agenda correspondence received less than an hour before the meeting start time may not be posted until after the meeting.*
- *Members of the public may watch the meeting either on cable Channel 20 or as streamed on the City [website](#).*
- *Alternatively, members of the public may watch the meeting and speak during general Public Comment or on a specific agenda item by logging in to the Zoom webinar using the information provided below. Please use the "raise hand" feature to indicate your desire to provide public comment. Each speaker will be allowed three minutes to provide input.*

Please click the link below to join the webinar:

➤ <https://us02web.zoom.us/j/82722747698?pwd=aWZpTzdwTHlRTk9xaTlmWVNWRWFUQT09>

Password: 135692

*Or Telephone Attendee: (408) 638-0968 or (669) 900 6833 or (346) 248 7799; Webinar ID: 827 2274 7698; Password: 135692; Press * 9 to "Raise Hand" for Public Comment*

A. CONSENT CALENDAR

- A-1** Current and Advanced Planning Processing List
Staff Recommendation: Receive and file.

B. PUBLIC HEARINGS

- B-1 Case No.:** MAJ20-004 (Concept/Precise)
Site Location: 715 Embarcadero, Morro Bay, CA
Proposal: Conditional Use Permit Amendment (Major Modification) for 715 Embarcadero Rd to allow for conversion of a commercial fishing wharf to Harborwalk coastal public access, addition of a second 448sf retail space, 461sf of street-facing outdoor dining, and commercial façade improvements.. The lease site (#80/81 and 80W/81W) is an existing single story building with street facing visitor-serving retail and a bay-facing 1,025sf commercial fish processing wharf and 580sf outdoor covered patio area and windscreen. Specifically, the project proposes demolition of 445sf of the existing 1,025sf commercial fish processing wharf area, including removal of 5 existing wood pilings, removal of the outdoor covered patio and installation of new 10 foot wide bayside lateral access and new 10' wide fiberglass deck to provide coastal public access where none currently exists by providing a gap connection to the lease sites to the north and south, and repair of 3 pilings to remain for support of the Harborwalk. Project also proposes interior building improvement with conversion of 448sf retail space from within existing building to create a second retail space; and related commercial façade improvements. No expansion of the existing building square footage is proposed, nor is any height increase proposed. The project is located in the WF/PD/S4 zoning district and is within the Coastal Commission Original Jurisdiction.
CEQA Determination: Categorically Exempt, Section 15301
Staff Recommendation: Forward favorable recommendation to City Council for approval.
Staff Contact: Cindy Jacinth, Senior Planner, cjacinth@morrobayca.gov, (805) 772-6577

C. NEW BUSINESS

- C-1** City Council Goals and Objectives Update and receipt of Planning Commission input for the upcoming 2021/2022 goals and Objectives setting process.

D. UNFINISHED BUSINESS

- D-1** Planning Commission development review subcommittee update. Item provides an opportunity for the subcommittee to update the full Planning Commission on status related to evaluation and improvement of the City's development review process. This is a discussion item and does not include a staff report.
Staff contact: Scot Graham, Community Development Director; (805) 772-6291, sgraham@morrobayca.gov
- D-2** Planning Commission Public Benefit subcommittee update. Item provides an opportunity for the subcommittee to update the full Planning Commission on the status related to evaluation and development of a public benefits master list for the City. This is a discussion item and does not include a staff report.
Staff contact: Scot Graham, Community Development Director; (805) 772-6291, sgraham@morrobayca.gov

E. PLANNING COMMISSIONER COMMENTS/FUTURE AGENDA ITEMS

F. COMMUNITY DEVELOPMENT DIRECTOR COMMENTS

G. ADJOURNMENT

Adjourn to the next regular Planning Commission meeting on August 3, 2021 at 6:00 p.m. via teleconference.

PLANNING COMMISSION MEETING PROCEDURES

This Agenda is subject to amendment up to 72 hours prior to the date and time set for the meeting. Please refer to the Agenda posted at the Community Development Department, 955 Shasta Avenue, for any revisions, or call the Department at 805-772-6264 for further information.

Written testimony is encouraged so it can be distributed in the Agenda packet to the Commission. Material submitted by the public for Commission review prior to a scheduled hearing should be received by the Planning Division at the Community Development Department, 955 Shasta Avenue, no later than 5:00 P.M. the Tuesday (eight days) prior to the scheduled public hearing. Written testimony provided after the Agenda packet is published will be distributed to the Commission but there may not be enough time to fully consider the information. Mail should be directed to the Community Development Department, Planning Division.

This Agenda may be found on the Internet at: www.morrobayca.gov/planningcommission or you can subscribe to Notify Me for email notification when the Agenda is posted on the City's website. To subscribe, go to www.morrobayca.gov/notifyme and follow the instructions.

The Brown Act forbids the Commission from taking action or discussing any item not appearing on the agenda, including those items raised at Public Comment. In response to Public Comment, the Commission is limited to:

1. Responding to statements made or questions posed by members of the public; or
2. Requesting staff to report back on a matter at a subsequent meeting; or
3. Directing staff to place the item on a future agenda. (Government Code Section 54954.2(a))

Commission meetings are conducted under the authority of the Chair who may modify the procedures outlined below. The Chair will announce each item. Thereafter, the hearing will be conducted as follows:

1. The Planning Division staff will present the staff report and recommendation on the proposal being heard and respond to questions from Commissioners.
2. The Chair will open the public hearing by first asking the project applicant/agent to present any points necessary for the Commission, as well as the public, to fully understand the proposal.
3. The Chair will then ask other interested persons to present testimony either in support of or in opposition to the proposal.
4. Finally, the Chair may invite the applicant/agent to respond to the public testimony. Thereafter, the Chair will close the public testimony portion of the hearing and limit further discussion to the Commission and staff prior to the Commission taking action on a decision.

APPEALS

If you are dissatisfied with an approval or denial of a project, you have the right to appeal this decision to the City Council up to 10 calendar days after the date of action. Pursuant to Government Code §65009, you may be limited to raising only those issues you or someone else raised at the public hearing described in this notice, or in written correspondence delivered to the Commission, at, or prior to, the public hearing. The appeal form is available at the Community Development Department and on the City's web site. If legitimate coastal resource issues related to our Local Coastal Program are raised in the appeal, there is no fee if the subject property is located within the Coastal Appeal Area. If the property is located outside the Coastal Appeal Area, the fee is a \$277 flat fee. If a fee is required, the appeal will not be considered complete if the fee is not paid. If the City decides in the appellant's favor then the fee will be refunded.

City Council decisions may also be appealed to the California Coastal Commission pursuant to the Coastal Act Section 30603 for those projects that are in their appeals jurisdiction. Exhaustion of appeals at the City is required prior to appealing the matter to the California Coastal Commission. The appeal to the City Council must be made to the City and the appeal to the California Coastal Commission must be made directly to the California Coastal Commission Office. These regulations provide the California Coastal Commission 10 working days following the expiration of the City appeal period to appeal the decision. This means that no construction permit shall be issued until both the City and Coastal

Planning Commission Meeting of July 20, 2021

Commission appeal period have expired without an appeal being filed. The Coastal Commission's Santa Cruz Office at (831) 427-4863 may be contacted for further information on appeal procedures.

In compliance with the Americans with Disabilities Act, if you need special assistance to participate in this meeting, please contact the Community Development Department at (805) 772-6264. Notification 24 hours prior to the meeting will enable the City to make reasonable arrangements to ensure accessibility to this meeting.



City of Morro Bay
 Community Development Department
 Current & Advanced Project Tracking Sheet
 This tracking sheet shows the status of the work being processed by the Planning & Building Divisions
 New Planning items or items recently updated are highlighted in yellow.

Agenda No: A-1
 Meeting Date July 20, 2021

Approved projects are deleted on next version of log.

#	Applicant/ Property Owner	Project Address	Application Date	Permit Numbers	Project Description/Status	Planning Comments and Notations	Building/Fire Comments and Notations	Engineering Comments and Notations	Harbor/Admin Comments and Notations	Project Planner
Hearing or Action Ready Projects:										
1	Van Beurden Investments	715 Embarcadero Road	11/17/20	MAJ20-004	Dutchman Harborwalk public access and improvements with wharf changes. Major Modification to CUP.	Under review. Incomplete letter sent 12-10-20. Resubmittal received 4-29-21. Scheduled for 7/20/21 PC hearing for consideration of favorable recommendation. Will also require City Council review and approval.				cj
2	Eisemann	535 Atascadero	5/3/21	CDP21-016	Add new JADU to existing SFH	Comment letter sent 5/25/21. Resubmittal received, deemed complete, preparing for public notice.				nh
3	Errea	602 Ironwood Court	5/13/2021, Complete submittal on 5/19/21	CDP21-018	New construction of a 2806 sf home with a 1078 sf garage	Planning comments sent 6/4/21, requires resubmittal. Resubmittal received June 17, 2021, deemed complete 7/6/21, preparing for public notice.				nh
4	Hauck	206 Bradley	2/24/21	CDP21-005 CUP21-06 PKG 21-07	1250 sf addition, plus a 665 sf attached ADU and new garage	Planning deemed incomplete, comments sent 3/11/21. Resubmittal received May 26, 2021. Planning comment letter sent 6/8/21- project elevated to discretionary review requiring a CUP and PKG. Resubmittal received June 16, 2021, deemed complete 7/13/21, scheduling PC hearing in August.				nh
30 -Day Review, Incomplete or Additional Submittal Review Projects:										
6	Casagrande	528 Blanca	7/7/21	CDP21-027	New construction of a single family home on a vacant parcel	Under review				nh
7	casagrande	536 Blanca	7/7/21	CDP21-028	New construction of a single family home on a vacant parcel	Under review				nh
8	Eisemann	541 Atascadero Road (at Hill St)	7/9/21	CUP21-09/ CDP21-029	Four unit apartment complex with attached garages	Under review				nh
9	Luhr	1140 Allesandro Ave	6/28/21	CDP21-026/ CUP21-08	Multiple residential units with live-work	Under review				nh
10	Morro Bay Ventures	2783 Coral Ave	7/1/21	MAJ21-005	Five unit subdivision, previously approved for a 6 unit subdivision by City Council.	Under review				nh

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11	Green	1175 Scott Street	6/28/21	CDP21-025 CUP21-07	New construction of 3 hotel units including one ADA unit and a residential security unit	Under review				nh
12	Bernal	2620 Laurel	6/24/21	CDP21-023	New 1558 sf two and a half stories with 280 sf balcony and a 728 sf garage	Under review				nh
13	Lent	194 Island	6/17/21	CDP21-022	New ADU and roof top deck	Review comments sent 7/14/21, requires resubmittal				nh
14	Babb	1610 Main Street	7/6/21	MUP21-01	Change in use for existing commercial space. Proposed use is rental of street- legal battery operated cars, scooters and electric bicycles.	Under review. Emailed applicant 7/8/21 with questions.				nh
15	Montemagni	599 San Jacinto Street	6/10/21	CDP21-020	Demo existing home, build new 1574 sf new home with 748 sf ADU	Under review. Planning correction letter sent 7/6/21, required minor changes and resubmittal.				nh
16	Steiner	301-390 Seashell Cove	4/19/21	MAJ21-02	General Plan / LCP Land Use & Zoning Map Amendment application to change land use and zoning from R-A to R-3 designation / low density to medium density.	Under review. Response letter/ incomplete letter sent 5-6-21. Resubmittal received. Environmental review in process.				cj
17	Battaglia/ Winfield	1280 Scott St	4/14/21	CDP21-015	Admin CDP for upstairs ADU, storage, conversion of existing space for JADU.	Response letter and incomplete comments sent 5/4/21. Resubmittal received May 27, 2021, under review. Minor review comments need to be addressed, comment letter sent 6/15/21.				nh
18	SR Development	545 Atascadero Rd	Initial partial submittal on 3/31/2021. Submittal complete on 4/26/21	CDP21-013 / CUP21-04	New construction of 15 unit townhomes project	Under review. Comment letter sent 5/14/21, requires resubmittal with responses.				nh
19	Douleddee	929 Mesa	3/31/21	CDP21-012	Admin CDP for ADU, addition of square ft & relocate garage	Correction letter sent 4/19/21. Awaiting resubmittal. Resubmittal received 5/3/21 and is under review. Awaiting corrections to Sheet A1. Resubmittal received June 16, 2021, planning comments sent on June 23, 2021				nh
20	Miagany	405 Elena	12/29/20	CUP20-15 & PKG20-05	Conditional Use Permit & Parking Exception for addition to an existing non-conforming single family home	Under review. Project deemed incomplete and incomplete letter sent 1-21-2021. Awaiting resubmittal. Resubmittal received 3/25/21 and is under review. Application deemed incomplete. Second correction letter sent 4/15/21. Awaiting resubmittal. Resubmittal received 5/20/21. Deemed incomplete 6-14-21, requires resubmittal.				nh
21	Perry	3202 Beachcomber	4/14/21	CDP21-014/ VAR21-001	Demo existing home, build new 2063 sf home with subterranean garage and storage area of 2267 sf. Application approval is dependent on completion of LTM21-01. VAR request for height variance on roof top deck railing.	Submittal received, but not complete. Balance of submittal received 4/14/21, under review. Incomplete letter comments sent for CDP on 5/4/21. Resubmittal received 6/24/21 with VAR request, under review				nh
22	Perry	3230 Beachcomber	6/24/21	CDP21-024/ VAR21-002	New 1537 sf sfh with attached 380 sf garage. VAR request for roof top deck railing height. Application approval is dependent on completion of LTM21-01	Under Review				

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23	Perry	3202 & 3230 Beachcomber		LTM21-01	Merge 3 non-conforming parcels into 2 parcels, move lot line to equalize new parcel sizes	Incomplete letter comments sent for LTM on 4/30/21 and for CDP on 5/4/21.				nh
24	Tullis	404 Estero	3/17/21	CDP21-011	CDP to demo existing improvements & construct new SFR and site improvements.	Under review. Deemed incomplete, comment letter sent to applicant April 2, 2021				nh
25	Valerie	490 Mindoro	1/20/21	CDP21-001/PKG21-03	Project changed March 15, 2021 from original application to a new SFH converted from an existing garage on a parcel newly separated from the adjacent parcel which had the original SFH	Planning deemed incomplete and comments were sent 3/29/21. Resubmittal received 7/6/21, planning incomplete letter sent 7/9/21				nh
26	Diaz	365 Driftwood	1/19/21	CUP20-13 & CDP21-002	Addition to existing single family home. This is an addition to a non-conforming home which requires a conditional use permit and coastal development permit for duplex unit.	Comment letter sent 2/6/21. Requires resubmittal with changes. Resubmittal received 5/10/21. Project deemed incomplete, letter sent 5/25/21.				nh
27	Vistra	1290 Embarcadero	12/28/20	CDP20-026 & CUP20-14	Battery Energy Storage System (BESS) - New proposed project to construct 600MW BESS on old tank farm north of existing Morro Bay Power Plant. BESS to be constructed as 3 separate buildings, 30 feet in height plus 10 feet of screening for rooftop equipment.	Under initial review. Project deemed incomplete and incomplete letter sent 1-21-2021. Applicant resubmittal received 2-17-2021 and under review currently. Project deemed complete for processing on 2/23/2021. Project plans and documents being evaluated. Environmental review process in progress.				cj
29	Vazquez	590 Morro Ave	10/22/20	MAJ20-002	CDP/CUP Major Modification to propose equipment upgrade to an existing rooftop telecom wireless site.	Under review. Incomplete letter sent 11/19/20.				cj
30	Hurlless	2290 Greenwood Ave	5/7/20	CDP20-007	Legalize ADU from prior construction. Was a previous Code Enforcement issue. Plans difficult to understand.	Correction letter sent 5/18/20. Resubmittal received June 16, 2020 under review. Project deemed incomplete, comment letter sent July 16, 2020. Resubmittal received January 20, 2021. Planning and PW deemed incomplete, comment letter sent 2/6/21. Public works disapproved, planning conditionally approved 3/25/21. Planning deemed incomplete, comments sent 11/29/20. Resubmittal received 4/15/21, under review by PW. PW disapproved, requires resubmittal - comment letter sent 4/28/21				nh
31	Bean	197 Main Street (formerly known as 199 Sandpiper Court)	12/19/19	CUP19-20, CDP19-04, VAR20-001	CUP/CDP for new home on triangular small parcel on the bluff. Proposed home is 526 sf 2-stories with access easement to Main Street	Project deemed incomplete, comment letter sent January 7, 2020. Resubmittal received 10/26/20 adding a variance request, under review. Incomplete, need resubmittal				nh
Projects Appealed to Planning Commission or PC Continued projects										
Projects Appealed or Forwarded to City Council										

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32	City of Morro Bay	Citywide			Plan Morro Bay: General Plan / Local Coastal Program / Zoning Code Update project	Comprehensive overall update to the City's 1988 General Plan, 1984 Local Coastal Program, and 1997 Zoning Code. For more information or to get involved, visit www.morrobayca.gov/planmb . Public draft of combined General Plan/ LCP released May 2018 for review. Worked with Coastal staff on CCC input received during 2019. Adoption Draft to be reviewed by Planning Commission at 10/20/20 hearing. Admin Draft of EIR received and to be circulated. Reviewed by PC at the 11/4/2020 & 11/17/20, 12/1/20, & 12/15/20 PC meetings. 3-16-2021 meeting is for review of the EIR and make recommendations to City Council for adoption. Council review of adoption draft held on 4/27/21. Hearing continued to the 5/11 and then 5/25/21 Council meetings. Plan adopted by Council on 5/25/21. LCP Amendment application submitted to Coastal Commission for certification. Coastal hearing anticipated to be August 2021 meeting.				

Environmental Review:

33	City of Morro Bay	N/A		UP0-423	MND for Chorro Creek Stream Gauges	Applicant requesting meeting for week of 9/9/13. SWCA performing the environmental review. Received completed MND from Water Systems Consulting (WSC) on 4/1/15. Routed to State Clearinghouse for required 30 day review period. Tentative hearing 8/4/15. No recent activity.	No review performed.	MND complete. Cut permit checks to RWQCB and CDFW on 2/27/15		cj
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Final Map Under Review Projects:

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Projects going forward to Coastal Commission for review (Pending LCP Amendments) / or State Department of Housing:

34	City of Morro Bay	Citywide	10/16/13	A00-013. A00-029: Ordinance 601	Zoning Text Amendment - Second Unit	Secondary Unit Ordinance Amendment. Ordinance 576 passed by City Council in 2012. Change recommended by PC after Council direction which led to Adoption of Ord. 585 by City Council on 5/13/14. Ordinance to be sent as an LCP Amendment for certification by Coastal Commission. New language for PC and Council review. Second reading going to council on April 12, 2016. PC reviewed change 5-3-16. CC second First Reading 6-28-16.. Application submitted to Coastal Commission August 2016. Coastal objected to ban on use as vacation rentals. New State legislation in effect 1-1-20 which supersedes previous adopted ordinances. To be incorporated into Plan Morro Bay.	No review performed.			wm
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Projects Continued Indefinitely, No Response to Date on Incomplete Letter or inactive:

#	Applicant/ Property Owner	Project Address		Application Date	Permit Numbers	Project Description/Status	Planning Comments and Notations	Building/Fire Comments and Notations	Engineering Comments and Notations	Harbor/Admin Comments and Notations	Project Planner
35	Verizon / Knight	484 Main new location, Corner of Main and Cabrillo		11/19/14	UP0-394 and CP0-512	Coastal Development Permit and Conditional Use Permit for installation of new Wireless Facility/Verizon antennas on existing pole.	Under Review. JG. Incomplete. Waiting on response from Tricia Knight. Wants to keep project open and figure out the parking situation or move location. 1/26. JG. Applicant looking to move location to pole across the street. resubmittal rcv'd 5/26. Deemed Complete, waiting for Applicant to confirm PC meeting date. PC hearing held on 9/6/16 and continued for further review to 11-1-16 PC hearing. Continuance requested. Continued to a date uncertain		PN- Conditionally approved 6/14/16		ig
Grants											
36	California Coastal Commission, California Ocean Protection Council	City-wide		4/6/16		\$400,000 Grant for LCP update to address sea-level rise and climate change impacts. Round 3 Grant award of \$200,000 for Lateral Access Plan, and ESHA delineation. Round 6 funding of \$65,000 received Mar 2020.	Grant agreements for both the grants are in place and grant administration has been turned over to Michael Baker International, per terms of the GP/LCP update contract. Received signed grant agreement for \$200,000 LCP Planning grant by CCC for Round 3 awards 2-27-17. Additional LCP grant funding received in 2020 under Round 6 for \$65,000 to complete LCP update.	No review performed.	N/A		sg
37	City of Morro Bay	City-wide				Community Development Block Grant/HOME Program - Urban County Consortium	Staff has ongoing responsibilities for contract management in coordination with County staff administration. City Council approved Cooperation Agreement for 2021-2023 CDBG Program Years at 5/26/20 Council meeting. 2021 CDBG Funding Allocation to be approved as final funding recommendations to the County by City Council on 3-9-21.	No review performed.	N/R		cj
38	City of Morro Bay	City-wide				Climate Action Plan - Implementation	Staff has ongoing responsibilities for implementation of Climate Action Plan as adopted by City Council January 2014. Staff coordinating activities with other Cities and County of SLO via APCD.				cj
Projects in Building Plan Check:											
39	Castillo	1055	Allesandro St.	6/3/2021	B21-0097	250 sf addition to rear of existing SFR, addition creates two bedrooms and one full bath.		Bldg. - Disapproved 6/10/21			sg
40	HASLO	405	Atascadero	12/22/20	B20-0215	35 unit affordable apartments	Planning approved 1/10/21.	Bldg. - Disapproved 5/26/21			nh
41	Wilkie	476-A	Atascadero	3/26/20	B20-0057	ATTACHED ADU - Convert existing attached garage to 344 sf Accessory Dwelling Unit.	Correction letter sent 4/30/20.	Bldg. - Approved 4/8/20			nh
42	Goldstein	186	Bayshore Dr.	11/4/20	B20-0190	Remodel kitchen, dining & living area.		Bldg. - Approved 11/09/20			sg
43	Crisman	3029	Beachcomber Dr.	5/14/21	B21-0083	New single family residence (SFR), 278 sf living, 713 sf attached garage, and 130 sf deck on west side.	Planning disapproved with comments on 5/18/21	Bldg. - Disapproved 6/10/21			nh

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44	LaPlante	3093	Beachcomber	4/29/17	B-31487	New SFR: 3,495 sf w/ 500 sf garage on vacant land. No activity on this project. Remains in plan check.	Permit extended to 9-22-22	Ready to issue	PN - Approved 6/21/2018	Emailed comments on 10-20-17.	cj
45	Calanchini	433	Bernardo Ave.	4/8/21	B21-0067	Finish open space on the first floor that is enclosed within current structure. The space will become a 22 sf guest room/game room w/wet bar. All electrical & plumbing is currently located in the existing walls.	Planning disapproved 5/10/21. Awaiting resubmittal.	Bldg. - Disapproved 4/27/21			am
46	Sances	515	Bernardo Ave.	5/27/21	B21-0091	Remove existing rear 136 sf deck & replace with a new 406 sf deck, replace 2 windows & 1 patio slider with new updated window, size is same as existing, no structural changes.		Bldg. - Approved 6/1/21			sg
47	Lindquist	2924	Birch Ave.	7/6/21	B21-0114	Covert existing front covered porch into living space, approximately 56 sq. ft.		Bldg. Disapproved 7/7/21			sg
48	Martinez	235	Bradley Ave.	5/17/21	B21-0085	Enclose existing covered deck, adding 274 sf of unconditioned space at rear of existing SFR (no electrical or mechanical proposed in new enclosed area).		Bldg. - Plancheck			sg
49	Diaz	365	Driftwood	1/6/20	B19-0280	328 sq ft addition to master bedroom and bath on second flr. Convert covered patio to living space 50 sq ft enclosed covered porch 30 sq ft interior remodel.	Planning disapproved 1/31/20. Project requires a Conditional Use permit. Planning cannot approve building permit until Conditional Use Permit is final and permit issued. CUP20-13 received, building review following CUP/CDP approval.	Bldg. - Approved 12/29/20			nh
50	Hubbard	603	Driftwood	3/1/21	B21-0030	Interior remodel of kitchen and bath, enclose 24 sf porch to enlarge kitchen, 548 sf two story addition at rear of SFR (348 sf lower, 200 sf upper), 104 sf second story deck, and remove existing 240 sf carport.	Under review. Minor changes shown, requires documentation for the record. Planning reviewed and approved 3/11/21. Permit ready to issue.	Bldg. Approved 3/11/21			nh
51	Kleeman	2970-A	Elm Ave/	6/17/21	B21-0103	DETACHED ADU - 748 sf accessory dwelling unit (ADU), 230 sf ground floor addition to existing detached garage and 518 sf 2nd level addition (above garage), new 120 sf upper level deck and exterior stairs to serve the ADU.		Bldg.- Plancheck			cj
52	City of Morro Bay	595	Embarcadero	6/16/21	B21-0101	Addendum to B19-0278 - Revised plans to redefine occupancy load to less than 50, eliminate one restroom, showing two uni-sex restrooms, also changes to bar counter area.	Under review. Cj.	Bldg. - Approved 6/24/21			cj
53	Curtis & Mulholland	630	Embarcadero	5/18/21	B21-0087	Commercial T.I. to ground floor unit (584 sf) of existing building, space is currently used for dry storage & garage space, the T.I. will create a 145 sf lobby, 185 sf drink prep area, 250 sf kitchen addition and 121 sf new dry storage area utilizing an existing parking space.		Bldg. - Disapproved 5/19/21			sg

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54	City of Morro Bay	833	Embarcadero	12/30/20	B20-0220	Demo existing 2 story structure (formerly Off the Hook - Retail & Restaurant) Construct new mixed use structure, 2 story with retail, restaurant, and hotel space.	Disapproved 1-25-21. Correction memo sent to Bldg. Cj.	Bldg. - Disapproved 1/25/21			cj
55	Nguyen & Cung	2242	Emerald Circle	4/21/21	B21-0074	Interior Kitchen Remodel in existing SFR. No additional area is being proposed		Bldg. - Approved 4/29/21			sg
56	Cox	555	Estero	4/22/21	B21-0073	Remove existing detached single car garage. Rebuild single car garage as attached with office space above. Update kitchen.		Bldg. Disapproved 4/29/21			sg
57	Godfrey	396	Hill St.	3/18/21	B21-0045	New Duplex - Unit A includes 2422 sf of living, and 770 sf garage. Unit B includes 2616 sf of living area and 603 sf garage.	Under review. Planning disapproved 4-16-21.	Bldg. - Disapproved 4/26/21			am
58	Bailey	2565	Ironwood Ave.	7/8/21	b21-0120	Provide a small gable roof to get more head height in (N) bath & laundry room (Previously proposed sloped clg. +7'-6" to 6'-4", revised to propose =8'-0" clg. ht.)		Bldg - Plancheck			cj
59	Johnston	2781	Juniper Ave.	6/2/21	B21-0094	New 463 sf 2nd story deck at rear of existing SFR, also replace five existing windows with three new sliding glass doors.		Bldg. - Approved 6/15/21			sg
60	May	401	Kern Ave.	2/11/21	B21-0024	Interior remodel of kitchen, bath and stairs, converting 288 sf of garage area to 1st floor living area, 65 sf addition to 2nd floor living area (353 sf total living area addition) new 437 sf garage addition to remaining 107 sf of garage. New 300 sf covered patio and 650 sf roof top deck.	Under review. Planning disapproved 3/16/21. Resubmittal received, Planning approved 6/3/21.	Bldg. - Approved 3/11/21			am
61	Melen	2540	Koa Ave.	4/26/21	B21-0075	Interior renovations on mid level and upper floors, adding bathroom to existing space on upper floor, creating new conditioned space from existing attic space on upper floor.		Bldg. Approved 5/13/21			sg
62	McMillan	1840	Main St.	6/19/21	B21-0104	Temporary use of site by Morro Bay Propane and U-Haul. Installation of 504 sf office trailer, two 120 sf portable sheds and a propane filling station. Trailer to house temporary office and uhaul rental business. TUP21-002 approved May 17, 2021,		Bldg. - Approved 6/24/21			cj
63	Peter	890	Main St.	2/13/19	B19-0026	ADA and parking lot improvements. ADA stall to be relocated closer to street and make van accessible.	Approved on 3/1/19 - sg	Bldg. - Approved 2/27/19	Disapproved on 4/15/19		sg

#	Applicant/ Property Owner	Project Address		Application Date	Permit Numbers	Project Description/Status	Planning Comments and Notations	Building/Fire Comments and Notations	Engineering Comments and Notations	Harbor/Admin Comments and Notations	Project Planner
64	Sonic	1840	Main St.	10/17/17	B-31730	Sonic Drive-in Restaurant, 1395 sf building, 1020 sf covered patio, 2646 sf covered parking	Corrections sent 12-8-17. Resubmitted 3-2-18. Application incomplete and corrections sent 4-5-18. Resubmittal received and unaddressed corrections sent back 7-19-18. Project required to underground utilities. Utility plan and coordination with public utilities in process. cj. Requested permit extension. Awaiting resubmittal. Requested Permit Extension. Planning permit extension requested and granted to allow new permit expiration of April 2021. Emailed applicant 3-19-2021 advising them of permit expiration date and extension opportunities.	BLDG - Disapproved by California Code Check (contract building inspection services (see memo) on 7-23-18. PB Permit extended to 4/18/23	Disapproved by jb on 11-21-17.	1-2-18 - Emailed BLDG (code ck) comments to architect. PB	cj
65	Twin Bay Inc.	2460	Main St.	7/21/20	B-32117 B20-0114	ADA and parking lot improvements. ADA stall to be relocated closer to street and make van accessible.	Resubmittal received 2/2/21, planning approval pending issuance of MUP permit. Planning approved ADA improvement permit 2/11/21	Bldg. Approve 2/9/21			nh
66	Leonard	918	Marina St.	3/8/21	B21-0039	Construct 420 sf deck with steps (just under 5 ft. in height) at front of SFR, also install French drain.	Planning approved 3/11/21. am	Bldg. - Approved 3/10/21			sg
67	LifePoint Church	615	Monterey	1/6/20	B19-0279	Remodel/upgrade current building	Planning disapproved 1/27/20. Awaiting resubmittal.	Bldg - Diapproved 1/30/20			nh
68	Gaffney	960	Napa Ave		B21-0057	Addition to SFR 983 sf new 2 story addition plus demo existing garage and build new 441 sf detached 2-car garage	Planning approved 4-7-21	Bldg. - Approved 4/20/21			nh
69	Gaffney	960-A	Napa Ave	4/2/21	B21-0058	Detached ADU above new garage (see permit B21-0057)	Planning approved 4-7-21	Bldg. - Approved 4/20/21			nh
70	Dill	2300	Nutmeg Ave	4/6/21	B21-0061	Replacing a 2nd story 160 sf cantilever deck with 160 sf deck with posts		Bldg. - Approved 4/7/21			sg
71	Erb	2630	Nutmeg Ave	2/14/19	B19-0029	Demo 195 sf third story deck at front of home and rebuild with 80 sf extension to allow for deck beam and column support. Remove 152 sf deck on south side of home, misc. construction to repair water damage.	Dissapproved 3/6/19. Disapproved 4/9. Variance application approved. Awaiting building permit resubmittal.	Bldg. - Approved 3/27/19			wu
72	HS, Nutmeg, LLC	2681	Nutmeg Ave	6/22/21	B21-0106(SFH) B21-0107 (JADU)	2585 sf sfh stair stepped down slop with 748 sf garage and 254 sf deck. JADU is on the lower level and is 500 sf.	Planning approved 6/30/21	Bldg. Plancheck			nh
73	Angelucci	953	Pacific St.	3/25/21	B21-0052	Add 300 sf to 2nd story, 470 sf attached 2 car garage, 275 sf open deck & 188 sf covered deck.	Under review. Disapproved 4/27/21. am	Bldg. - Approved 6/24/21			am
74	Enns	655-A	Paula St.	11/3/20	B20-0189	ATTACHED ADU - Demo existing attached garage & construct new 395 sf attached garage with 866 sf ADU.	Under review. Disapproved 11/23/2020. Awaiting resubmittal of CDP 20-019 before building plans can be approved. CDP approved 12/29/2020.	Bldg. - Approved 6/15/21			am
75	Barakatt	315	Piney Ln.	7/1/21	B21-0112	Interior demo of kitchen, living room, solarium drywall and fixtures for assessment of framing conditions. Demo masonry fireplace and demo carport.		Bldg. - Approved 7/6/21			sg

#	Applicant/ Property Owner	Project Address		Application Date	Permit Numbers	Project Description/Status	Planning Comments and Notations	Building/Fire Comments and Notations	Engineering Comments and Notations	Harbor/Admin Comments and Notations	Project Planner
76	Lee	684	Piney Way	9/10/20	B20-0168	Demo existing detached 416 sf work shed with bathroom & reconstruct new 416 sf garage/shop with electrical, keeping existing bathroom on existing slab/foundation.	Planning disapproved 9/15/20. Requires a Admin CDP and Parking Exception prior to review and approval of the building permit. Waiting for submittal.	Bldg. - Disapproved 3/1/21			nh
77	Volk	800	Quintana Rd.	3/2/21	B21-0034	Addition of 30 kw diesel backup generator with a 190 gallon subbase fuel tank on a 4' x 10' concrete pad. Install new CMU walls with screened chain-link access gates, and install automatic transfer switch and camlock together.	Approved. Cj.	Ready to issue			cj
79	PG&E	475	Radcliff Ave.	2/9/21	B21-0023	Installation of six panel antennas and associated equipment on an existing 73-foot PG&E lattice tower. Equipment will be enclosed by an 8-foot tall CMU wall placed 35 feet from the base of the lattice tower.	Under review. Correction lent sent. Cj.	Bldg. - Approved 2/17/21			cj
80	Giannini	750	Radcliff Ave.	7/22/19	B19-0156	Remove three existing panel antennas, three radio and replace with three radio intergrated antennas and assoicated cabling. Install equipment expansions to the top of existing cabinets (approx 1'2') with associated electrical wiring.	Approved 9/26/19.	Ready to issue			cj
81	Hart	639	San Jacinto St.	5/17/20	B21-0084	New 196 sf 2nd floor deck at rear of SFR, remove window (located in existing pantry) and add single french door, also adding exterior lights, water valve, gas valve and electrical outlet.		Bldg. - Disapproved 5/19/21			sg
82	Parker	580	Shasta Ave	8/31/20	B20-0159	Add new detached garage	Planning under review. Planning disapproved 9/8/20. Need resubmittal	Bldg. - Disapproved 9/14/20			nh
83	Stanton	351	Trinidad	3/26/19	B19-0054	Repairs to existing 200 sf rooftop deck. Replace all dry-rot structural members, install new waterproof membrane,, new copper drip edge flashing, replace plaster, replace guardrail if needed.	Disapproved 4/11/19. Awaiting resubmittal. Permit applciation expired	Bldg. - Approved 3/27/19			wu
84	Davis	1149	West Ave	7/8/19	B19-0145	Construct lower level 360 sf enclosed patio (12' x 30') at rear of existing SFR.	Disapproved, proposed enclosed patio extended into the 25 foot bluff setback. Permit application expired.	Bldg. - Approved 7/10/19			nh
Planning Projects & Permits with Final Action:											
85	Verizon / OnAir LLC	1245 Little Morro Creek Rd		6/7/21	MIN21-004	Minor Modification to CDP/CUP. Amendment proposed to upgrade existing wireless telecommunications site through remove and replacement of equipment infrastructure.	Under review. Application deemed complete 6/25/21. Project noticing to start 6/29/21 for administrative minor amendment to existing Verizon wireless approvals. Approved 7-14-21. cj				cj

#	Applicant/ Property Owner	Project Address	Application Date	Permit Numbers	Project Description/Status	Planning Comments and Notations	Building/Fire Comments and Notations	Engineering Comments and Notations	Harbor/Admin Comments and Notations	Project Planner
86	AT&T	800 Quintana	9/23/20	MIN21-007 formerly known as MAJ20-001	Minor Modification to CDP/CUP Amendment proposed to upgrade existing rooftop wireless telecommunications site on commercial building. Request includes 3 foot height increase of corner antennas.	Under review. Incomplete letter sent 10/22/20. Resubmittal received 10/28/20. Project requests a 2nd height exception for a total height of approximately 36 feet. Applicant advised on 11/30/20 to redesigne to comply with height or show why infeasible.. Project Applicant emailed 1/22/2020 to request change to application and state they are no longer seeking a height exception or to make exterior changes. Project would be modified to swap out and upgrade existing facilities only. Project changes deemed to be administrative-level approval. Emailed applicant 2/1/21 with comment letter. Emailed applicant 3/9/21 acknowledging revised plans received and requesting updated RF report in order to proceed Project noticed for administrative minor mod action on 6/23/21.				cj
87	Phelps	490 Piney Way	11/18/20	CUP20-10/ CDP20-020/PKG21-02	1124 sf addition to existing 736 sf home with 518 sf decks, conversion of garage to ADU	Under Review - PC approval of CUP, Admin approval of CDP for ADU. Project deemed incomplete on 12/7/20. Resubmitted 2/25/21, under review. Planning deemed incomplete and comment letter was sent 3/18/21. Resubmittal received April 19, 2021, comment letter sent 4/27/21 with minor changes required. Resubmittal received 5/19/21, deemed complete on June 1, 2021, scheduled for PC hearing (SFR expansion) July 6, 2021. ADU approval will be administrative following the PC hearing. PC approved, permit issued 7/6/21. Admin approval for JADU and ADU, permit issued 7/7/21.				nh
88	Auerbach	3200 Beachcomber	4/28/21	MAJ21-003	Major Modification to CDP19-008 - 700sf addition to existing SFR, expand patio to 525sf ,expand driveway to add 3rd parking space	Under review. Incomplete letter sent 5/16/21. Resubmittal received 6/2/21 and PKG 21-06 received 6/7/21. Project deemed complete and scheduled for PC hearing July 6, 2021. PC approved, permit issued 7/6/21				nh
89	Biaggini	1156 Market Ave	5/3/21	CDP21-017	Construct new 576 sf ADU above existing garage, 50 sf storage closet, and 170 sf second story deck.	Under review. Application deemed incomplete, comment letter sent 5-27-21. Resubmittal received June 9, 2021, minor changes required, comment letter sent 6/15/21. Resubmittal received June 16, 2021, deemed complete on June 28, 2021. Preparing for public notice July 2, through July 12, 2021. Project approved, permit issued 7/13/21				nh
90	Guesno	220 Atascadero Road	6/7/21	MIN21-006	Slight change in use for permitted use to add 2 pool tables instead of circulation area and student computer stations	Project deemed complete and public notice is from June 24 through July 5, 2021. Permit issued 7/6/21.				nh

Staff Directory:
Scot Graham - sg Chad Ouimet - co Cindy Jacinth - cj Pam Newman - pn Nancy Hubbard - nh



AGENDA NO: B-1

MEETING DATE: July 20, 2021

Staff Report

TO: Planning Commissioners

DATE: July 14, 2021

FROM: Cindy Jacinth, Senior Planner

SUBJECT: 715 Embarcadero: Conditional Use Permit Major Modification (#MAJ20-004) for conversion of existing commercial fishing wharf to new Harborwalk coastal public access improvements, new 448sf retail space within existing commercial building, new 461sf public outdoor dining, and related building façade improvements.

RECOMMENDATION:

FORWARD A FAVORABLE RECOMMENDATION TO THE CITY COUNCIL TO CONDITIONALLY APPROVE THE PROJECT by adopting a motion including the following action(s):

Adopt Planning Commission Resolution 15-21 which includes the Findings and Conditions of Approval for the project depicted on site development plans received June 8, 2021 (Exhibit E).

APPLICANT/AGENT: Van Buerden, Applicant / Cathy Novak Consulting, Agent

LEGAL DESCRIPTION/APN: City lease sites 80-81 and 80W-81W / 066-322-006

PROJECT SUMMARY:

The Applicant is seeking a Conditional Use Permit Amendment (Major Modification) for 715 Embarcadero Rd to demolish 445 sf of the existing 1,025sf commercial fish processing wharf including removal of 5 existing wood pilings, installation of a new 10' wide Harborwalk coastal public access and additional 10 foot wide fiberglass deck, removal of a 580sf outdoor covered patio and conversion of the area to new Harborwalk, and repair of 3 existing pilings to remain for support of the new Harborwalk, conversion of 448sf retail space from within the existing building



Prepared By: CJ

Department Review: SG

to a second retail space, new 461sf of street-facing public outdoor dining, and related commercial façade improvements. No expansion of the existing building square footage is proposed, nor is any height increase proposed. The project is located in the WF/PD/S4 zoning district and is within the Coastal Commission Original Jurisdiction

PROJECT SETTING:

The location is a city lease site (80/81 and 80W/81W) occupied with a single-story visitor-serving commercial building which is the location of the Dolphin Shirt Company. Along the rear of the building is an existing outdoor patio area with windscreen previously used by the Dutchman restaurant. In addition, at the northwest corner of the building is the existing commercial fishing wharf. No boat slips or docks are located at this lease site. There is also no current bayside lateral access. The Harborwalk was recently redone and expanded by the Rose' Landing development to the north and the project will serve to fill in the current Harborwalk gap that exists between Rose's Landing and the Dutchman's site to the south.



Project site: 715 Embarcadero

Adjacent Zoning/Land Use			
North:	Waterfront (WF/PD, S.4) / Waterfront commercial industrial / Visitor-serving commercial; lodging	South:	Waterfront (WF/PD, S.4) / Waterfront commercial industrial / visitor-serving commercial
East:	Commercial Visitor-Serving(C-VS, PD/S.4), Commercial	West:	Harbor

Site Characteristics	
Overall Site Area	Land: 5,670 sf; Water: 3,150 sf
Existing Use	Retail, fish processing wharf.
Terrain	Land portion previously developed.
Vegetation/Wildlife	Eelgrass patches near work area ranging in size from ¼ square meter to 4 square meters. Eelgrass not directly at construction site. Project conditioned accordingly,
Access	Embarcadero
Archaeological Resources	No known resources.

General Plan, Zoning Ordinance & Local Coastal Plan Designations	
General Plan/Coastal Plan Land Use Designation	Waterfront commercial industrial land use / Visitor-serving commercial uses
Base Zone District	WF, Waterfront Zoning district
Coastal Land Use Plan	Planning Area 6 – Bayfront
Zoning Overlay District	PD, Planned Development overlay (required to also obtain City Council approval of Concept Plan)
Special Treatment Area	S.4
Combining District/Spec. Plan	N/A
Coastal Zone	Coastal Commission original jurisdiction. Applicant required to obtain Coastal Development permit from Coastal Commission prior to issuance of any building permit.

Development Standards – no exceptions requested	
Setbacks	No changes proposed. Building footprint existing
Height	No increase in height proposed
Roof Area Requirement: 80% > 4:12 Pitch	No change to roof pitch proposed
Lot Coverage	No change to lot coverage proposed
Parking Requirements (MBMC 17.44):	Existing interior retail space to be used to create a second 448sf retail space. Removal of fish processing wharf credits 1 parking space plus historic credit of 2 spaces exists which was documented with 1992 CUP approval. Outdoor dining is proposed as public outdoor dining and therefore does not trigger outdoor parking requirements. Project is compliant with parking standards.
View Corridor Requirement	Existing view corridor is not proposed to change. Removal of the covered patio area is expected to improve the view corridor between the two buildings.

PROJECT BACKGROUND:

On September 22, 1992, the Planning Commission approved Conditional Use Permit Precise Plan #CUP07-91. The permit approval included a phased expansion, boardwalk, plaza area, and remodel of the existing restaurant, fish market, retail store, and reduction in size of fish processing use. The conditions of approval (#B-10 and B-12) require that the project come back for conditional use permit review if the fish processing use ceases. The 1992 CUP approval covered both the north and south lease site of what is known as the Dutchman’s development today. Because the proposed project is limited to the northern lease site (80/81 & 80W/81W), the CUP Major Modification approval is for 715 Embarcadero.

Other relevant permit history includes Minor Use Permit #05-07 which was approved on April 7, 1997, for a conversion of the interior fish market space to retail space. Review of past permits showed no previous conditions of approval that would conflict with the proposed project.

PROJECT DESCRIPTION DETAILS:

The Applicant has provided a detailed project description (Exhibit B) which explains the project in detail. The project plans depict the existing and proposed site, and elevations. Project plans show the proposed conversion of the existing fish processing wharf to become part of the Harborwalk and provide a gap connection between the adjoining lease sites. As shown in the image below, the Applicant proposes installing a

10-foot wide Harborwalk with an additional 10-foot-wide fiberglass deck to provide 20 feet in width for public access along the length of the lease site with an additional 6' 5" pop out at the northwest corner as shown on plan sheet A1.3. New 42-inch-high deck railing is proposed as well to match the existing Dutchman's lease site to the south.



PROPOSED FACADE

Proposed elevation changes are located on plan sheets A2.1. Board and batten and cement shingle siding will be used to replace the existing vertical corrugated metal siding as shown on the plan elevation page A2.1. Roofing will be changed to galvanized metal with blue accents and a gray shingle will be used to face architecture extensions of the building that extend above the main roof.

To ensure minimal disruption of public access, staff has added Planning condition 6, limiting public access closure to 45 days, subject to extension by the Community Development Director if deemed appropriate/necessary.



PROPOSED FACADE

Public Access Improvements/ Harborwalk:

The Applicant is proposing installation of a new 10-foot wide Harborwalk access path where none currently exists and an additional 10-foot-wide fiberglass deck for a 20 x 20-foot-wide coastal public access improvement as shown on the proposed site plan (Exhibit E). Because of the elevation difference between the project lease site and the Rose's Landing site to the north, the Harborwalk connection will also provide an ADA compliant connection. Two new coastal public access signs will be added to the southwest corner of the building and north elevation as shown on Plan sheet A1.3.

The applicant is also proposing 461 sf street-facing public outdoor dining split into two areas (313sf and 148sf). This dining area is proposed to be open to the public similar to other waterfront lease site areas. The Waterfront Master Plan encourages outdoor dining, and this proposal would provide a new public outdoor dining amenity for visitors with signs noting for public access and no purchase necessary.

Project Phasing:

The Applicant is also requesting flexibility with phasing of the project construction. Contractor availability for marine construction is seasonally dependent and therefore they are requesting that removal of the wharf, piling and associated repairs be allowed to be constructed and completed as a separate building permit activity. Staff would be in support of this request to avoid public impacts to the Harborwalk and in order to minimize construction impacts during busy tourist season.

Visual Simulations

The Applicant has submitted visual simulations from two viewpoints both bayside (west) and from the street (east) (Exhibit C). This exhibit also depicts the proposed exterior finishes for the public access improvements. The street-side visual simulation does not include placement of the outdoor dining tables which are indicated on the site plan as two separate areas, but the plans do specify the material choice for the proposed tables and chairs on plan sheet 2.1.

Color and Materials

Project plans show the proposed color and materials in Exhibit C. The project proposes to update the color scheme with a light gray board and batten exterior, royal blue accents, galvanized metal roofing, and white windows and trim. The southern building of the Dutchman development will through a separate permit activity also be updated with the same color and materials as reflected in the proposed visual simulations (Exhibit C). The proposed deck railings will match the deck railing to the south. Staff has added Planning condition 7 to ensure the proposed railings are consistent with design guidelines of the Downtown Waterfront Strategic Plan as a cable railing.

A lighting plan is shown on plan sheet A1.4. This plan shows a combination of low-wattage wall sconces, path lighting, and the existing can lighting on site.

Signage

The project proposal does not include a request for a sign program as the scope of work does not trigger the requirement for a master sign program. However, given the Applicant is proposing a second retail space in an existing retail building, staff is recommending that a condition of approval be added (Planning condition 8) to remove non-conforming signage specifically the window signs that currently obscure the entire front building window (refer to street view building picture on page 2 of the staff report). The City's sign ordinance only allows up to 25% of the window surface area to be covered where the Ugg boots sign entirely covers the window. This is consistent with other waterfront businesses where previous project approvals included conditions to address the overabundance of signs and overall cluttered appearance.



ENVIRONMENTAL:

An eelgrass study was performed by Tenera Environmental on February 1, 2019 during the most recent piling repairs. This report found small eelgrass patches as close as three meters from the project site. A small patch of ¼ square meter was found 3 meters to the north, 1/16 square meter patch was located 4 meters to the west, and a third patch of 3 square meters was located two meters to the south. Project conditions have been added along with best management practices (BMP) to ensure the project is consistent with the California Eelgrass Mitigation Policy (CEMP) requirements as well as permitting requirements of the Army Corps of Engineers (ACOE). With implementation of BMPs and project conditions, the project based on size meets the requirement for a categorical exemption under CEQA, Section 15301, Class 1e and 1g for minor alterations to existing structures; and Class 3c for conversion of commercial structures from one use to another where the commercial remodel of this project converting the fish processing use to Harborwalk public access and interior building changes to create a second retail tenant space and removal of pilings and repair of existing pilings to support the new Harborwalk would qualify for an exemption with implementation of best management practices as conditioned by Planning conditions 9-11. To ensure there are no future impacts to eelgrass, a condition of approval has been added to require an updated eelgrass survey per the California Eelgrass Mitigation Policy (CEMP) (Planning condition 12). Additionally, none of the Categorical Exemption exceptions, noted under Section 15300.2, apply to the project.

REGULATIONS:

The lease site is zoned WF/PD/S.4 as a waterfront zone and land use designation. The Planned Development (PD) zone is an overlay zone which applies special standards to

primary zoning districts. The S.4 is a special treatment overlay zone which requires any project to undergo architectural review.

Planned Development Overlay

The proposed project is located in a Planned Development overlay district. Section 17.40.030 of the Municipal Code requires both a Concept and Precise plan for projects on publicly owned land. Typically, the Planned Development overlay requires that a Concept Plan approval by Planning Commission and City Council be obtained first, followed by a Precise Plan approval. Due to the small scale of the proposed project, staff has brought forward the application request as a major modification to the 1992 Precise Plan approval. The major modification will require approval by the City Council due to the new Harborwalk public access which has not previously been reviewed by City Council. Should the Planning Commission vote to approve the project, the requested action would be to forward a favorable recommendation for approval to the City Council. Should the Planning Commission move to approve the project by forwarding a favorable recommendation to the City Council, there would be no further Planning Commission public hearings on the CUP request, barring any major changes to the project design by the coastal development permit process.

Upon City Council approval, the applicant would be required to apply to the California Coastal Commission (CCC) for a Coastal Development Permit (CDP). Once they receive entitlements from the CCC, the Applicant would then apply for a building permit approval with staff responsible for compliance review of all City conditions of approval. This includes coordination with CCC staff on related CDP conditions.

Waterfront Master Plan

The proposal is within the Waterfront Master Plan and is within Planning Area 3: Embarcadero Visitor Area. This area encompasses the Embarcadero from Beach Street to South Street between the bluff and the waterfront. This portion of the Embarcadero contains the majority of the shopping and eating establishments as well as the most intense mix of pedestrian and vehicle activity. The Waterfront Master Plan includes guidance for development of Area 3, including, in part, lateral access along the bay front of commercial buildings that connect to lateral access components of adjacent buildings. The proposed project addresses this by installing new Harborwalk access where none currently exists.

PUBLIC NOTICE:

Notice of a public hearing on this item was posted at the site and published in the Tribune newspaper on July 9, 2021 and mailed directly to all property owners and occupants of record within 500 feet of the subject site. The notices invited the public to attend the hearing and express any concerns they may have regarding the proposed

project.

CONCLUSION:

The proposed project would provide an important gap connection to the City's Harborwalk system of bayside lateral access. In addition, the proposed public outdoor dining and proposed retail space building improvements to an existing visitor-serving commercial use on the Embarcadero contributes to an increase in coastal access consistent with City Local Coastal Program policies and Chapter 3 of the Coastal Act. The site currently has no lateral access and upon project completion will provide a connection point to the neighboring lease sites.

Furthermore, the project is consistent with the Downtown Waterfront Strategic Plan for outdoor dining, exterior lighting, and public access. The project provides enhanced public access in excess of the minimum 10 foot required width which meets City goals in the Waterfront Master Plan and exceeds the minimum requirements for bayside lateral access by providing an additional 10 feet wide access deck to add to the ambiance of the waterfront area. It is consistent with the City's 2021 General Plan adopted by City Council on May 25, 2021, and the City's currently certified Coastal Land Use Plan (LCP). With the incorporation of recommended conditions, staff recommends that Planning Commission forward a favorable recommendation of this CUP Major Modification to City Council for approval as a combined Concept/Precise Plan.

EXHIBITS:

- Exhibit A – Planning Commission Resolution 15-21
- Exhibit B – Applicant's Project Description
- Exhibit C – Visual Simulation
- Exhibit D – Conditional Use Permit #CUP07-91
- Exhibit E – Plans/ Reductions received June 8, 2021
- Exhibit F – Powerpoint presentation

EXHIBIT A

RESOLUTION NO. PC 15-21

A RESOLUTION OF THE MORRO BAY PLANNING COMMISSION FORWARDING A FAVORABLE RECOMMENDATION TO THE MORRO BAY CITY COUNCIL FOR CONCEPT / PRECISE PLAN APPROVAL OF CONDITIONAL USE PERMIT MAJOR MODIFICATION (MAJ20-004) FOR CONVERSION OF EXISTING COMMERCIAL FISHING WHARF, INSTALLATION OF NEW HARBORWALK COASTAL PUBLIC ACCESS IMPROVEMENTS, REMOVAL AND REPAIR OF PILINGS TO SUPPORT THE NEW HARBORWALK, CONVERSION OF 448SF RETAIL SPACE FROM WITHIN EXISTING SINGLE-STORY COMMERCIAL BUILDING TO A SECOND RETAIL SPACE, NEW 461SF OF PUBLIC OUTDOOR DINING, AND RELATED BUILDING FAÇADE IMPROVEMENTS
AT 715 EMBARCADERO

WHEREAS, the Planning Commission of the City of Morro Bay (the “City”) conducted a public hearing via video conference on July 20, 2021 for the purpose of considering approval of Conditional Use Permit Major Modification #MAJ20-004 (“Project”); and

WHEREAS, pursuant to the Governor's Executive Order N-29-20 issued on March 17, 2020 in response to the present State of Emergency in existence due to the threat of COVID-19, the City of Morro Bay Planning Commission is authorized to hold public meetings via teleconferencing and all requirements in the Brown Act expressly or impliedly requiring the physical presence of members, the clerk or other personnel of the body, or of the public as a condition of participation in or quorum for a public meeting are hereby waived; and

WHEREAS, notices of said public hearing were made at the time and in the manner required by law; and

WHEREAS, the Planning Commission has duly considered all evidence, including the testimony of the applicant, interested parties, and the evaluation and recommendations by staff, presented at said hearing.

NOW, THEREFORE, BE IT RESOLVED by the Planning Commission of the City of Morro Bay as follows:

Section 1: Findings. Based upon all the evidence, the Commission makes the following findings:

California Environmental Quality Act (CEQA)

A. That for purposes of the California Environmental Quality Act, Case No. MAJ20-004 is exempt under Section 15301 and 15303, Class 1e and 1g for minor alterations to existing structures; and Class 3c for conversion of commercial structures from one use to another where the commercial remodel of this project converting the fish processing wharf and removal to allow for installation of new Harborwalk coastal public access where none currently exists, interior building changes to create a

EXHIBIT A

second 448sf retail space, removal of pilings and repair of existing pilings to support the new Harborwalk would qualify for an exemption with implementation of best management practices as evaluated in the February 1, 2019 eelgrass report prepared by Tenera Environmental and conditioned by Planning conditions 7-9. To ensure there are no future impacts to eelgrass, a condition of approval has been added to require an updated eelgrass survey prior to construction of the dock and gangway replacement per the California Eelgrass Mitigation Policy (CEMP) (Planning condition 10). Additionally, none of the Categorical Exemption exceptions, noted under Section 15300.2, apply to the project.

Conditional Use Permit Findings

- A. The project will not be detrimental to the health, safety, morals, comfort and general welfare of the persons residing or working in the neighborhood in that the conversion of commercial fish processing wharf to Harborwalk coastal public access improvements where none currently exists, removal of pilings and repair of existing pilings to support the new Harborwalk, new 448sf retail space to be located within existing single-story commercial visitor-serving building, new 461sf of public dining area to be located street-facing, and building façade improvements at 715 Embarcadero are permitted uses within the zoning district and said structures comply with all applicable project conditions and City regulations and is consistent with the City's Local Coastal Program.
- B. The project will not be injurious or detrimental to property and improvements in the neighborhood and the general welfare of the City in that the proposed new 10 foot wide and additional 10 foot wide public bayside deck public access improvements, new 448sf retail space, new 461sf public outdoor dining and updated public coastal access signage, will provide public coastal access and new amenities to a visitor-serving commercial use and is consistent with the character of the existing development.

Waterfront Master Plan Findings

- A. The proposed project makes a positive contribution to the visual and public accessibility to the bay while increasing and maintaining commercial fishing industry:
 - a. The proposed project provides the amenities identified in the WF Plan, facilitates pedestrian visual and physical access to the waterfront, in that new Harborwalk bayside lateral access is created where none currently exists providing a significant improvement by connecting the neighboring lease site to allow for easier pedestrian access, enjoyment, and better bay views.
 - b. The design recognizes the pedestrian orientation of the Embarcadero and provides an interesting and enhanced pedestrian experience in that the project will provide new lateral public access to the water while assisting in the Harborwalk plan to continue public access along the waterfront via bayside lateral access. In addition the project recognizes the pedestrian

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- orientation by providing a gap connection linking the lease sites to the north and south. The project is consistent with the character of the existing development.
- c. The project gives its occupants and the public some variety in materials and/or application in that the proposed color and materials are consistent with the character of the building and coastal access signage will be updated to be consistent with other Embarcadero projects in order to have consistent public access signage in order to promote public awareness of coastal bayside access.
 - d. The project contains the elements of harmony, continuity, proportion, simplicity, and balance, and its appearance matches its function and the uses proposed in that the new harborwalk public lateral access will be accessible to the public and that is consistent with the character of the existing development.
 - e. The proposed project does not diminish, either directly or by cumulative impact of several similar projects, the use, enjoyment, or attractiveness of adjacent buildings and provides a visual and pedestrian transition connection point to its immediate neighbors to the north and south.

Architectural Consideration

- A. As required by Ordinance Section 17.48.200 the Planning Commission finds that the architectural treatment and general appearance of all proposed structures and open areas are in keeping with the character of the surrounding areas, are compatible with any design themes adopted by the city, and are not detrimental to the orderly and harmonious development; of the city or to the desirability of investment of occupation in the area.

Precise Plan Finding

- A. As required by Ordinance Section 17.40.030.G, the Planning Commission finds that the project is developed sufficiently to approve the project as a combined concept/precise plan major modification approval of the conditional use permit.

Downtown Waterfront Specific Plan (DWSP) Finding

- A. The project is consistent with the Waterfront Design Guidelines for the DWSP in that the proposed project includes outdoor dining, exterior lighting, and coastal access signage oriented toward pedestrians which is encouraged. The project also includes project exterior light consistent with the architectural style of the building as well as public street-facing outdoor dining and a new proposed 10 foot wide Harborwalk bayside lateral access with an additional 10 foot width of public bayside decking.

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Section 2. Action. The Planning Commission does hereby forward a favorable recommendation to the City Council to approve Conditional Use Permit #MAJ20-004 as a combined Concept/Precise Plan approval subject to the following conditions:

STANDARD CONDITIONS

1. This permit is granted for the land described in the staff report dated July 15, 2021, for the project at 715 Embarcadero depicted on plans received June 8, 2021, on file with the Community Development Department, as modified by these conditions of approval, and more specifically described as follows: Site development, including all buildings and other features, shall be located and designed substantially as shown on Planning Commission approved plans submitted for MAJ20-004, unless otherwise specified herein.
2. Inaugurate Within Two Years: Unless the construction or operation of the structure, facility, or use is commenced not later than two (2) years after the effective date of this Resolution and is diligently pursued, thereafter, this approval will automatically become null and void; provided, however, that upon the written request of the applicant, prior to the expiration of this approval, the applicant may request up to two extensions for not more than one (1) additional year each. Any extension may be granted by the City's Community Development Director (the "Director"), upon finding the project complies with all applicable provisions of the Morro Bay Municipal Code (the "MBMC"), General Plan and certified Local Coastal Program Land Use Plan (LCP) in effect at the time of the extension request.
3. Changes: Minor changes to the project description and/or conditions of approval shall be subject to review and approval by the Community Development Director. Any changes to this approved permit determined, by the Director, not to be minor shall require the filing of an application for a permit amendment subject to Planning Commission review.
4. Compliance with the Law: (a) All requirements of any law, ordinance or regulation of the State of California, the City, and any other governmental entity shall be complied with in the exercise of this approval, (b) This project shall meet all applicable requirements under the MBMC, and shall be consistent with all programs and policies contained in the LCP and General Plan for the City.
5. Hold Harmless: The applicant, as a condition of approval, hereby agrees to defend, indemnify, and hold harmless the City, its agents, officers, and employees, from any claim, action, or proceeding against the City as a result of the action or inaction by the City, or from any claim to attack, set aside, void, or annul this approval by the City of the applicant's project; or applicants failure to comply with conditions of approval. Applicant understands and acknowledges the City is under no obligation to defend any legal actions challenging the City's

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actions with respect to the project. This condition and agreement shall be binding on all successors and assigns.

6. Compliance with Conditions: The applicant's establishment of the use or development of the subject property constitutes acknowledgement and acceptance of all Conditions of Approval. Compliance with and execution of all conditions listed hereon shall be required prior to obtaining final building inspection clearance. Deviation from this requirement shall be permitted only by written consent of the Director or as authorized by the Planning Commission. Failure to comply with any of these conditions shall render this entitlement, at the discretion of the Director, null and void. Continuation of the use without a valid entitlement will constitute a violation of the MBMC and is a misdemeanor.
7. Compliance with Morro Bay Standards: This project shall meet all applicable requirements under the MBMC and shall be consistent with all programs and policies contained in the LCP and General Plan of the City.

Building Conditions:

THE FOLLOWING CONDITIONS AND SELECTED CODE REQUIREMENTS SHALL BE MET PRIOR TO ISSUANCE OF A BUILDING PERMIT.

A. CONDITIONS PRIOR TO THE ISSUANCE OF A BUILDING PERMIT:

1. Building permit plans shall be submitted by a California licensed architect or engineer when required by the Business & Professions Code, except when otherwise approved by the Chief Building Official.
2. The owner shall designate on the building permit application a registered design professional who shall act as the Registered Design Professional in Responsible Charge. The Registered Design Professional in Responsible Charge shall be responsible for reviewing and coordinating submittal documents prepared by others including phased and staggered submittal items, for compatibility with design of the building.
3. The owner shall comply with the City's Structural Observation Program. The owner shall employ the engineer or architect responsible for the structural design, or another engineer or architect designated by the engineer of record or architect responsible for the structural design, to perform structural observation as defined in Section 220. Observed deficiencies shall be reported in writing to the owner's representative, special inspector, contractor and the building official. The structural observer shall submit to the building official a written statement that the site visits have been made and identify any reported deficiencies that, to the best of the structural observer's knowledge, have not been resolved.

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4. The owner shall comply with the City Special Inspection Program. Special inspections will be required by Section 1704 of the California Building Code. All Special Inspectors shall first be approved by the Building Official to work in the jurisdiction. All field reports shall be provided to the City Building Inspector when requested at specified increments for the construction to proceed. All final reports from Special Inspectors shall be provided to the Building Official when they are complete and prior to final inspection.
5. A soils investigation performed by a qualified professional shall be required for this project. All cut and fill slopes shall be provided with subsurface drainage as necessary for stability; details shall be provided. Alternatively, submit a completed City of Morro Bay soils report waiver request.
6. Mitigation measures for natural occurring asbestos require approval from San Luis Obispo County Air Pollution Control District.
7. BUILDING PERMIT APPLICATION: To apply for building permits, submit three (3) sets of construction plans, fire sprinkler plans, if applicable, and supplemental documents to the Building Division.
8. The Title sheet of the plans shall include, but not limited to:
 - Street address, lot, block, track and Assessor Parcel Number
 - Occupancy Classification(s)
 - Construction Type
 - Maximum height of the building allowed and proposed
 - Floor area of the building(s)
 - Fire sprinklers proposed or existing
 - Minimum building setback allowed and proposed
9. All construction will conform to the 2019 California Building Code (CBC), 2019 California Residential Code (CRC), 2019 California Fire Code (IFC), 2019 California Mechanical Code (CMC), 2019 California Plumbing Code (CPC), 2019 California Electrical Code (CEC), 2019 California Energy Code, 2019 California Green Building Code (CGBC), Title 14 and 17 of the Morro Bay Municipal Code.

(Code adoption dates are subject to change. The code adoption year is established by application date of plans submitted to the Building Division for plan review.)

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B. CONDITIONS TO BE MET DURING CONSTRUCTION:

10. **SITE MAINTENANCE:** During construction, the site shall be maintained to not infringe on neighboring property, such as debris and dust. A storm water management plan shall be maintained through the duration of the project. The storm water management measures such as fiber rolls, silt fencing, etc. will be enforced by City staff by random site visits.
11. **ARCHAEOLOGICAL MATERIALS:** In the event unforeseen archaeological resources are unearthed during any construction activities, all grading and or excavation shall cease in the immediate area and the find left untouched. The Building Official shall be notified so that the extent and location of discovered materials may be recorded by a qualified archaeologist, Native American, or paleontologist, whichever is appropriate. The qualified professional shall evaluate the find and make reservations related to the preservation or disposition of artifacts in accordance with applicable laws and ordinances. If discovered archaeological resources are found to include human remains, or in any other case when human remains are discovered during construction, the Building Official shall notify to county coroner. If human remains are found to be of ancient age and of archaeological and spiritual significance, the Building Official shall notify the Native American Heritage Commission. The developer shall be liable for costs associated with the professional investigation.
12. **FOUNDATION SETBACK VERIFICATION:** Prior to the placement of concrete and upon completed form installation, a licensed surveyor is required to measure and record the distance from the proposed foundation walls to the established lot lines. The contractor shall submit these findings in letter format to the building inspector upon the request for a foundation inspection. Letter shall specify the findings of front, sides and rear yard setbacks as defined in Title 17 of the MBMC. The Building Official shall have discretion on a case by case basis for some lot types.
13. **BUILDING HEIGHT VERIFICATION:** Prior to roof sheathing or shear wall inspection, a licensed surveyor is required to measure and record the height of the structure. The contractor shall submit this finding in letter format to the building inspector upon the request for roof sheathing/shear wall inspection. Letter shall specify the recorded height of structure as defined in Title 17 of the MBMC. The Building Official shall have discretion on a case by case basis for some site-specific projects.
14. **EXISTING BUILDINGS:** Where windows are required to provide emergency escape and rescue openings, replacement windows shall comply with the

EXHIBIT A

maximum sill height requirements of section R310.2.2 and the minimum opening area requirements of section R310.2.1 of the 2019 California Residential Code.

C. CONDITIONS TO BE MET PRIOR TO FINAL INSPECTION AND ISSUANCE OF THE CERTIFICATE OF OCCUPANCY:

15. Prior to building division final approval and request for final inspection, all required inspections from the other various divisions and departments must be completed and verified by a city inspector. All required final inspection approvals must be obtained from the various departments and documented on the permit card. This permit card shall then be turned into the building division for scheduling of the final building inspection.
16. Any as-built drawings that were required by the building inspector or plans examiner must be submitted for approval prior to the request for final inspection.
17. If structural observations were required, the final structural observation report shall be submitted to the building division prior to issuance of the certificate of occupancy or final inspection approval.
18. If special inspections were required, the final special inspection report shall be submitted to the building division prior to the issuance of the certificate of occupancy or final inspection approval.
19. Final soils summary report from the geotechnical representative indicating compliance with the required conditions set forth in the soils report.
20. Final T-24 energy reports (Certificates of Installation)

Fire Conditions:

1. Fire Safety during Construction and Demolition shall be in accordance with 2019 California Fire Code, Chapter 33. This chapter prescribes minimum safeguards for construction, alteration and demolition operations to provide reasonable safety to life and property from fire during such operations.
2. Fire Protection for Wharves, docks, marinas, boat moorings. Firefighting appliances and equipment shall be provided and maintained in an operable manner for all commercially operated marinas and dock facilities, as specified by ordinances of the city, and all installations shall be subject to the approval of the fire marshal of the Fire Department.

Public Works Conditions:

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1. Construction laydown: Show construction laydown, all staging areas, point of haul-in/out and all construction corridors to and from the construction site.
2. Pedestrian Access: Show limits of construction fencing and how pedestrian access will be accommodated/re-routed throughout the project duration.
3. Erosion Control: Show location of silt screens and/or straw waddle needed to prevent demolition debris and sediments.
4. Add the following Notes to the Plans:

Any damage, as a result of construction operations for this project, to City facilities, i.e. curb/berm, street, sewer line, water line, or any public improvements shall be repaired at no cost to the City of Morro Bay.

No work shall occur within (or use of) the City's Right of Way without an encroachment permit. Encroachment permit application and requirements are available on the City's website at the following location: <https://www.morro-bay.ca.us/197/Public-Works>.

Planning Conditions:

1. A Coastal Development Permit shall be submitted to the Community Development Department prior to issuance of a building permit.
2. Prior to issuance of a building permit, the Applicant shall either acquire all required regulatory permits and authorizations (i.e. U.S. Army Corps of Engineers, Regional Water Quality Control Board, California Department of Fish and Game), or submit documentation that such permits are not required.
3. Conditions of Approval on Building Plans: Prior to the issuance of a Building Permit, the final Conditions of Approval for both the Conditional Use Permit and the Coastal Development Permit shall be attached to the set of approved plans. The sheet containing Conditions of Approval shall be the same size as other plan sheets and shall be the last sheet in the set of Building Plans.
4. Inspection: The applicant shall comply with all City conditions of approval and conditions imposed by the California Coastal Commission and obtain final inspection clearance from the Planning Division at the necessary time in order to ensure all conditions have been met.
5. The public access closure shall be limited to no more than 45 days. Any extension of public access closure beyond 45 days shall be subject to review and approval by the Community Development Director.

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6. The Harborwalk railing shall be a cable railing design to match with the lease site to the north and consistent with the design guidelines of the Downtown Waterfront Strategic Plan subject to the satisfaction of the Community Development Director.
7. Non-conforming signs, including window signs as discussed in the July 14, 2021 staff report shall be removed or otherwise conform to the Sign Ordinance (MBMC 17.68).
8. A project-specific Oil Spill Response and Recovery Plan that includes specifics on reporting and response procedures, available on-site equipment and contracted services, and responsibilities shall be completed and approved prior to the initiation of construction activities. Specifically, the project shall include the following Best Management Practices (BMPs) and shall be included on building plans submitted for approval:
 - a. No refueling of equipment without adequate containment and spill response equipment. The barge shall have only double contained fuel storage below decks, with the spill containment and clean up kits on-site and easily accessible. Spill containment and clean up kits shall include the following:
 - b. 150 feet Absorbent Boom 200 square feet Absorbent Tarp (for use during pile driving / removal operations where applicable)
 - c. Barrel Absorbent Pads
 - d. Container Absorbent Granules
 - e. Rainwater runoff pollution from equipment stored on deck shall be prevented through ongoing equipment maintenance and appropriate double containment.
 - f. The work area shall be contained within a boom to prevent debris from falling into the water.
 - g. All equipment fueling shall take place on the barge, with containment in-place. No refueling between vessels shall occur.
 - h. An Absorption Tarp shall be placed underneath any portable equipment while in use.
 - i. No equipment shall be permitted to enter the water with any petroleum products.
 - j. All equipment used during pile removal and repair operations shall be in good condition without fuel or oil leakage.
 - k. Should any equipment begin to leak, that equipment shall be removed immediately from the barge and repaired or replaced.
 - l. All vessels shall have portable, regularly serviced sanitation equipment. No overboard discharge is permitted.
9. Netting or fencing around and underneath the project site shall be installed as applicable to catch and remove debris released during and after construction.

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10. To reduce potential turbidity-associated impacts, silt screens should be used when and where they will be effective. The relatively high tidal currents within Morro Bay could reduce the effectiveness of silt screens and should be considered prior to placing of these screens.
11. Eelgrass – Applicant shall be subject to the California Eelgrass Mitigation Policy (CEMP) which requires that a pre-construction survey shall be completed within 30-60 days prior to issuance of a building permit unless otherwise waived under the Army Corps permitting requirements or deemed not required by the Army Corps. A Post-construction survey, if required by the CEMP, shall be completed within 30 days of construction completion or as otherwise determined by the National Marine Fisheries Service (NMFS) in order to determine amount of impact if any and CEMP-required annual reporting and mitigations. Any change in eelgrass extent shall be documented and reported to the Community Development Director. If the report identifies a reduction in eelgrass coverage then a plan shall be prepared to identify the appropriate mitigations necessary and in line with the specifications for mitigation of eelgrass habitat as provided for in the California Eelgrass Mitigation Policy, dated October 2014.
12. Harborwalk Bayside Lateral Public Accessway. The bayside lateral access, also known as the Harborwalk, shall maintain a 10-foot-wide coastal access with open unobstructed access at all times with no tables or dining encroachments in order to maximize public access. Any uses that obstruct the lateral access such as private uses or barriers including furniture, planters, ropes, or seating not otherwise approved within the 10-foot bayside lateral access shall be prohibited.

PASSED AND ADOPTED by the Morro Bay Planning Commission at a regular meeting thereof held on this 20th day of July, 2021 on the following vote:

AYES:
NOES:
ABSENT:
ABSTAIN:

Susan Stewart, Chairperson

ATTEST

Scot Graham, Planning Secretary

The foregoing resolution was passed and adopted this 20th day of July 2021.

Project Description for 715 Embarcadero Road
June 2021

Setting & Project Description

The project site is located at 715 Embarcadero Road, lease sites #80-81 & 80W-81W, Morro Bay. The property is located on the western side of Embarcadero Road and adjacent to Rose's Landing on the north and the Dutchman Seafood House and City street end (corner of Pacific and Embarcadero). It is zoned WF/H (PD/S.4). The site currently has a one story building and no bayside lateral access. The lease sites are Land = Approx. 5,670 sq. ft.; Water = Approx. 3,150 sq. ft.

The project area encompasses a single story building that has a retail shop (Embarcadero side), fish processing (west side) and an approximate 580 sq. ft. covered, wood decked, outdoor patio area with a windscreen and 2' wide "catwalk" on the south western side. The mid-section of the project area is approximately 3' by 20' wide with access for employee only. On the western side of the lease, there is an existing approximately 1,025 sq. ft. wood wharf that has been utilized for commercial fish unloading operation.

The proposed project includes the removal of the patio covering, "catwalk", and windscreen and will transform this area to the Harborwalk while retaining the existing wood deck. The mid-section area will be modified with a new 10' wide composite or wood deck and a 10' wide fiberglass deck which will provide a new Harborwalk area approximately 20' by 20'.

The existing wharf pilings, support beams and bracing are in need of repair. The proposed project would remove the western 445 sq. ft. of wharf (approximately 1/2), 4 piles, sleeve or epoxy jacket 3 existing piles and repair any sections of the remaining wood wharf deck. The repaired 445 sq. ft. wharf would then become a part of a new Harborwalk.

In addition, there is a small section of wharf that extends beyond the lease line to the north and that section will be removed so it will be within the lease site boundaries. At the wharfs end, there is a concrete ADA path leading to the Rose's lease site and Harborwalk. This proposed project will complete a critical Harborwalk connection from the north and continuing through to the south.

The interior of the existing fish market and retail space will be configured with a new retail space approximately 448 sq. ft. on the southwestern side and the balance becoming retail space on the northern side. The old roll up door will be converted to a 36" door for second access from the new retail space.

Last, the building siding is also in need of repair so it is proposed to install a cement board siding with a vertical Board and Batten, change the roofing to a galvanized metal roofing done with a royal blue accent with a light gray vertical siding, medium gray shingles and white windows and trim. This part of the project is considered repair and maintenance however a color board has been provided to show the new color scheme.

Project Phasing:

The applicant would like to reserve the ability to phase the construction of the project if necessary. Specifically the removal of the portion of the wharf, pile and associated repair work. It may become beneficial to do this portion of the work first and at an earlier timeframe than the balance of the project due to construction start and end times to avoid significant disruption of the Harborwalk and other construction activities during the prime visitor serving season. The

Exhibit B

applicant is requesting that the City allow for this portion of the project to move forward with the issuance of a separate building permit and final occupancy prior to the commencement of the remainder of the project.

Eelgrass:

As indicated in the Eelgrass Survey report by Tenera report, February 1, 2019, for the new pile work done May 2019, the eelgrass patches found at the site are described as follows: The closest eelgrass to the north (upcoast) from where the new pile needs to be installed was a small patch (1/4 square meter, 0.25 m²); it was approximately 3 meters to the north. Another small patch (1/16 square meter, 0.0625 m²) was present 4 meters to the west (offshore). Two meters to the south (downcoast) was a 3 square meter patch (3 m²)... The sand flat immediately offshore of the revetment was populated with other widely scattered patches of eelgrass ranging from 1/16 square meter (0.0625 m²) to approximately 4 square meters (4 m²) in cover; the eelgrass was not a solid continuous bed of eelgrass immediately offshore of the revetment and restaurant.

In conclusion it is proposed that the project include the following to address the eelgrass:

1. A pre-construction survey will be performed prior to construction in accordance with the CEMP, if necessary and required by ACOE.
2. The findings will further determine the nature of eelgrass in the project area and whether eelgrass could be affected by the new decking, demolition of the existing wharf area and pile sleeving.
3. If the eelgrass is present, measures such as deployment of the buoys, if feasible, prior to construction to delineate the eelgrass patches may be proposed to avoid the patches.
4. If the eelgrass is present in the area where the work is proposed, at least one post-construction survey will be done if required by Army Corps of Engineers permit.

Project construction work and timing:

The project will require the temporary closure of the Harborwalk area during certain construction times. An unobtrusive fence or equivalent measure will delineate the construction areas. Since there is no alternative route for the public pedestrian access along the water side during construction, the public will only be allowed to walk up to the construction fence and then will need to exit via the same path they walked in. Appropriate signage informing the public that the access way is temporary closed for construction will be placed at the northern, southern and eastern entry points.

Project construction method: The project as proposed will utilize a spud barge or mobile barge as the platform for the wharf demolition and pile sleeving work. A vibratory hammer will be used for the pile installation to minimize underwater noise impacts to the greatest extent feasible.

Project construction documents and coordinator: A copy of the construction documents will be maintained in a conspicuous place on the job site at all times and available for public review on request.

Should any questions arise during construction, an address and phone number (available 24 hours a day) will be posted at the job site so that the contact information is readily visible from a public area. The construction coordinator shall record the name, phone number, and nature of all complaints received regarding the construction, and shall investigate complaints and take remedial action, if necessary, within 24 hours of receipt of the complaint or inquiry.

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Project construction BMP's: The project as proposed includes the following safeguards, mitigation measures, actions, and procedures for the protection of the marine environment:

1. **Material Containment:** Particular care shall be exercised to prevent foreign materials (e.g. construction scraps, wood preservatives, other chemicals, etc.) from entering harbor or other state waters. Where additional wood preservatives must be applied to cut-wood surfaces, the materials, whenever feasible, shall be treated at an onshore location to preclude the possibility of spills into harbor or other state waters. A containment boom shall be placed around all active portions of a construction site where wood scraps or other floatable debris could enter the water. Also, for any work on or beneath fixed decks, heavy-duty mesh containment netting shall be maintained below all work areas where construction discards or other materials could fall into the water. The containment boom and net shall be cleared daily or as often as necessary to prevent accumulation of debris. Contractors shall insure that work crews are carefully briefed on the importance of observing the appropriate precautions and reporting any accidental spills. Construction contracts shall contain appropriate penalty provisions, sufficient to offset the cost of retrieving or cleaning up improperly contained foreign materials.
2. **Construction Plan:** All erosion control/water quality best management practices to be implemented during construction and their location shall be noted on the plan. Silt fences, or equivalent apparatus, shall be installed at the perimeter of the construction site to prevent construction-related runoff and/or sediment from entering into the Pacific Ocean to the maximum extent feasible. The Construction Plan shall, at a minimum, include the following required criteria specified via written notes on the Plan:
 - a. All work shall take place during daylight hours. Lighting of the beach and water area is prohibited.
 - b. All construction materials and equipment placed on the land during daylight construction hours shall be stored beyond the reach of tidal waters. The only exceptions shall be for: (1) erosion and sediment controls (e.g., a silt fence at the base of the piles) as necessary to contain runoff and/or sediments at the construction site, where such controls are placed as close to work area as possible, and minimized in their extent; and (2) storage of larger materials beyond the reach of tidal waters for which moving the materials each day would be extremely difficult.
 - c. Construction (including but not limited to construction activities, and materials and/or equipment storage) is prohibited outside of the defined construction, staging, and storage areas.
 - d. Equipment washing, refueling, and/or servicing shall not take place on the beach or pier.
 - e. All materials shall be properly stored and contained so that these products will not spill or otherwise enter the coastal environment.
 - f. Equipment washing, refueling, and/or servicing shall not take place over the water.
 - g. The construction site shall maintain good construction site housekeeping controls and procedures (e.g., clean up all leaks, drips, and other spills immediately; keep materials covered and out of the rain (including covering exposed piles of soil and wastes); dispose of all wastes properly, place trash receptacles on site for that purpose, and cover open trash receptacles during wet weather; remove all construction debris from the beach).
 - h. The Coastal Commission's Central Coast District Office shall be notified at least 3 working days in advance of commencement of construction, and immediately upon completion of construction.

Exhibit B

3. Contractors shall insure that work crews are carefully briefed on the importance of observing the appropriate precautions and reporting any accidental spills.

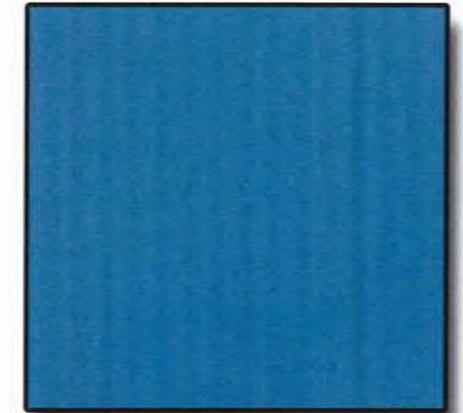
Construction contracts shall contain appropriate penalty provisions, sufficient to offset the cost of retrieving or cleaning up improperly contained foreign materials.

4. All construction shall be undertaken in accordance with the approved Construction Plan. Any proposed changes to the approved Construction Plan shall be reported to the Coastal Commission Executive Director. No changes to the approved Construction Plan shall occur without a coastal development permit or waiver unless the Executive Director determines that no coastal development permit or waiver is necessary.

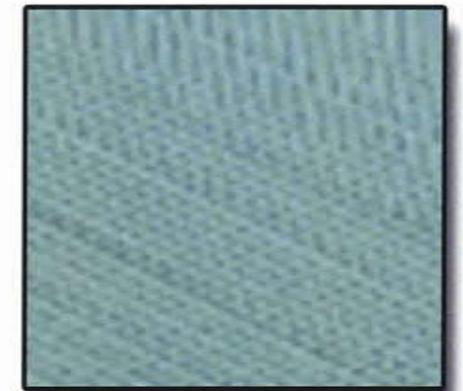
Project pile driving and wildlife: The project pile driving activities shall be monitored by a qualified monitor that has sufficient experience and qualifications of the U.S. Fish and Wildlife Service and National Marine Fisheries Service to ensure that impacts to marine mammals are avoided. The approved biological monitor shall be present onsite during piling sleeving construction (activity that requires monitoring with the exception of the epoxy jacket system), will keep a constant watch, and shall have the authority to stop the piling construction if any individuals of southern sea otter are seen within 100 feet of the project area and considered distressed.



PROPOSED FACADE



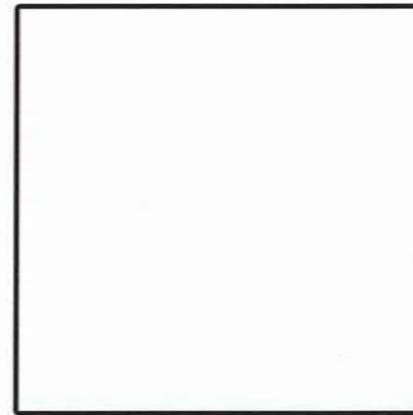
ROYAL BLUE ACCENTS



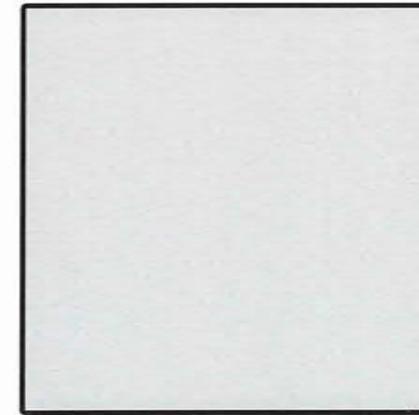
GALV. METAL ROOFING



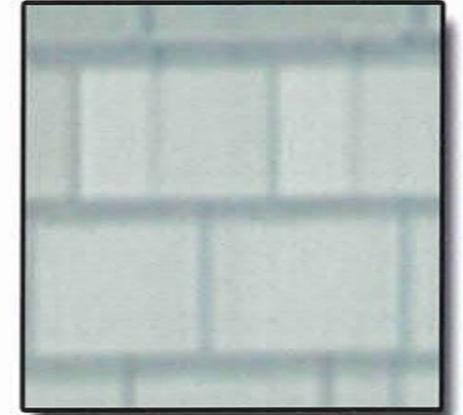
EXISTING FACADE



WHITE WINDOWS & TRIM



LT. GRAY BOARD & BAT.



MED. GRAY SHINGLES

DUTCHMAN HARBORWALK MODIFICATIONS & FACADE UPDATE

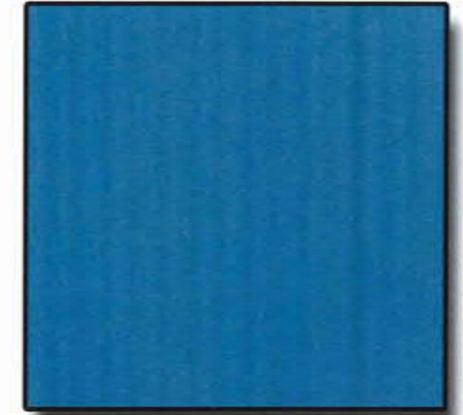
701 EMBARCADERO - MORRO BAY, CALIFORNIA



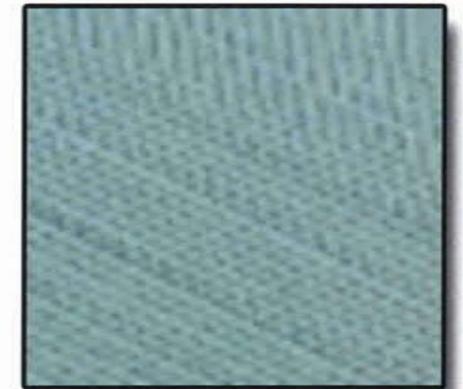
PROPOSED FACADE



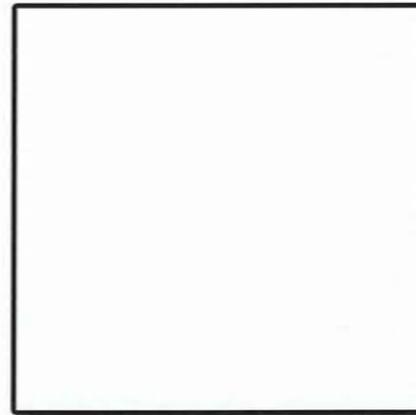
EXISTING FACADE



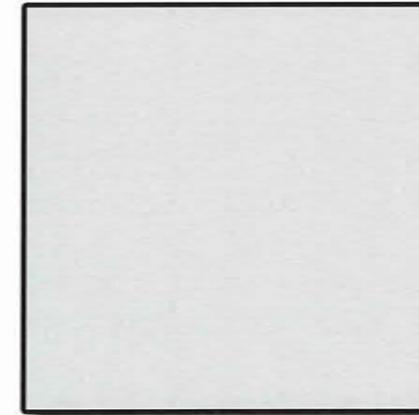
ROYAL BLUE ACCENTS



GALV. METAL ROOFING



WHITE WINDOWS & TRIM



LT. GRAY BOARD & BAT.



MED. GRAY SHINGLES

DUTCHMAN HARBORWALK MODIFICATIONS & FACADE UPDATE

701 EMBARCADERO - MORRO BAY, CALIFORNIA

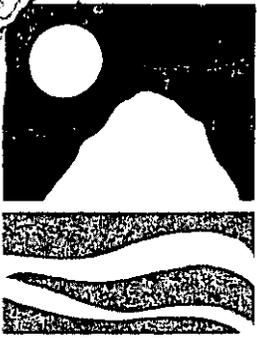


Exhibit D
City of Morro Bay

595 Harbor St. • Morro Bay, CA 93442-1900 • 805-772-1214

File

September 22, 1992

Leon VanBurden
Flying Dutchman Enterprises
701 Embarcadero
Morro Bay CA 93442

RE: Case No. CUP 07-91 Precise Plan

Dear Mr. VanBurden:

At its regular meeting on September 22, 1992 the Planning Commission reviewed and approved your Conditional Use Permit Precise Plan for a phased expansion of an existing commercial property located at 701-715 Embarcadero, with conditions.

This action does not constitute a building permit. Any further processing of this project must be initiated by the applicant, subject to the applicable rules and regulations of the Morro Bay Municipal Code. Please be advised that you must return the Acceptance of Conditions form, signed, to this department within thirty (30) days of this approval or the action is null and void (see condition number 7, attached).

The Morro Bay Municipal Code provides for an appeal of the action by the Planning Commission within ten (10) days of adoption and anyone wishing to appeal may do so in writing by delivering such letter to the office of the City Clerk. There is no processing fee for appeals.

Sincerely,

Donald J. Funk, Director
Community Development Department

Enclosures: Permit and conditions

cc: Marshall Ochylski, 54 Higuera, SLO CA 93401

CITY HALL
595 Harbor Street

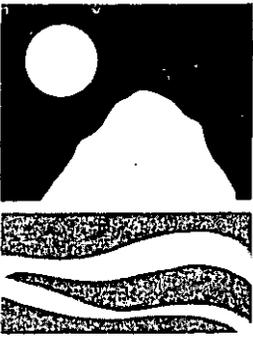
FIRE DEPARTMENT
715 Harbor Street

PUBLIC WORKS
695 Harbor Street

HARBOR DEPARTMENT
1275 Embarcadero

POLICE DEPARTMENT
850 Morro Bay Blvd.
PC_2021-07-20 Page 42 of 85

RECREATION AND PARKS
1001 Kennedy Way



City of Morro Bay

Exhibit D

595 Harbor St. • Morro Bay, CA 93442-1900 • 805-772-1214

P E R M I T

CONDITIONAL USE PERMIT PRECISE PLAN

CASE NO: CUP 07-91

THIS PERMIT IS HEREBY APPROVED AND ISSUED FOR:

SITE ADDRESS: 701-715 EMBARCADERO

APPLICANT: FLYING DUTCHMAN ENTERPRISES

APN/LEGAL LEASE SITES 78-79/78-79W AND 80-81/80-81W

DATE APPROVED: SEPTEMBER 21, 1992

APPROVED BY: PLANNING COMMISSION

APPROVED BASED UPON FINDINGS CONTAINED IN THE STAFF REPORT
DATED: 9/21/92

CEQA DETERMINATION: NEGATIVE DECLARATION APPROVED 5/28/91

DESCRIPTION OF APPROVAL:

PHASED EXPANSION, BOARDWALK, PLAZA AREA AND REMODEL OF EXISTING RESTAURANT
FISH MARKET AND RETAIL STORE WITH REDUCTION OF EXISTING FISH PROCESSING.

APPROVED SQUARE FOOTAGE: RESTAURANT & SEAFOOD BAR: 3480 SQ.FT.

GIFT STORES : 3910 SQ.FT.

FISH PROCESS/FISH MKT : 515 SQ.FT.

THIS APPROVAL IS CONDITIONAL - VALID ONLY IF CONDITIONS (ATTACHED) ARE MET

DATE PERMIT IS EFFECTIVE (FOLLOWING APPEAL PERIOD): OCTOBER 1, 1992

ATTEST: [Signature]
TITLE: Secretary of the Planning Commission

DATE: _____

THIS IS A DISCRETIONARY APPROVAL AND DOES NOT CONSTITUTE A BUILDING PERMIT

CITY HALL
595 Harbor Street

FIRE DEPARTMENT
715 Harbor Street

PUBLIC WORKS
695 Harbor Street

HARBOR DEPARTMENT
1275 Embarcadero

POLICE DEPARTMENT
850 Morro Bay Blvd.
PC_2021-07-20 Page 43 of 85

RECREATION AND PARKS
1001 Kennedy Way

CONDITIONS OF APPROVAL
CASE NO. CUP 07-91
PRECISE PLAN

A. General Standard Conditions:

1. Exhibits: This request is granted for the land described in the application and any attachments thereto, and as shown on Exhibit A, and on file with the Community Development Department. The locations of all buildings and other features shall be located and designed substantially as shown on the aforementioned exhibit, unless otherwise specified herein.
2. Inaugurate Within One Year: Unless the construction or operation of Phase I of the structure or facility is commenced not later than one year after the effective date of this approval and is diligently pursued thereafter, this approval will automatically become null and void. Phase II shall be inaugurated within two (2) years of the date of approval of this permit. Upon the written request of the applicant, prior to the expiration of this approval, an extension for not more than one additional year may be granted by the Community development Director, upon findings that the project complies with all applicable provisions of the Morro bay Municipal Code in effect at the time of the extension request.
3. Changes: Any minor change may be approved by the Community Development Director. Any substantial change will require the filing of an application for an amendment to be considered by the Subdivision Review Board.
4. Compliance with Law: All requirements of any law, ordinance or regulation of the State of California, City of Morro Bay, and any other governmental entity shall be complied with in the exercise of this approval.
5. Hold Harmless Clause: The applicant, as a condition of approval, hereby agrees to defend, indemnify or hold harmless the City, its agents, officers and employees from any claim, action or proceeding against the City as a result of the action or inaction by the city, or from any claim to attack, set aside, void or annul this approval by the City of the applicant's project; or applicants failure to comply with conditions of approval. This condition and agreement shall be binding on all successors and assigns.
6. Compliance with Conditions: Compliance with and execution of all conditions listed hereon shall be necessary, unless otherwise specified, prior to obtaining final building inspection clearance. Deviation from this requirement shall be permitted only by written consent of the community Development Director and/or as authorized by the Planning Commission. Failure to comply with these conditions shall render this entitlement null and void. Continuation of the

Conditions of Approval
Case No. CUP 07-91
Page Two

use without a valid entitlement will constitute a violation of the Morro Bay Municipal Code and is a misdemeanor.

7. Acceptance of Conditions: Prior to obtaining a building permit and within thirty (30) days hereof, the applicant shall file with the Director of Planning and Community development written acceptance of the conditions stated herein.

B. BUILDING & SITE CONDITIONS

1. Colors and Materials: Prior to issuance of a zone clearance, the Director of Community Development shall ensure compliance of all exterior colors and materials, including fencing materials as approved on Exhibit(s) on file. All other colors and materials not so specifically approved may be approved by the Director according to the following objectives: achieve compatibility with colors and materials used in the on-site improvements; achieve compatibility with the architectural design of the improvements; achieve compatibility with surrounding land uses and properties; preserve the character and integrity of the zone.
2. Water Saving Devices: Water saving devices shall be installed in the project in accordance with the policies of the Morro Bay Coastal Land Use Plan and as approved by the Building Official.
3. Undergrounding of Utilities: All on-site utilities including electrical, telephone and cable television shall be installed underground.
4. Screening of Equipment: All roof-mounted air conditioning, or heating equipment, vents or ducts shall be screened from view in a manner approved by the Director of Community Development.
5. Screening of Trash Storage: All trash enclosures shall be functionally located aesthetic extensions of the main structure with a minimum wall height of five (5) feet. Reasonable effort shall be made to locate enclosures in a manner which will not interfere with the reasonable use of adjoining properties or endanger the health or safety of persons in the subject property.
6. Exterior Lighting: The exterior lighting system shall comply with Exhibit(s). The system shall be low level with a height of fixture not to exceed a maximum of 20 feet and shall achieve the following objectives; avoid interference with reasonable use of adjoining properties; minimize on-site and off-site glare; provide adequate on-site lighting; limit electroliers' height to avoid excessive illumination; provide structures which are compatible with the total design of the proposed facility.

Conditions of Approval
Case No. CUP 07-91
Page Three

7. Signage: The total signing program shall conform to Chapter 17.68. A sign permit is required prior to the issuance of a building permit for occupancy. A sign program shall be approved to the Director prior to issuance of Building Permit.
8. Water Equivalencies:
 - a. Prior to issuance of a Building Permit, the Community Development Director shall verify that the necessary water equivalencies have been met for the size of the project and the nature of proposed occupancy.
 - b. If a water equivalency has been allocated to the project by the City of Morro Bay, the applicant shall abide by MBMC Section 13.20 pertaining to Water Equivalencies. Following the issuance of a building permit and just prior to Final Occupancy, applicant shall submit a Title Report to the Building Official, for verification of ownership.
9. Dust Control: That prior to issuance of a grading permit or zone clearance, a method of control to prevent dust and wind blow earth problems shall be submitted to and approved by the Building Official.
10. Lease Amendment: The applicant shall obtain approval of an amendment of the lease agreements for the entire property prior to issuance of a Building Permit. Uses in the lease shall be limited to:
 - a. Gift shops and retail stores which cater primarily to visitors and tourists.
 - b. Restaurants and deli's.
 - c. Fish Processing (deleting this use from the property will require an amendment to the Conditional Use Permit and the provision of a public broadwalk extending across the northern part of the property).
 - d. Fish market.
 - e. Public broadwalk and public observation decks.
 - f. Wharfs, docks and hoists for fishing industry and for pleasure boats.
11. Restrooms: The restrooms shall be made available to the public during business hours. There shall be clear signage both on the exterior of the building, and on the interior identifying that the restrooms are available to the general public.

Conditions of Approval
Case No. CUP 07-91
Page Four

12. Boardwalk and Observation Deck: The boardwalk shall provide the lateral public access around the west side of the restaurant. The public boardwalk shall be a minimum of 8 feet in width. The observation deck shall be for the general public use and may not be used for any commercial purposes. Access easements consistent with the Waterfront Zone and with the general access provisions in Section 17.48.280 shall be recorded prior to issuance of any Building Permits. The boardwalk widening and the observation deck shall be constructed with the first phase.

If the fish processing use ceases, the applicant shall obtain a separate Conditional Use Permit which shall provide for the completion of the boardwalk across the west side of the fish market and retail use. Said stipulation shall be included in the new lease.

13. Coastal Permit: Prior to issuance of the building Permit, the applicant shall provide written verification of the issuance of a Coastal Permit.
14. Army Corps Permits: Prior to issuance of a Building Permit, the applicant shall obtain Army Corps of Engineer permits and other State or Federal permits required for the project.
15. Off-Street Loading: The applicant shall provide plans for off-street loading parking space as provided by the Zoning Ordinance.
16. Health Dept.: Food service shall require the approval of the Health Department.

C. LANDSCAPING CONDITIONS

1. Landscape and Irrigation Plan: Prior to the issuance of a Building Permit, a landscaping plan shall be submitted to include details of the number, size, location and type of species for all plant materials. In addition, the landscaping plan shall include the proposed method and location of irrigation. The plan shall also include fencing details and screening of the trash enclosure. A variety of native and drought resistant plant and tree species shall be used wherever possible. The landscaping plan shall be approved by the Director.
2. Landscaping Protection: All landscaping and planting within paved areas shall be contained within raised planters surrounded by six (6) inch concrete curbs.

3. Protection of Existing Trees: The developer shall protect and preserve existing trees on project site to the extent practicable. The developer shall consult with the Community Development Director to achieve the following goals: eliminate crowding; eliminate dead, dying or diseased trees; protect root structures from grading; top trees for the safety of persons and property and the continued health of the remaining trees; provide sufficient irrigation, pruning, fertilization, weed control, pest and animal control and disease control to insure continued health. The loss or removal of the healthy existing trees is described as constituting an irreversible loss of a valuable resource or other environmental value shall be replaced by the developer as a mitigation measure with new tree(s) to be approved by the Community Development Director.
4. Timing of Landscaping: All required plantings shall be in place prior to establishment of a use or issuance of a Certificate of Occupancy.
5. Maintenance of Landscaping: All required plant materials shall be maintained in a clean and neat condition. All landscaping shall be cared for, maintained, watered, fertilized, fumigated, pruned and kept in a healthy growing condition. Where a required planting has not survived, it shall be promptly replaced with new plant materials having similar functional characteristics and a size either equivalent to or exceeding the original size.

D. PUBLIC WORKS CONDITIONS

1. Off-Site Public Improvements: The applicant shall submit engineering drawings and cost estimates for all proposed off-site improvements for review by the City Engineer and cost estimates. Upon approval of the design drawings, the applicant shall deposit a financial security with the City in the amount of 150% of the estimated construction cost prior to the issuance of a building permit.
2. Grading & Drainage Plan: The applicant shall submit a grading and drainage plan with calculations to demonstrate the proposed on-site drainage facilities will handle the peak runoff from a 25-year storm. Surface disposal of drainage over sidewalks or driveways is prohibited. The applicant shall construct on-site inlets and through-curb drainage facilities in accordance with City standards.
3. Encroachment Permit: An Encroachment Permit issued by Department of Public Works is required for all work within the public right-of-way prior to issuance of a building permit or recordation of a final map.

Conditions of Approval
Case No. CUP 07-91
Page Six

4. Non-Protest Agreement: The applicant shall enter into a binding agreement with the city to not protest the inclusion in any future improvement assessment district which includes the property that may be formed for the purpose of constructing public improvements benefitting the property.
5. Phase I Requirements: Prior to development on either lease sites 78-79/78W-79W or 80-81/80W-81W, the following improvements or conditions shall be completed:

Lease Site 78/79 - Flying Dutchman Restaurant:

- a. Correct Sewage Discharges: The restaurant operator is discharging untreated wastewater into the Bay through the site drain behind the building. This is in direct violation of several agencies strict prohibitions, and shall cease immediately.
 - b. Repair of Unsafe Conditions: The repair and maintenance of the dock and gangway shall be identified per the requirements of the City Engineer and the Harbor Director. Repairs and renovations shall be completed within two years.
 - c. Electrical Service Box: The PG&E service box in the sidewalk shall be repaired.
6. Public Improvement Requirements:

Lease Site 80/81 - Former Qualman Oyster Company: Prior to development of Lease Site 80/81, the following improvements will be completed:

- a. Site Drain Repair: The site drain discharge between the two lease sites shall be repaired.
- b. Wharf Deck Hazards: The wharf deck shall be repaired as directed by the city Engineer and Harbor Director.
- c. Hoist Repair: The hoist on the wharf shall be repaired to avoid injury.
- d. Parking Lot Site Drains: The parking lot site drain inlets shall be cleaned out.
- e. Hose Bib: The hose bib on the wharf shall have a spring-loaded device as required by the City's water conservation ordinance.

Conditions of Approval
Case No. CUP 07-91
Page Seven

f. Frontage Improvements:

i. The existing sidewalk shall be widened to 8 feet as required by the Circulation Element of the General Plan except in the area of the existing popout bay windows. The widening shall incorporate the existing exposed aggregate finish.

ii. The existing drive approach shall conform with City standards.

g. Docks and Revetment: Prior to issuance of a building permit for any work on or over the revetment, including revetment modifications or repairs, wharfs, piers, floating docks, gangways, etc., the plans for said work shall be approved by the City Engineer. Prior to issuance of a building permit, the applicant shall obtain all required permits for said work from the California Coastal Commission and the U.S. Army Corps of Engineers.

7. Public Improvement Requirements Lease Site 78/79: Prior to development of lease site 78/79, the following improvements shall be completed:

a. Frontage Improvements: The existing sidewalk across lease site 78/79 shall be widened to 8 feet as required by the Circulation Element of the General Plan except in the area of the existing popout bay windows. The widening shall incorporate the existing exposed aggregate finish.

b. Docks & Revetment: Prior to issuance of a building permit for any work on or over the revetment, including revetment modifications or repairs, wharfs, piers, floating docks, gangways, etc., the plans for said work shall be approved by the City Engineer. Prior to issuance of a building permit, the applicant shall obtain all required permits for said work from the California Coastal Commission and the U.S. Army Corps of Engineers.

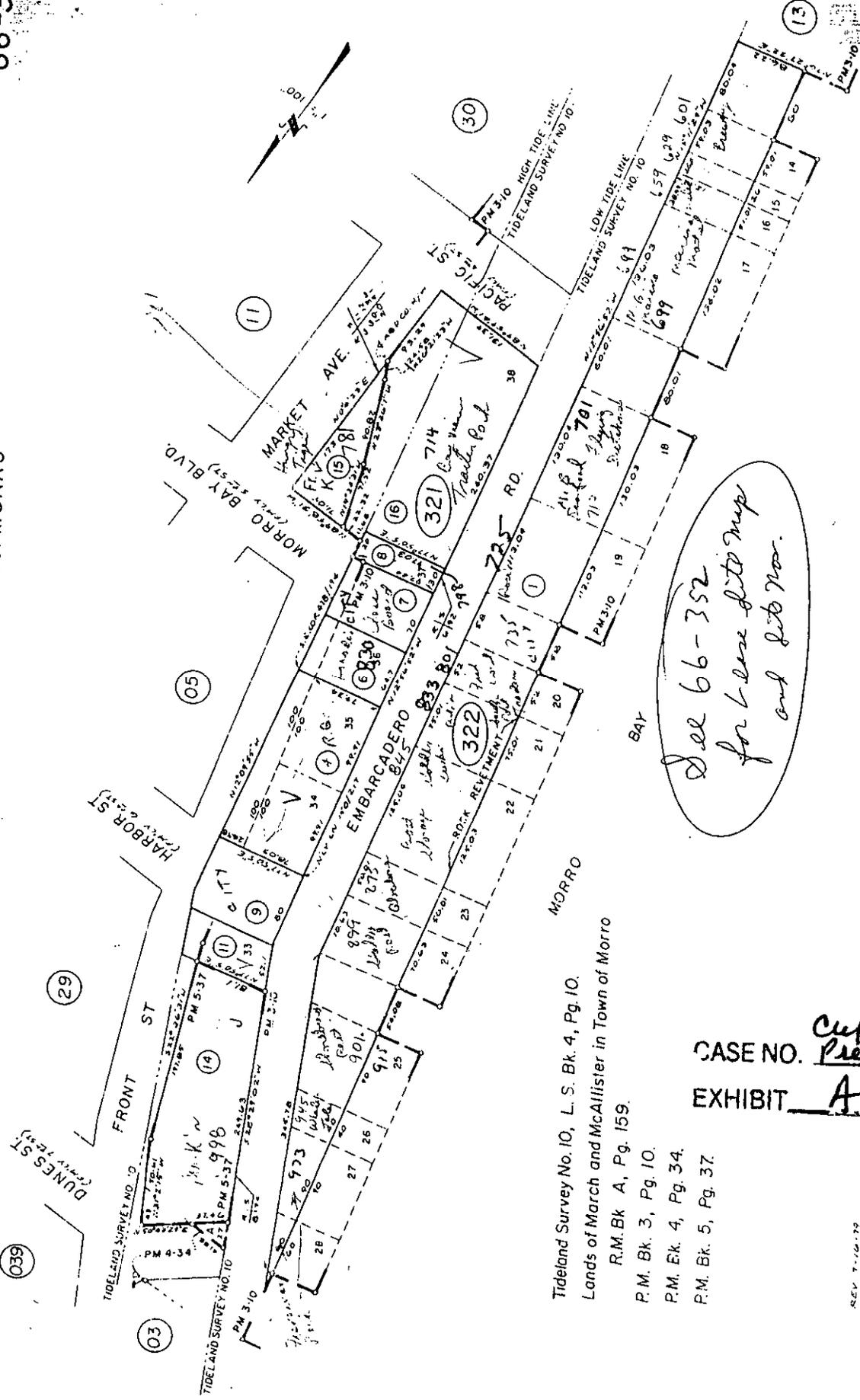
c. Deck Encroachment: A portion of the existing wood deck over the revetment lies within the right-of-way of Pacific Street. If one has not already been approved, the Lessee shall obtain a Special Encroachment Permit from the Department of Public Works for the ownership of this private facility within the public right-of-way.

Conditions of Approval
Case No. CUP 07-91
Page Eight

E. FIRE DEPARTMENT

1. Fire Suppression: All provisions for fire suppression shall be in accordance with the Uniform Fire Code of the City of Morro Bay. Upgrading of fire suppressing systems may be required by the Fire Chief prior to issuance of a Building Permit.
2. Fire Hydrants: Prior to issuance of a zone clearance (or recordation of the final tract map) the permittee shall submit plans to the Fire Department for approval of the size and location of on-site fire hydrants. New fire hydrants or upgrading of existing hydrants may be required if fire flows are not adequate.
3. Address Numbers: Address numbers shall be of contrasting color to the background and shall be readily visible at night. The numbers shall be subject to approval of the Director of Community Development and the Fire Chief.
4. Fire Extinguishers: All fire extinguishers shall be installed in accordance with National Fire Protection Association Standard #10.

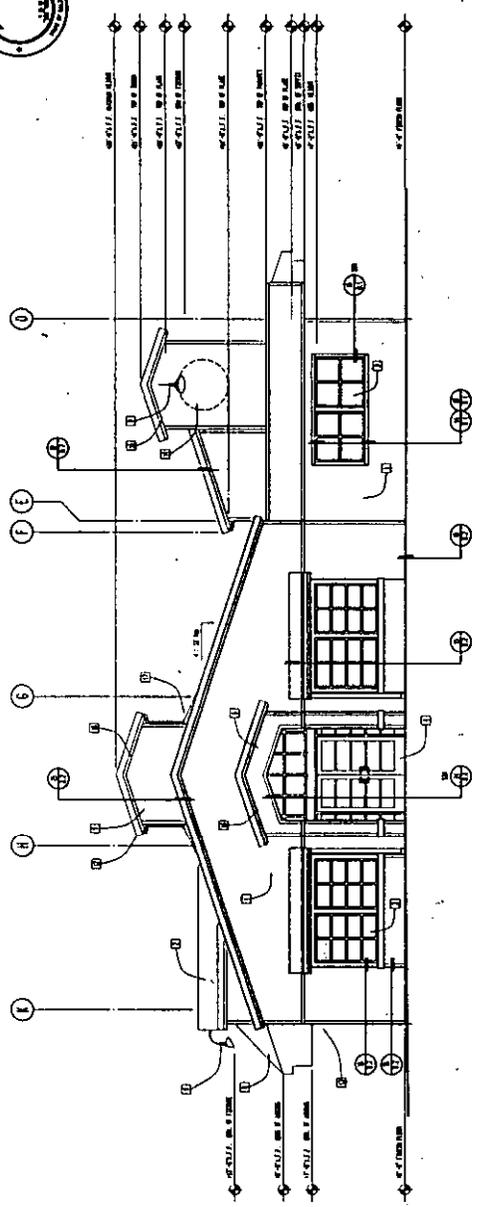
Lands of MARCH and McALLISTER in TOWN of MORRO



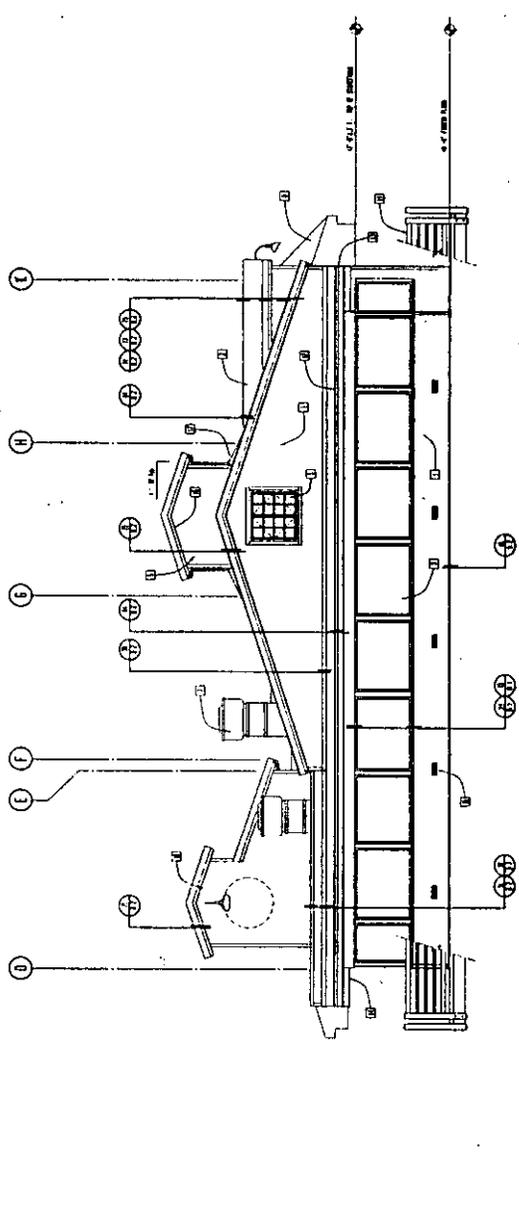
Tideland Survey No. 10, L. S. Bk. 4, Pg. 10.
 Lands of March and McAllister in Town of Morro
 R.M. Bk. A, Pg. 159.
 P.M. Bk. 3, Pg. 10.
 P.M. Ek. 4, Pg. 34.
 P.M. Bk. 5, Pg. 37.

CASE NO. Cup07 Precise
 EXHIBIT A

CITY OF MORRO BAY
 Assessor's Map Bk. 66 - Pg. 32
 County of San Luis Obispo, Calif.



BUILDING "A" - EAST ELEVATION



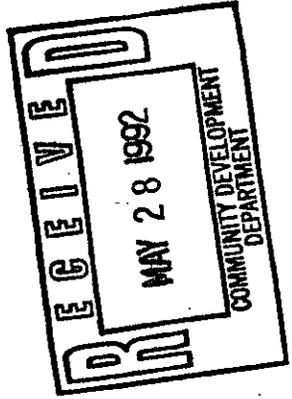
WEST ELEVATION

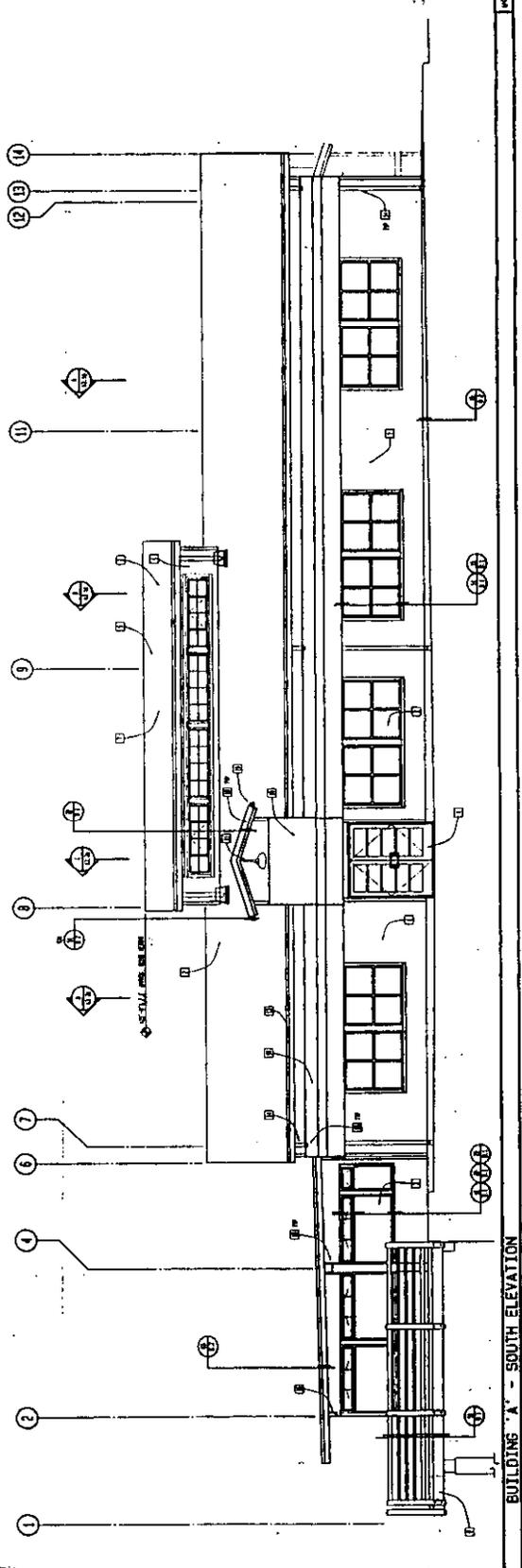
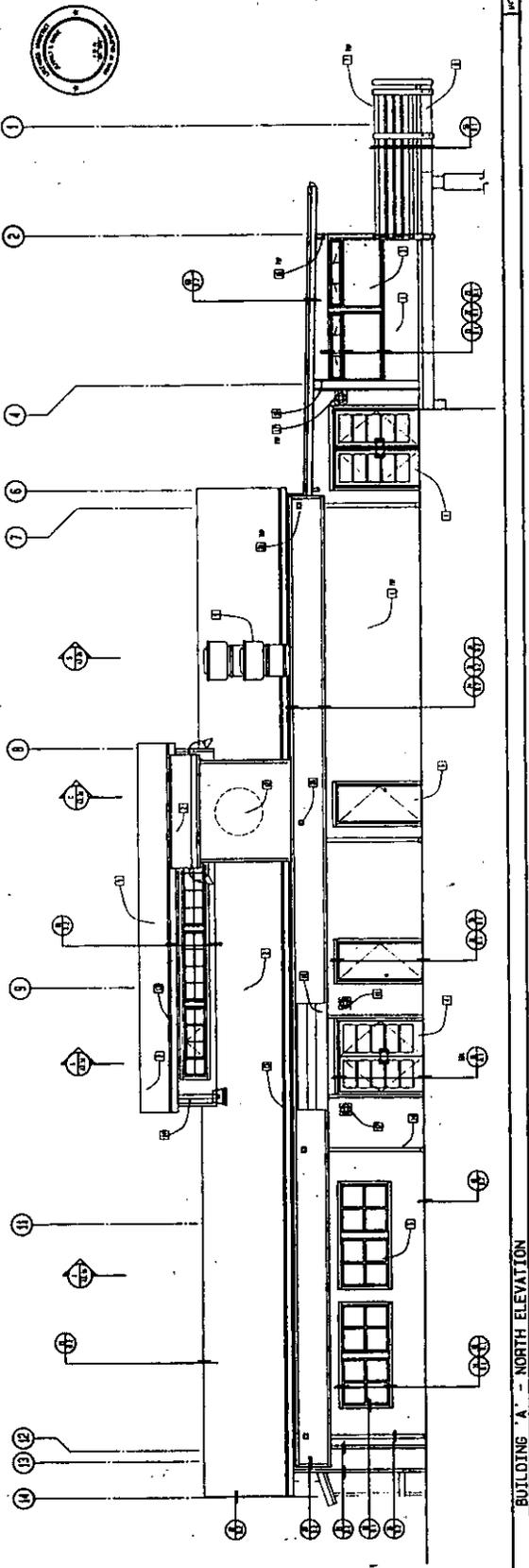
REFERENCE NOTES

1. See attached floor plan, to confirm window and door locations.
2. See attached floor plan, to confirm window and door locations.
3. See attached floor plan, to confirm window and door locations.
4. See attached floor plan, to confirm window and door locations.
5. See attached floor plan, to confirm window and door locations.
6. See attached floor plan, to confirm window and door locations.
7. See attached floor plan, to confirm window and door locations.
8. See attached floor plan, to confirm window and door locations.
9. See attached floor plan, to confirm window and door locations.
10. See attached floor plan, to confirm window and door locations.
11. See attached floor plan, to confirm window and door locations.

APPROVED
 COMMUNITY DEVEL. DEPT.
 SRB:
 P.C. 9/21/92 RESO. NO. _____
 C.C. _____ RESO. NO. _____

CUP07
 CASE NO. Precise
 EXHIBIT C





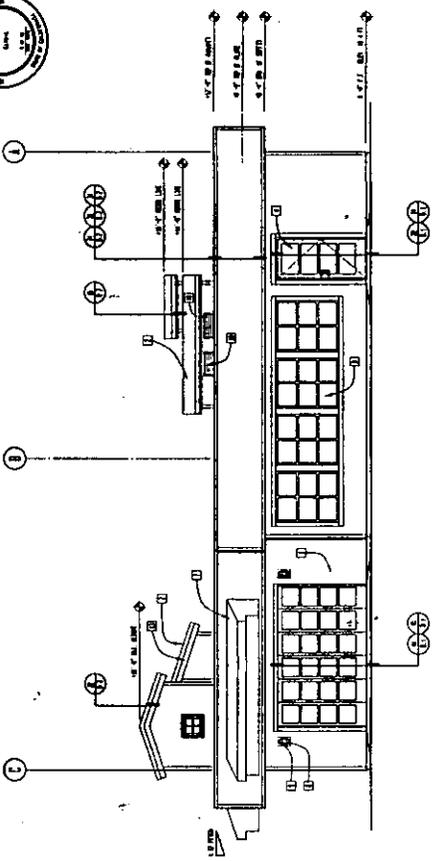
REFERENCE NOTES

1. See Schedule of Work for details of materials and workmanship.
2. All work shall be in accordance with the latest editions of the Building Code of the City of San Antonio.
3. All work shall be in accordance with the latest editions of the International Building Code.
4. All work shall be in accordance with the latest editions of the International Mechanical Code.
5. All work shall be in accordance with the latest editions of the International Fire Code.
6. All work shall be in accordance with the latest editions of the International Electrical Code.
7. All work shall be in accordance with the latest editions of the International Plumbing Code.
8. All work shall be in accordance with the latest editions of the International Fuel Gas Code.
9. All work shall be in accordance with the latest editions of the International Energy Conservation Code.
10. All work shall be in accordance with the latest editions of the International Existing Building Code.
11. All work shall be in accordance with the latest editions of the International Building Code, as amended.
12. All work shall be in accordance with the latest editions of the International Building Code, as amended.
13. All work shall be in accordance with the latest editions of the International Building Code, as amended.
14. All work shall be in accordance with the latest editions of the International Building Code, as amended.
15. All work shall be in accordance with the latest editions of the International Building Code, as amended.
16. All work shall be in accordance with the latest editions of the International Building Code, as amended.
17. All work shall be in accordance with the latest editions of the International Building Code, as amended.
18. All work shall be in accordance with the latest editions of the International Building Code, as amended.
19. All work shall be in accordance with the latest editions of the International Building Code, as amended.
20. All work shall be in accordance with the latest editions of the International Building Code, as amended.

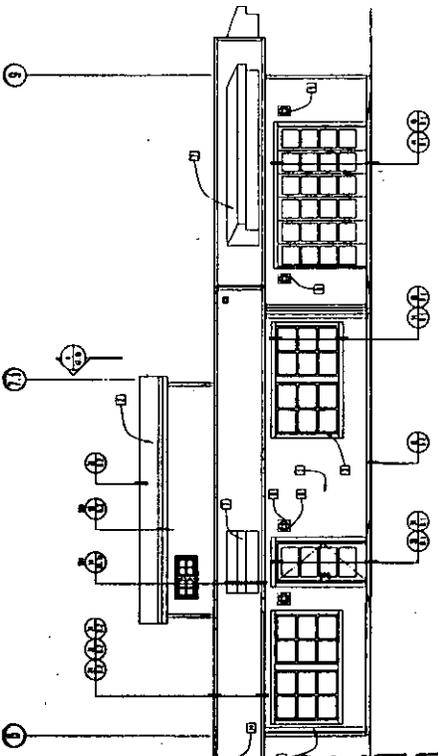
APPROVED
 COMMUNITY DEVEL. DEPT.
 SRB:
 F.C. 9/21/92 RESO. NO. _____
 RESO. NO. _____

Cupor
 Precise
 CASE NO. _____
 EXHIBIT D

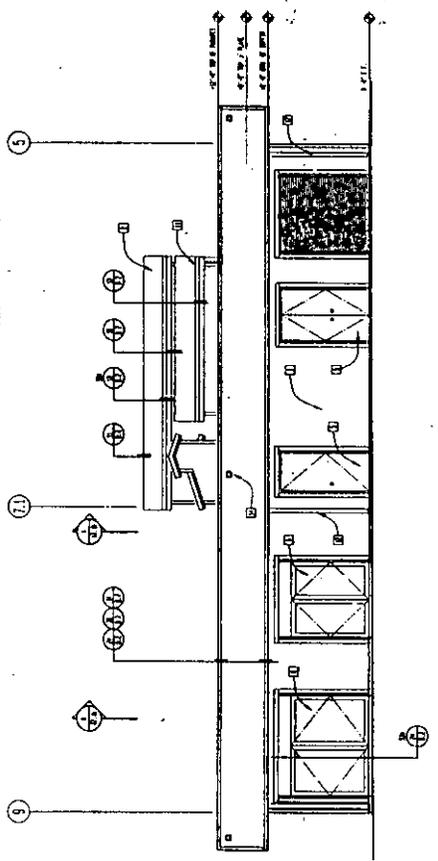
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 MAY 28 1992
 COMMUNITY DEVELOPMENT
 DEPARTMENT



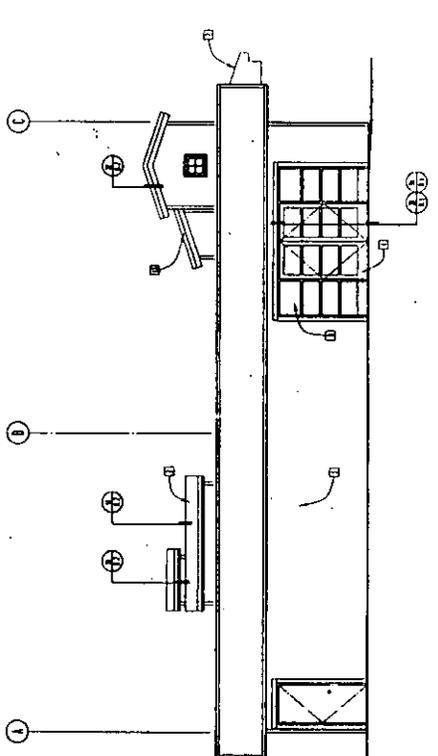
BUILDING 'B' - EAST ELEVATION



BUILDING 'B' - SOUTH ELEVATION



BUILDING 'B' - NORTH ELEVATION



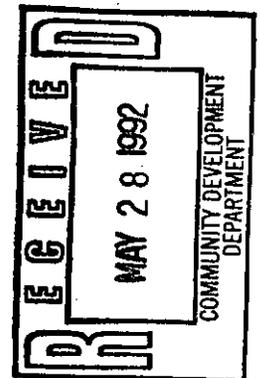
BUILDING 'B' - WEST ELEVATION

REFERENCE NOTES

1. See attached floor plan for 2' grid spacing.
2. All materials shall be in accordance with the specifications and standards of the International Building Code, 1990 Edition, unless otherwise noted.
3. The building shall be constructed in accordance with the specifications and standards of the International Building Code, 1990 Edition, unless otherwise noted.
4. The building shall be constructed in accordance with the specifications and standards of the International Building Code, 1990 Edition, unless otherwise noted.
5. The building shall be constructed in accordance with the specifications and standards of the International Building Code, 1990 Edition, unless otherwise noted.
6. The building shall be constructed in accordance with the specifications and standards of the International Building Code, 1990 Edition, unless otherwise noted.
7. The building shall be constructed in accordance with the specifications and standards of the International Building Code, 1990 Edition, unless otherwise noted.
8. The building shall be constructed in accordance with the specifications and standards of the International Building Code, 1990 Edition, unless otherwise noted.
9. The building shall be constructed in accordance with the specifications and standards of the International Building Code, 1990 Edition, unless otherwise noted.
10. The building shall be constructed in accordance with the specifications and standards of the International Building Code, 1990 Edition, unless otherwise noted.
11. The building shall be constructed in accordance with the specifications and standards of the International Building Code, 1990 Edition, unless otherwise noted.

APPROVED
COMMUNITY DEVEL. DEPT.
SRB: _____
P.C. 9/21/92 RESO. NO. _____
C.C. _____ RESO. NO. _____

CASE NO. cup07
EXHIBIT Précise
R



DUTCHMAN LANDING

FOR: MORRIS & BURT COMMUNITY DEVELOPMENT DEPARTMENT

Site Specs & Info.
For Site Review Meeting

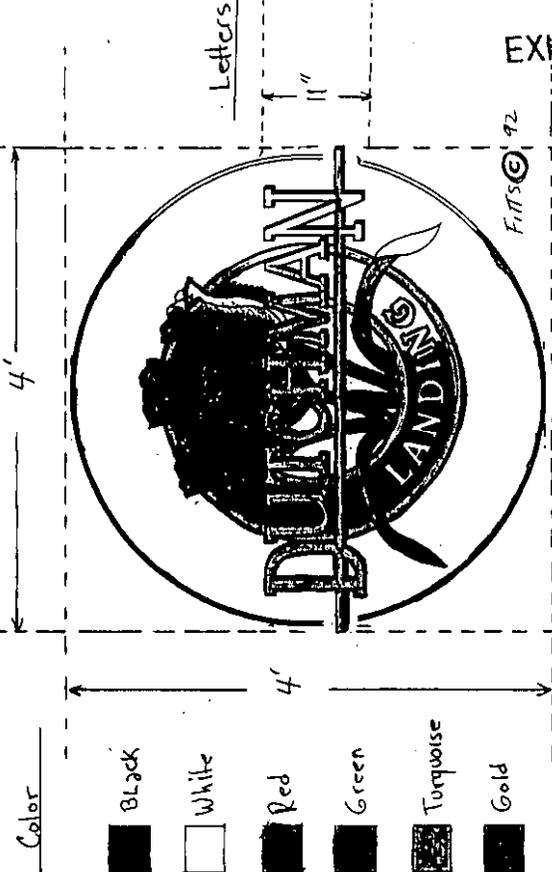
Local Elevations

- 1- 4'x4' Sign Mounted Above Entrance of South side of The Building - Sign Elevation 11'
- 3- 4'x4' Signs Mounted on East West & North Sides of Center Cupola - Signs elevation 14'
- 1- Double face 4'x4' Sign hung on east side over Entrance of Embarcadero - Sign Elevation 12' and 3' from curb face.

Materials

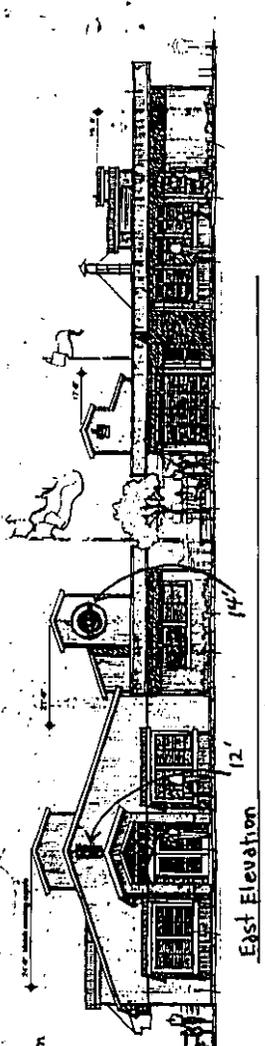
Signs will be painted with Acrylic & Cell Vinyl Paints on 1/8" Masonite. Attached to 3/4" Marine Plywood Mounted Flush to the Building with the Exception of the Double-Faced Sign which will be Hung.

DIMENSIONS

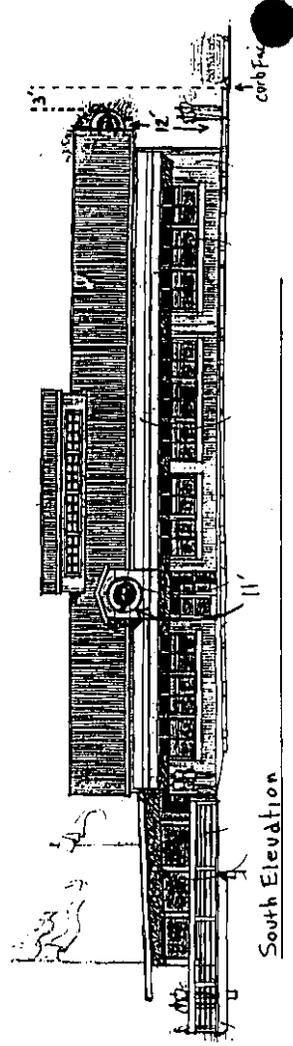


Color

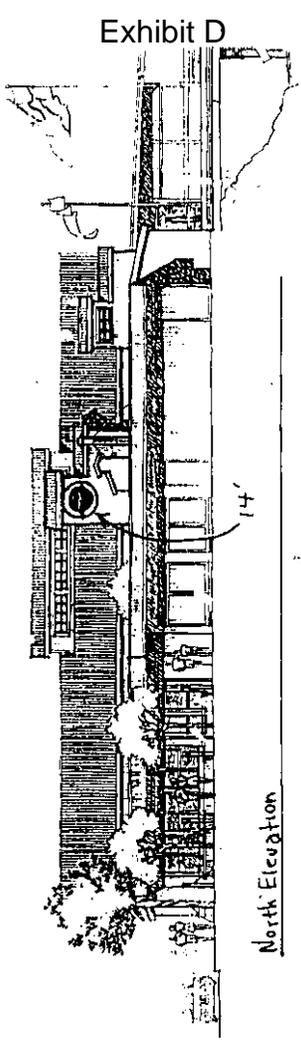
- Black
- White
- Red
- Green
- Turquoise
- Gold



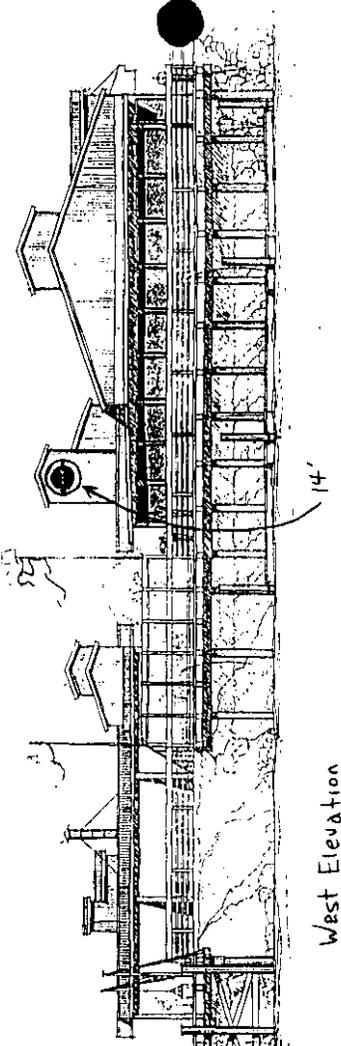
East Elevation



South Elevation



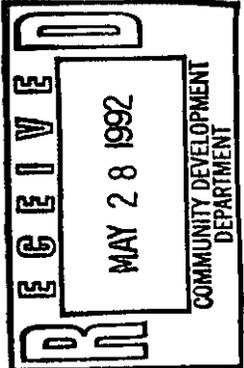
North Elevation



West Elevation

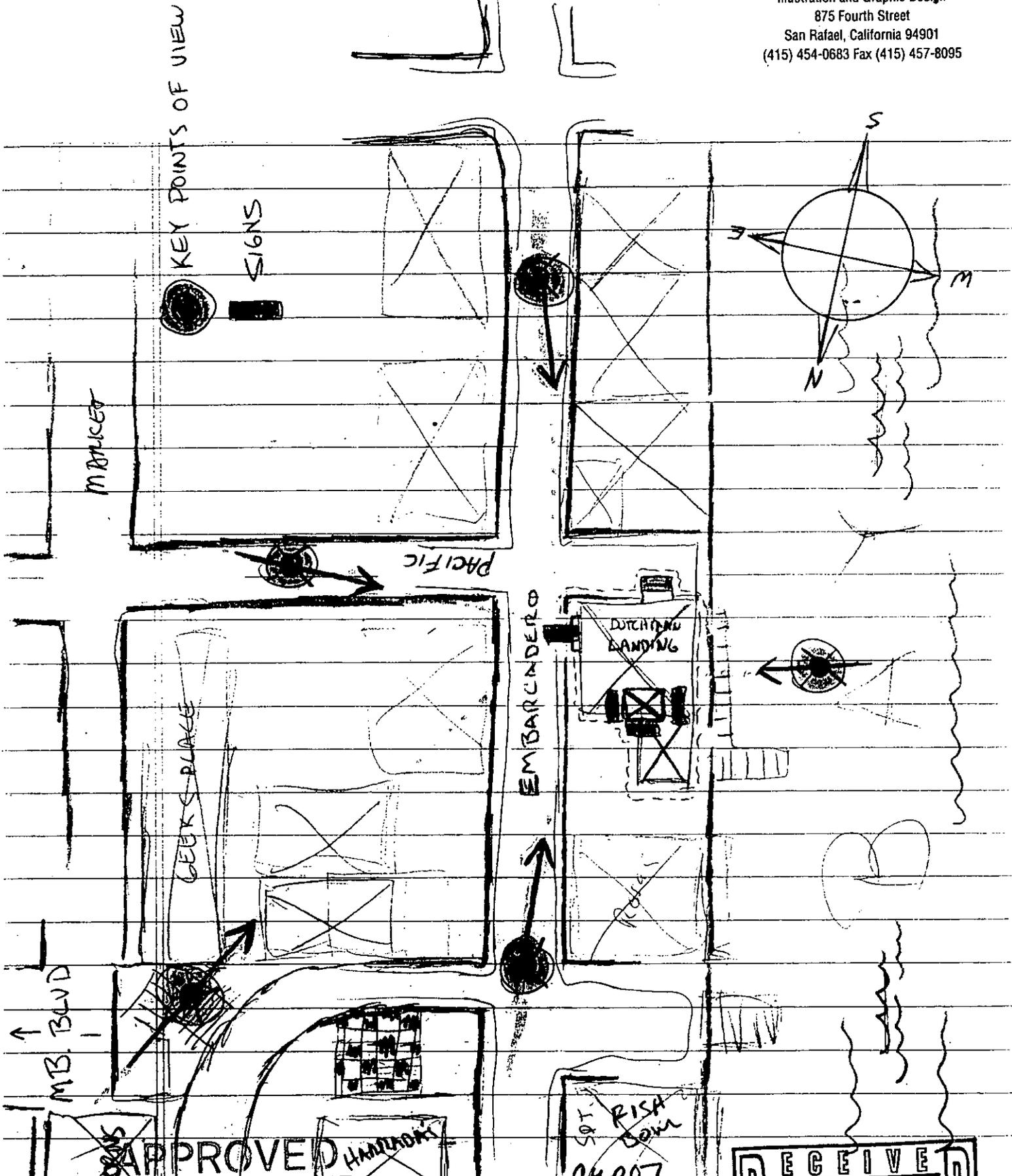
Exhibit D

CASE NO. 9/21/92
EXHIBIT F



APPROVED
COMMUNITY DEVEL. DEPT.
9/21/92

Paul Fitts
Illustration and Graphic Design
875 Fourth Street
San Rafael, California 94901
(415) 454-0683 Fax (415) 457-8095



~~APPROVED HANDDRAWS~~
COMMUNITY DEVEL. DEPT.

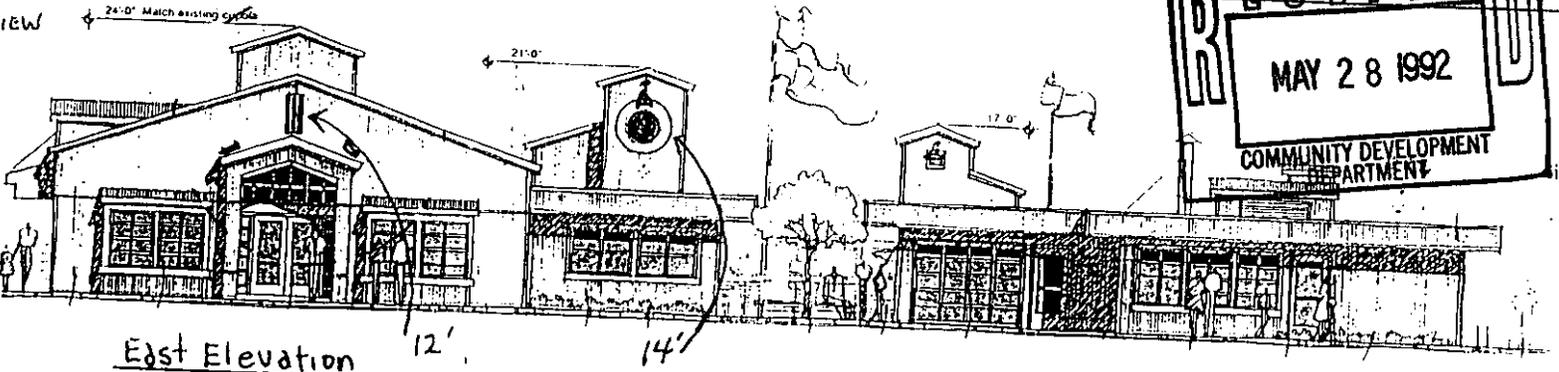
SRB: 9/21/92
REC'D. NO. _____
INTSO. NO. _____

CASE NO. _____

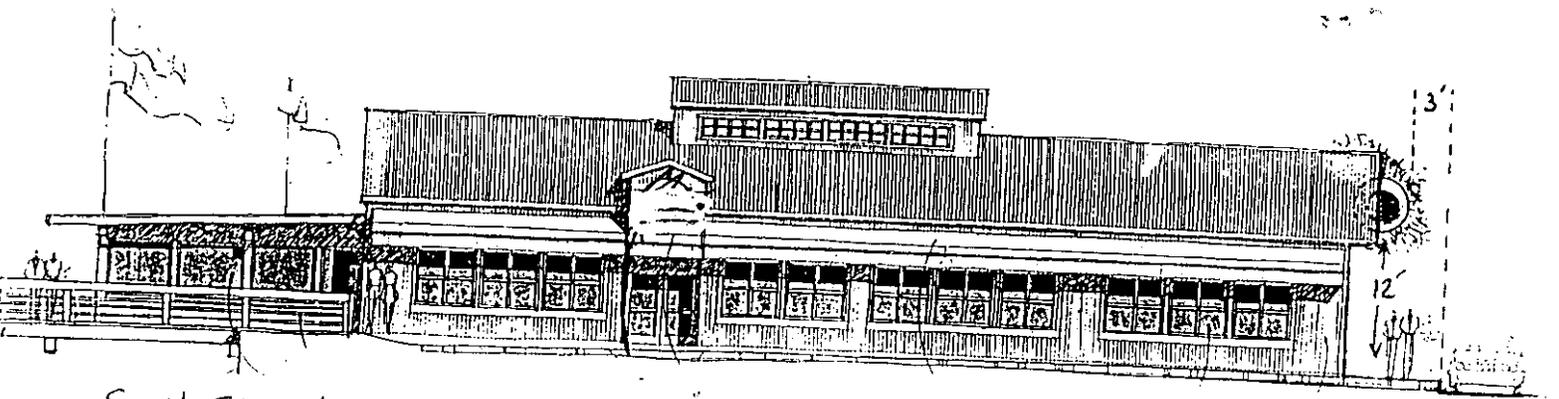
EXHIBIT 6

RECEIVED
MAY 28 1992
COMMUNITY DEVELOPMENT DEPARTMENT

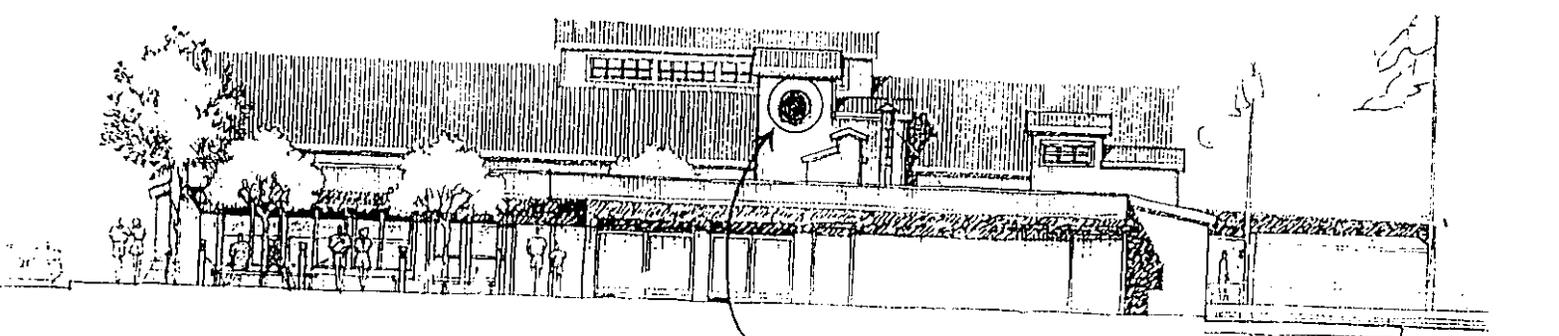
RECEIVED
MAY 28 1992
COMMUNITY DEVELOPMENT
DEPARTMENT



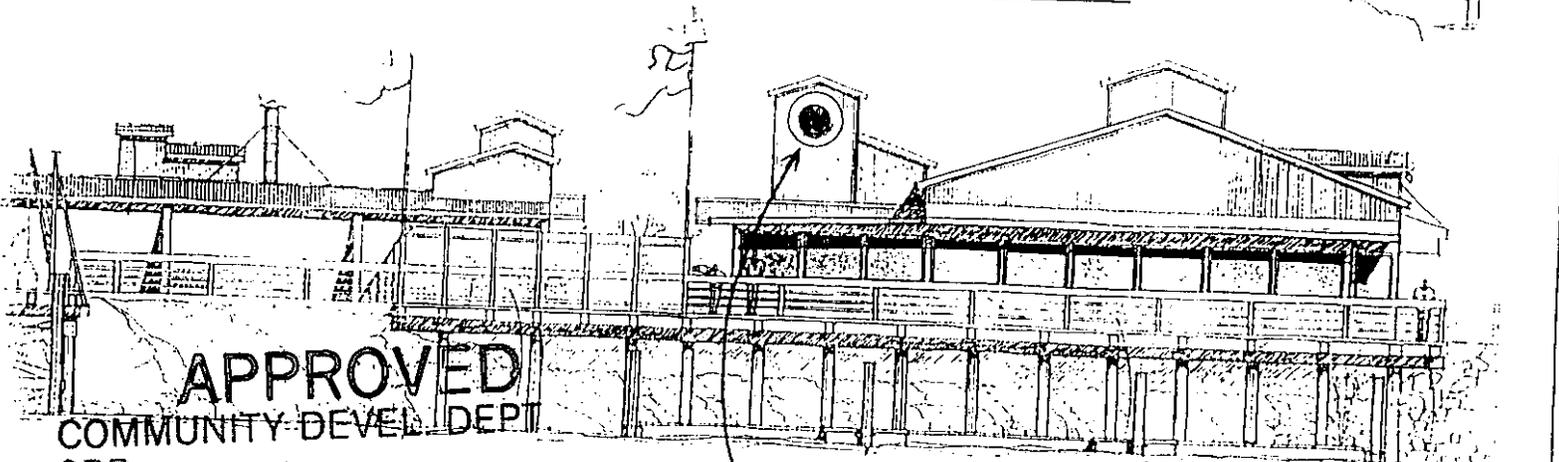
East Elevation 12' 14'



South Elevation 12' 14'



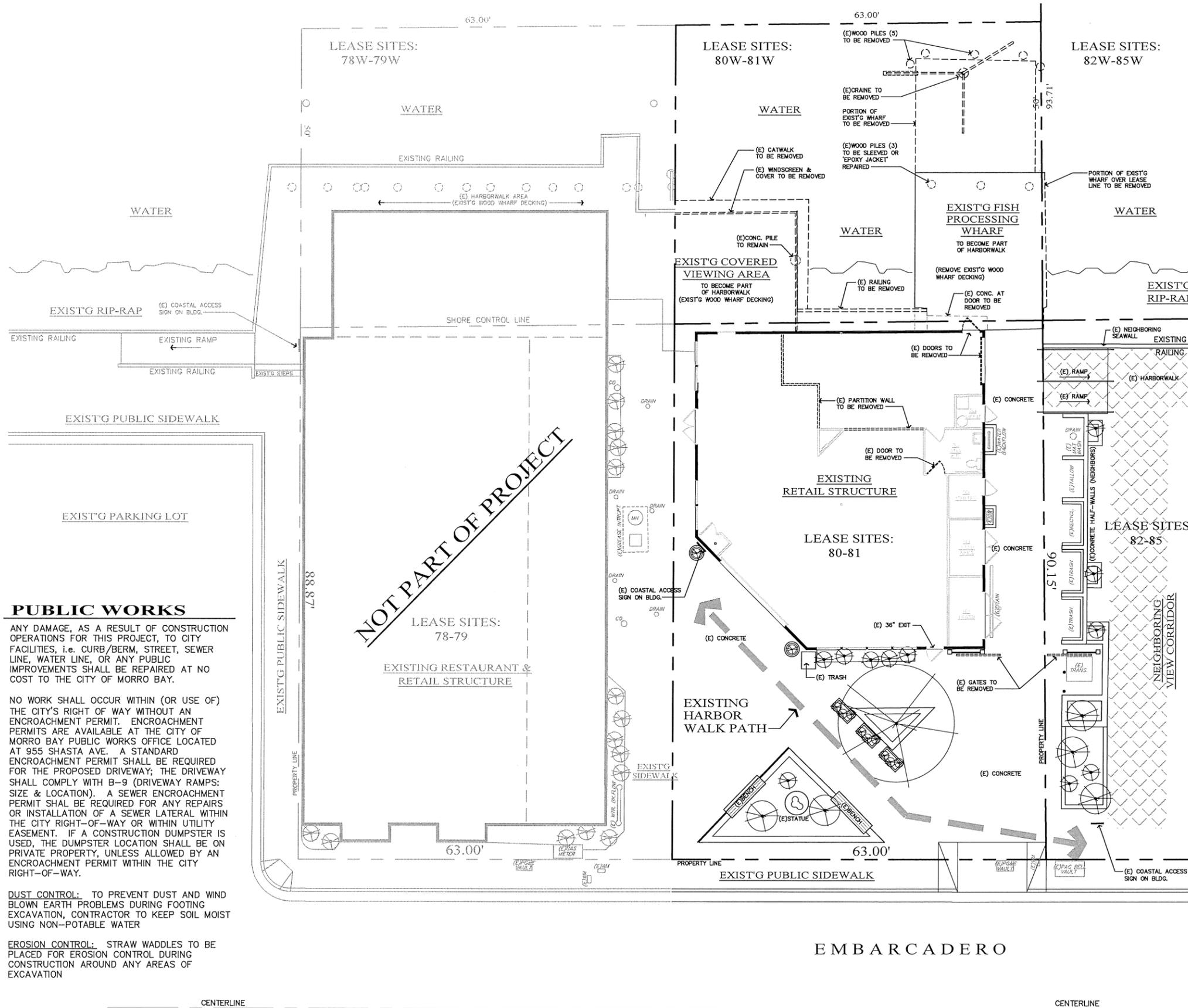
North Elevation 14'



APPROVED
COMMUNITY DEVEL. DEPT.

SUB: WEST 9/21/92 RESO. NO. _____
ACTION RESO. NO. _____

CASE NO. Cup 07 Preuse
EXHIBIT H



PUBLIC WORKS

ANY DAMAGE, AS A RESULT OF CONSTRUCTION OPERATIONS FOR THIS PROJECT, TO CITY FACILITIES, I.E. CURB/BERM, STREET, SEWER LINE, WATER LINE, OR ANY PUBLIC IMPROVEMENTS SHALL BE REPAIRED AT NO COST TO THE CITY OF MORRO BAY.

NO WORK SHALL OCCUR WITHIN (OR USE OF) THE CITY'S RIGHT OF WAY WITHOUT AN ENCROACHMENT PERMIT. ENCROACHMENT PERMITS ARE AVAILABLE AT THE CITY OF MORRO BAY PUBLIC WORKS OFFICE LOCATED AT 955 SHASTA AVE. A STANDARD ENCROACHMENT PERMIT SHALL BE REQUIRED FOR THE PROPOSED DRIVEWAY; THE DRIVEWAY SHALL COMPLY WITH B-9 (DRIVEWAY RAMP: SIZE & LOCATION). A SEWER ENCROACHMENT PERMIT SHALL BE REQUIRED FOR ANY REPAIRS OR INSTALLATION OF A SEWER LATERAL WITHIN THE CITY RIGHT-OF-WAY OR WITHIN UTILITY EASEMENT. IF A CONSTRUCTION DUMPSTER IS USED, THE DUMPSTER LOCATION SHALL BE ON PRIVATE PROPERTY, UNLESS ALLOWED BY AN ENCROACHMENT PERMIT WITHIN THE CITY RIGHT-OF-WAY.

DUST CONTROL: TO PREVENT DUST AND WIND BLOWN EARTH PROBLEMS DURING FOOTING EXCAVATION, CONTRACTOR TO KEEP SOIL MOIST USING NON-POTABLE WATER

EROSION CONTROL: STRAW WADDLES TO BE PLACED FOR EROSION CONTROL DURING CONSTRUCTION AROUND ANY AREAS OF EXCAVATION

PROJECT DESC.

THIS PERMIT WOULD ALLOW FOR MODIFICATIONS TO THE EXISTING WHARF AREA BY REMOVING THE EXISTING COVERED WINDSCREEN AREA, REMOVING A PORTION OF THE EXISTING FISH PROCESSING WHARF THAT IS IN NEED OF REPAIR, AND ADDING A NEW PORTION OF WHARF TO CREATE A CONTINUOUS ACCESSIBLE SECTION OF THE MORRO BAY HARBORWALK. THE NEW SECTION OF HARBORWALK WOULD CONNECT WITH EXISTING PORTIONS TO THE NORTH AND SOUTH. THE PERMIT WILL ALSO ALLOW AN UPDATE TO THE EXISTING FACADE WITH NEW VERTICAL BOARD AND BATTEN SIDING WITH SHINGLE AND CORRUGATED METAL ACCENTS.

PROJECT AREAS

EXIST'G COVERED WINDSCREEN AREA: (WINDSCREEN TO BE REMOVED)	580 SF
EXIST'G FISH PROCESSING WHARF:	1,025 SF
TOTAL:	1,605 SF

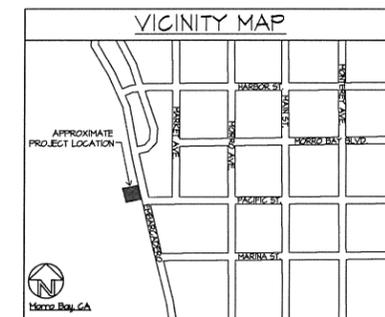
PORTION OF FISH PROCESSING WHARF TO REMOVE:	-445 SF
NEW WHARF AREA TO BE INSTALLED: (BETWEEN PATIO & WHARF, AND ANGLE AT HARBORWALK)	+395 SF
FIN. COMBINED WHARF/PATIO AREA:	1,555 SF
NEW OUTDOOR DINING (PUBLIC): (ADJACENT TO EMBARCADERO)	+461 SF

BLDG. CODES

- 2019 CALIFORNIA BUILDING CODE
- 2019 CALIFORNIA PLUMBING CODE
- 2019 CALIFORNIA MECHANICAL CODE
- 2019 CALIFORNIA ELECTRIC CODE
- 2019 CALIFORNIA ENERGY CODE
- CALIFORNIA GREEN BUILDING CODE
- 2019 CALIFORNIA FIRE CODE
- CALIFORNIA REFERENCE STANDARDS CODE

CONST. HOURS

PURSUANT TO MBMC SUBSECTION 9.28.030.1, CONSTRUCTION OR REPAIRING OF BUILDINGS, THE ERECTION (INCLUDING EXCAVATING), DEMOLITION, ALTERATION, OR REPAIR OF ANY BUILDING OR GENERAL LAND GRADING AND CONTOUR ACTIVITY USING EQUIPMENT IN SUCH A MANNER AS TO BE PLAINLY AUDIBLE AT A DISTANCE OF FIFTY FEET FROM THE BUILDING OTHER THAN BETWEEN THE HOURS OF SEVEN A.M. AND SEVEN P.M. ON WEEKDAYS AND EIGHT A.M. AND SEVEN P.M. ON WEEKENDS EXCEPT IN CASE OF URGENT NECESSITY IN THE INTEREST OF PUBLIC HEALTH AND SAFETY, AND THEN ONLY WITH A PERMIT FROM THE PUBLIC SERVICES DEPT., WHICH PERMIT MAY BE GRANTED FOR A PERIOD NOT TO EXCEED THREE DAYS OR LESS WHILE THE EMERGENCY CONTINUES AND WHICH PERMIT MAY BE RENEWED FOR A PERIOD OF THREE DAYS OR LESS WHILE THE EMERGENCY CONTINUES.



SHEET INDEX

- A1.1 EXIST'G SITE PLAN / PROJ. INFO.
- A1.2 LAND SURVEY
- A1.3 PROPOSED SITE PLAN
- A2.1 ELEVATIONS

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C. P. PARKER ARCHITECT

CHRISTOPHER P. PARKER ARCHITECT
630 QUINTANA RD. #330
MORRO BAY, CA
93442-1962
(805) 772-5700

STAMPS



PROJECT

VAN BEURDEN HARBORWALK MODIFICATION & FACADE UPDATE

715 EMBARCADERO
MORRO BAY, CALIF.
93442

DRAWING PHASE

COASTAL DEVELOPMENT PERMIT

Project No.	19-109
Drawn By	CPP
Dwg. Date	06/08/21
Updated	-
Scale	AS NOTED

REVISIONS

SHEET TITLE

EXISTING SITE PLAN

SHEET NO.

A1.1

EXISTING OVERALL SITE PLAN

SCALE: 1/8" = 1'-0"

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STAMPS



PROJECT

VAN BEURDEN HARBORWALK MODIFICATION & FACADE UPDATE

715 EMBARCADERO MORRO BAY, CALIF. 93442

DRAWING PHASE

COASTAL DEVELOPMENT PERMIT

Project No.	19-109
Drawn By	CPP
Dwg. Date	06/08/21
Updated	-
Scale	1/8" = 1'-0"

REVISIONS

SHEET TITLE

LAND SURVEY

SHEET NO.

TOPOGRAPHIC SURVEY

PORTION of APN 066-322-006

Parcel 18 of Parcel Map MB 68-30 as shown on map recorded in Parcel Map Book 3, at Page 10 in the Office of the County Recorder City of Morro Bay, County of San Luis Obispo, State of California.

Prepared by:

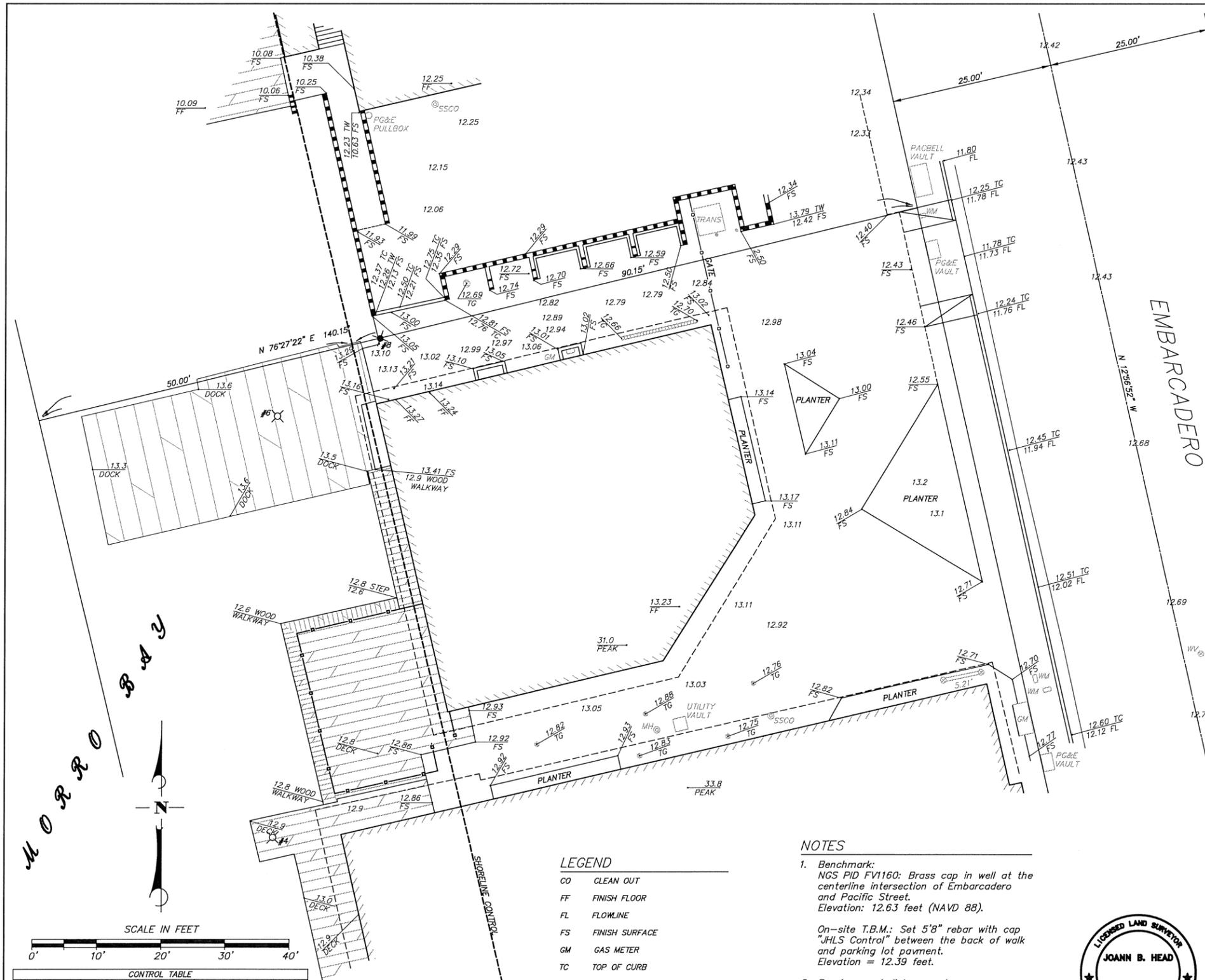
JoANN HEAD LAND SURVEYING

Post Office Box 887
 Santa Margarita, CA 93453
 (805) 674-1530

December 17, 2019

004-02 tpo.dwg

Sheet 1 of 1



MORRO BAY

SCALE IN FEET
 0' 10' 20' 30' 40'

#	NORTHING	EASTING	ELEVATION	DESCRIPTION
1	9000.00	9000.00	12.39	5/8"RBR "JHLS CONTROL"
4	8947.02	8835.85	12.92	MAG@VIEW SPOT
6	9012.00	8836.38	13.47	MAG@CTR OF DOCK
8	9023.99	8852.20	13.05	N&T "EDA"

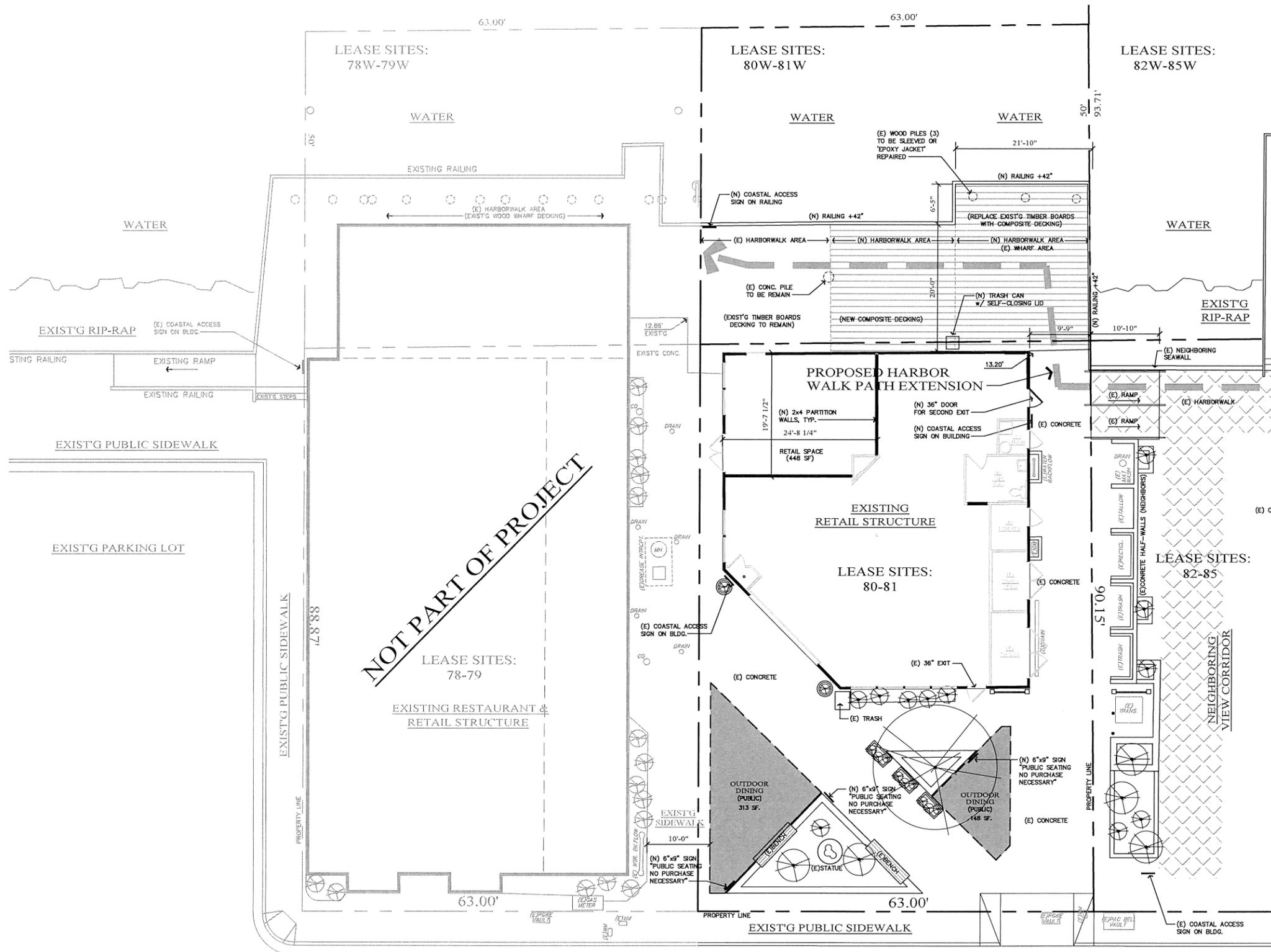
LEGEND

- CO CLEAN OUT
- FF FINISH FLOOR
- FL FLOWLINE
- FS FINISH SURFACE
- GM GAS METER
- TC TOP OF CURB
- TW TOP OF WALL
- WM WATER METER
- 23.5 SPOT ELEVATION (MEASURED AT DECIMAL POINT)

NOTES

- Benchmark:
 NGS PID FV1160: Brass cap in well at the centerline intersection of Embarcadero and Pacific Street.
 Elevation: 12.63 feet (NAVD 88).

 On-site T.B.M.: Set 5/8" rebar with cap "JHLS Control" between the back of walk and parking lot pavement.
 Elevation = 12.39 feet.
- Bearings and distances shown are measured per boundary survey in progress.
- Survey date: December 12 and 16, 2019.



TRASH CAN w/ LID

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 (805) 772-5700



PROJECT

VAN BEURDEN HARBORWALK MODIFICATION & FACADE UPDATE

715 EMBARCADERO MORRO BAY, CALIF. 93442

DRAWING PHASE
COASTAL DEVELOPMENT PERMIT

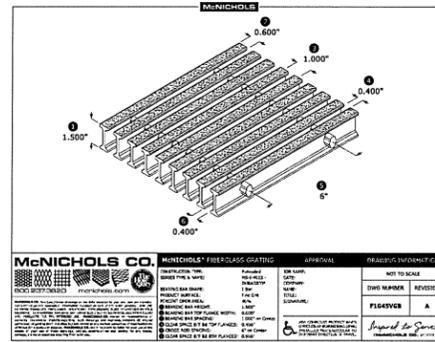
Project No.	19-109
Drawn By	CPP
Dwg. Date	06/08/21
Updated	-
Scale	AS NOTED

REVISIONS

SHEET TITLE
PROPOSED SITE PLAN

SHEET NO.

A1.3



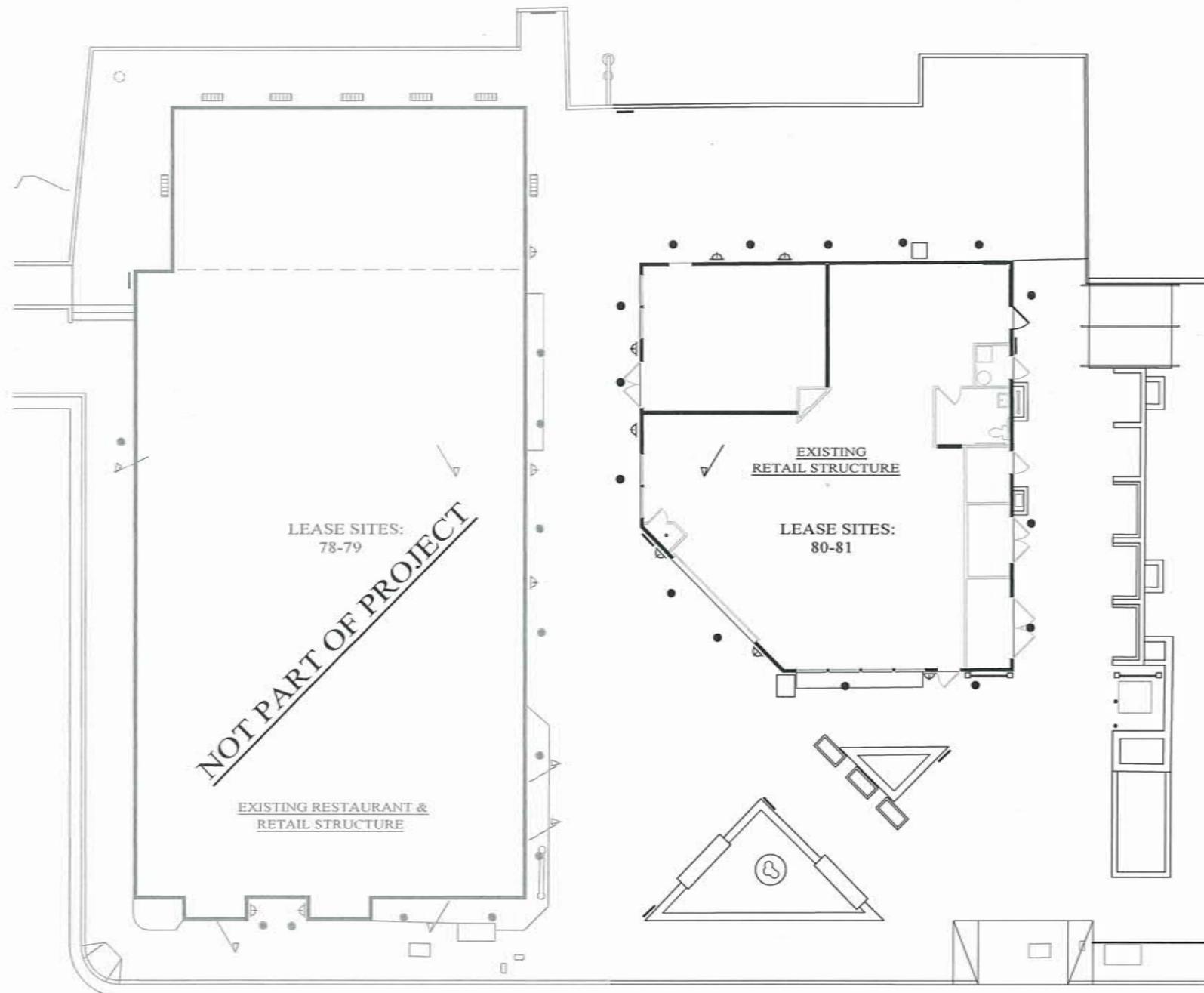
FIBERGLASS GRATING



COASTAL ACCESS SIGNAGE

SIGNAGE SHALL BE 24" WIDE x 18" HIGH METAL SIGN WITH IMAGES, MOUNTED FLAT TO HARBORWALK RAILING. WHITE BACKGROUND WITH BLUE LETTERING.

PROPOSED OVERALL SITE PLAN
 SCALE: 1/8" = 1'-0"



EMBARCADERO

EXTERIOR LIGHTING PLAN
SCALE 1/8" = 1'-0"

LIGHTING LEGEND

- EXISTING RECESSED CAN LIGHTING IN EAVES.
- ▲ WALL MOUNTED SCONCES TO BE REPLACED WITH SPEC'D SCONCES BELOW
- ▣ EXISTING LOW PATHWAY WALL MOUNTED LIGHTS AT 20" ABOVE WALKWAY
- ↙ EXISTING SIGN LIGHTING



EXISTING CAN LIGHTING

Westinghouse SPECIFICATION SHEET

Item Number: 6360500
1 Light LED Wall Fixture Weathered Steel Finish with Clear Prismatic Lens

Specifications

- Height: 11.61"
- Width: 10.63"
- Extends: 11.61"
- Height from Center of Outlet Box: 5.08"
- Back Plate: D: 6.18"
- Hours: 20000
- Life (years): 18.2
- Fixture Lumens: 550
- Light Source Lumens: 640
- Kelvin: 2700
- Equivalent Incandescent Wattage: 40W
- Includes 9 Watt Integrated LED



PROPOSED WALL SCONCE



EXISTING PATH LIGHTING



EXISTING SIGN LIGHTING

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630 QUINTANA RD, #330
MORRO BAY, CA 93442-1962
(805) 772-8700

STAMPS



PROJECT

VAN BEURDEN HARBORWALK MODIFICATION & FACADE UPDATE

715 EMBARCADERO MORRO BAY, CALIF. 93442

DRAWING PHASE
COASTAL DEVELOPMENT PERMIT

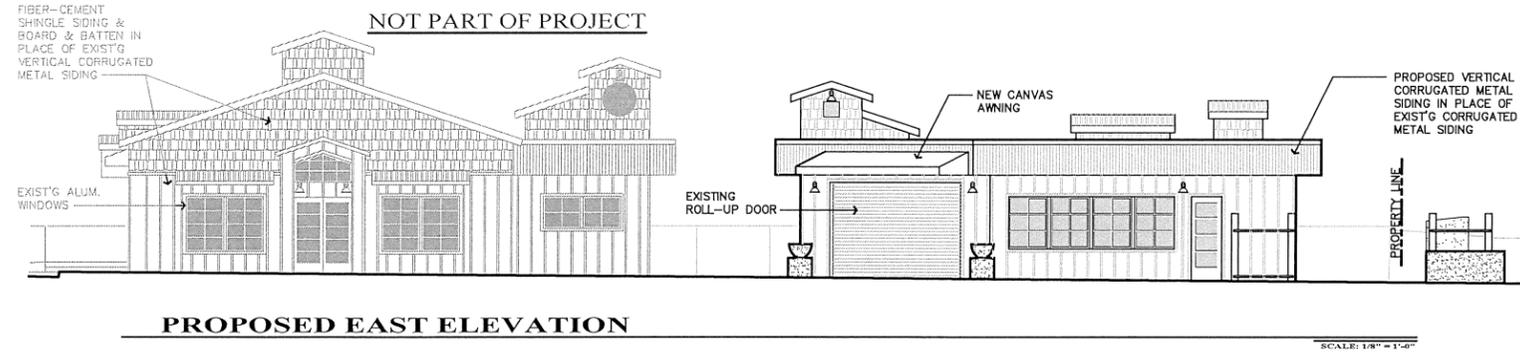
Project No.	19-109
Drawn By	CPP
Dwg. Date	06/08/21
Updated	-
Scale	AS NOTED

REVISIONS

SHEET TITLE
EXTERIOR LIGHTING

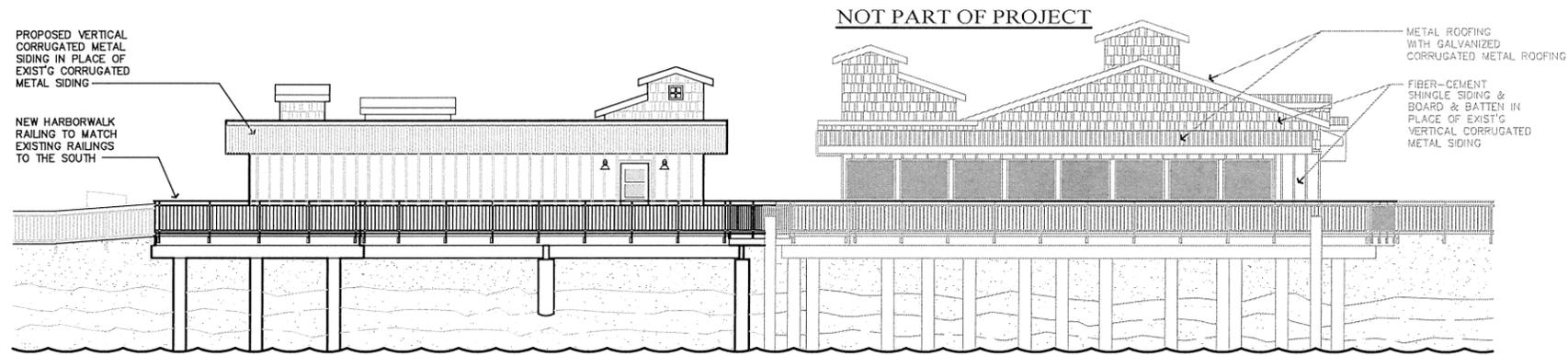
SHEET NO.

A1.4



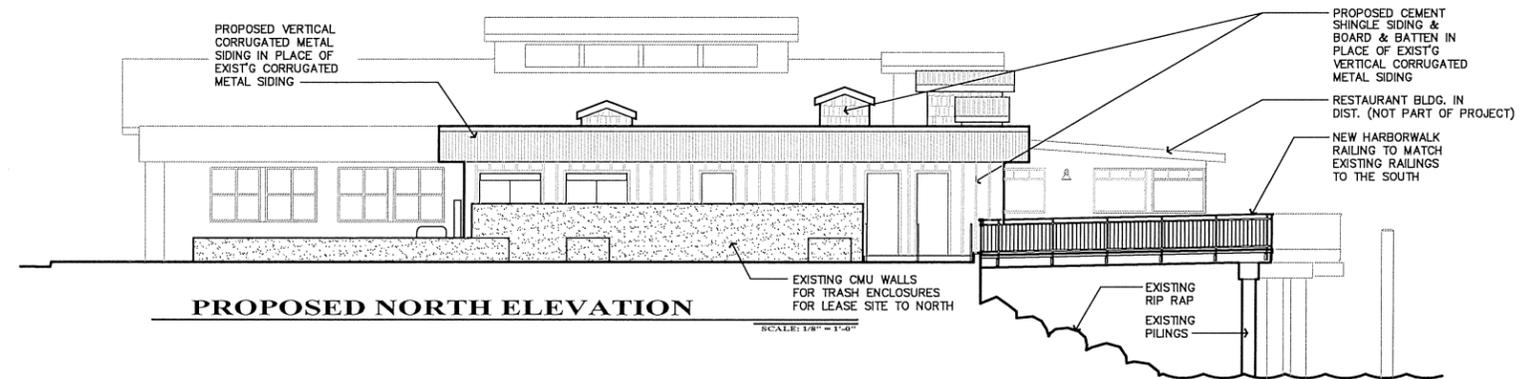
PROPOSED EAST ELEVATION

SCALE: 1/8" = 1'-0"



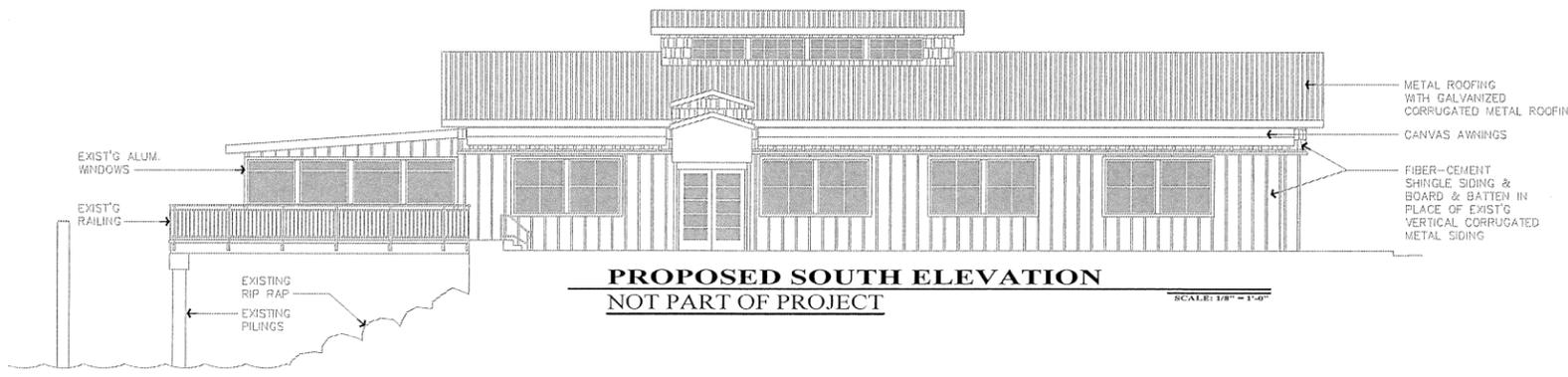
PROPOSED WEST ELEVATION

SCALE: 1/8" = 1'-0"



PROPOSED NORTH ELEVATION

SCALE: 1/8" = 1'-0"



PROPOSED SOUTH ELEVATION

SCALE: 1/8" = 1'-0"

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STAMPS



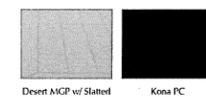
OUTSIDE FURNITURE



MARINE GRADE POLYMER TOP TABLE
42" ROUND DINING HEIGHT TABLE W/ HOLE



Table Top	
Item Number	T12KPG6
Frame Type	Tubular Aluminum / MCP
Retail Warranty	3 years
Contract Warranty	3 years
Packaged Weight	30 lbs
Carton Cube	4.9 f3
UPS-able	No
Assembly Required	Yes
Pack Count	1



COLOR DIRECTIONS: We try extremely hard to ensure our photos are as life-like as possible, but please understand the actual color may vary from your monitor. To ensure accuracy, please refer to actual name and fabric swatches.

www.TelescopeCasual.com

Table Base	
Item Number	2WSKLEG
Frame Type	Not Applicable / None
Retail Warranty	15 years
Contract Warranty	3 years
Overall Height	28.5 in
Packaged Weight	17 lbs
Carton Cube	2.6 f3
UPS-able	Yes
Assembly Required	Yes
Pack Count	1

PROJECT

VAN BEURDEN HARBORWALK MODIFICATION & FACADE UPDATE

715 EMBARCADERO
MORRO BAY, CALIF.
93442

DRAWING PHASE

COASTAL DEVELOPMENT PERMIT

Project No.	19-109
Drawn By	CPP
Dwg. Date	06/08/21
Updated	-
Scale	AS NOTED

REVISIONS

SHEET TITLE

HARBORWALK ELEVATIONS

SHEET NO.

A2.1

RATANA Sun Valley Stacking Arm Chair Aluminum FN23212SJA

Safari Java (SJA)



Dimensions:	
Overall Height:	31.5"
Seat Height:	17.5"
Depth:	23"
Width:	24"
Arm Height:	26"
Weight:	13 LBS

Colors Available:



- Aluminum frame
- Stackable
- Table and chairs with adjustable legs
- Max Weight Load 350 LBS

Living the Dream
www.ratanacontract.com

1.866.919.1881
sales@ratana.com



City of Morro Bay Planning Commission

CONDITIONAL USE PERMIT
MAJOR MODIFICATION
(MAJ20-004)

715 EMBARCADERO RD

CONVERSION OF FISHING WHARF TO NEW HARBORWALK
PUBLIC ACCESS IMPROVEMENTS,
448SF RETAIL SPACE,
NEW 461SF PUBLIC OUTDOOR DINING,
AND RELATED FAÇADE IMPROVEMENTS

APPLICANT: VAN BUERDEN

AGENT: CATHY NOVAK CONSULTING

JULY 20, 2021



MORRO BAY
PUT LIFE ON COAST



Existing Building- Dolphin Shirt Co.



MORRO BAY
PUT LIFE ON COAST

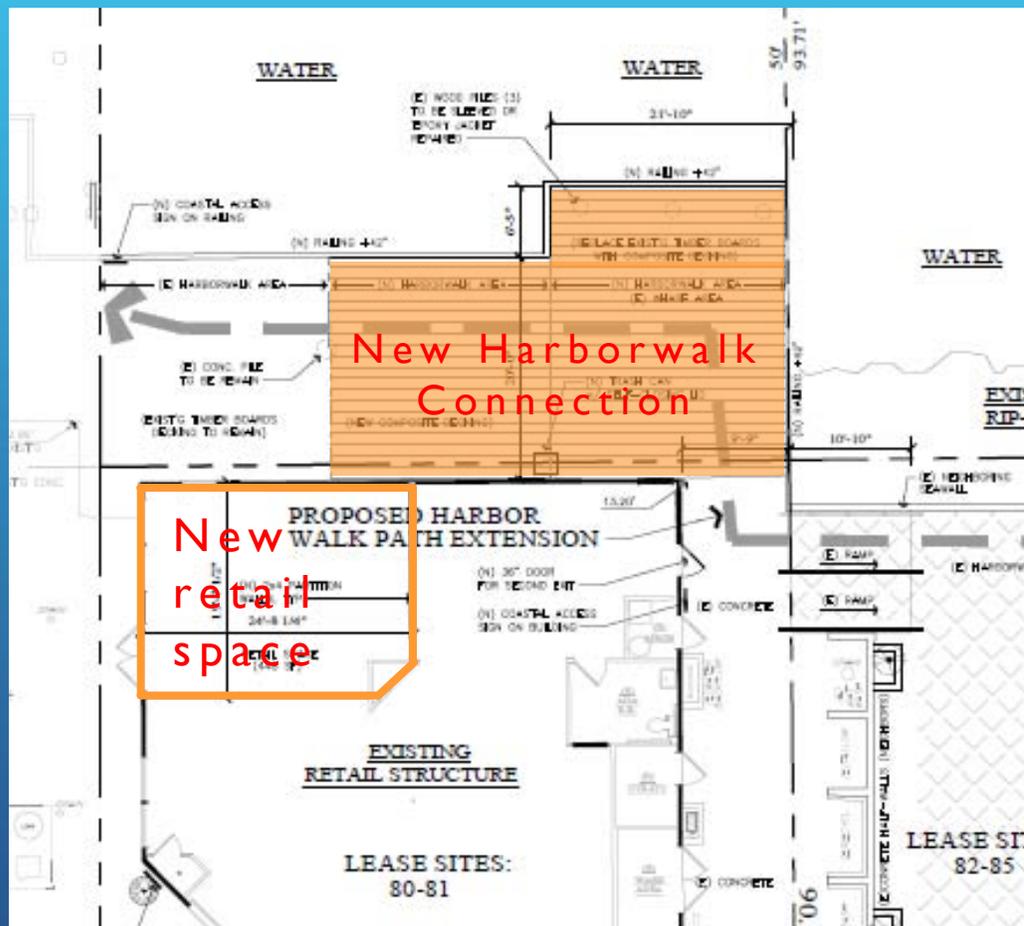
PROPOSED DEVELOPMENT

1. Commercial Fishing Wharf: Demolish 445sf of the existing 1,025sf fish processing wharf including removal of 5 existing wood pilings.
2. Public Access: Install new 10 foot Harborwalk coastal public access and additional 10 foot wide fiberglass deck, removal of a 580sf outdoor covered patio and windscreen, removal of 5 existing wood pilings and repair of 3 existing piling to support the new Harborwalk;
3. Retail Space: Conversion of 448sf retail space within the existing retail building to create a second retail space;
4. Public Outdoor Dining Area: New 461sf of street-facing public outdoor dining as two separate areas of 313sf and 148sf

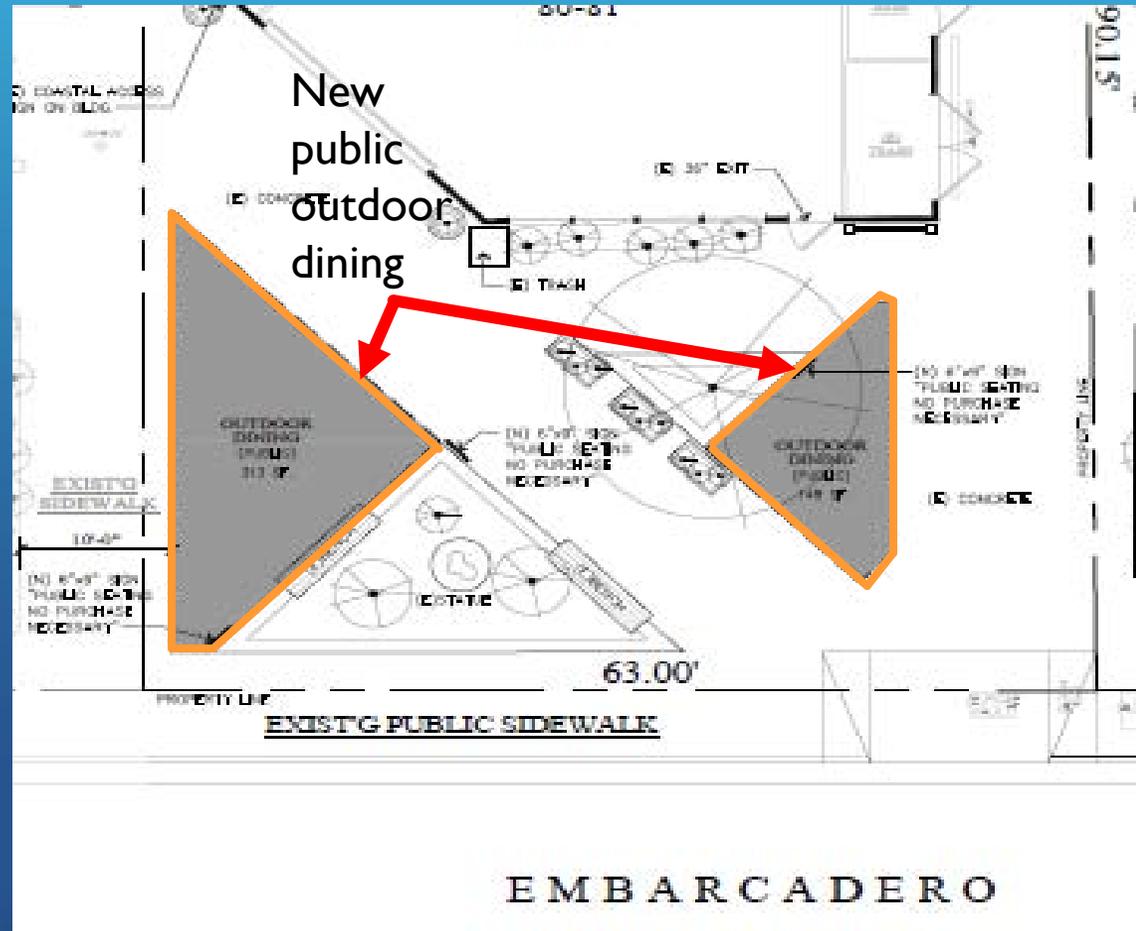


MORRO BAY
PUT LIFE ON COAST

Proposed Site Plan

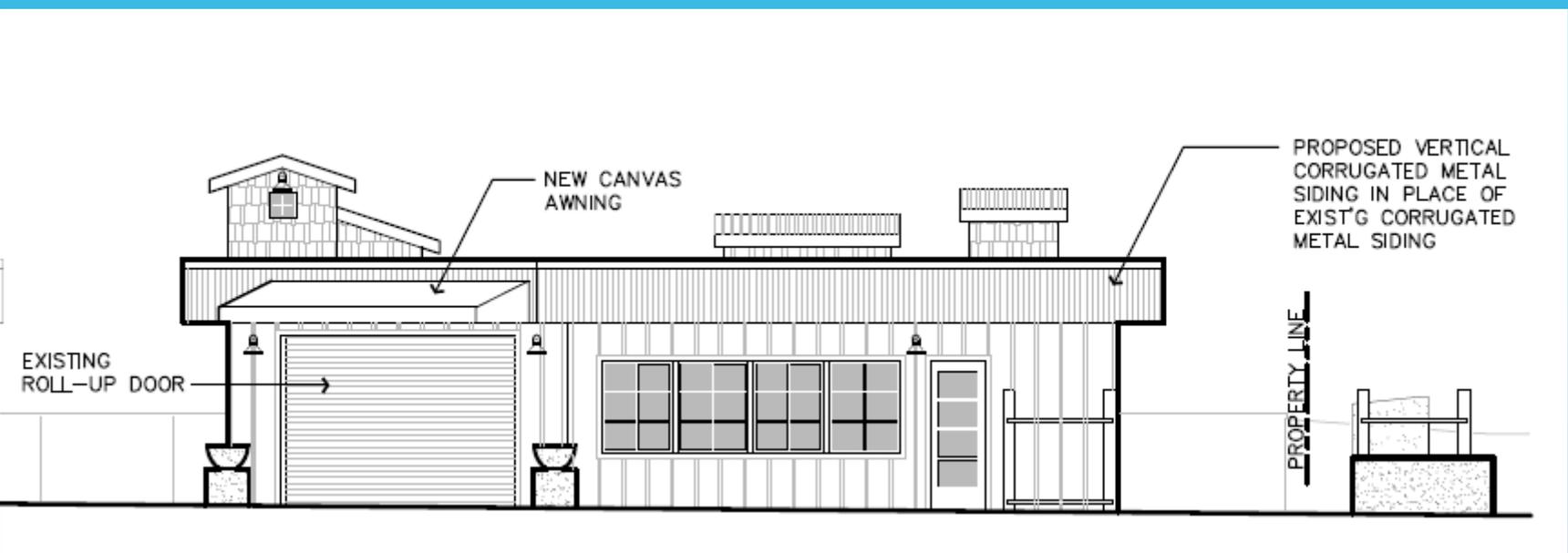


West side (bay) of lease site

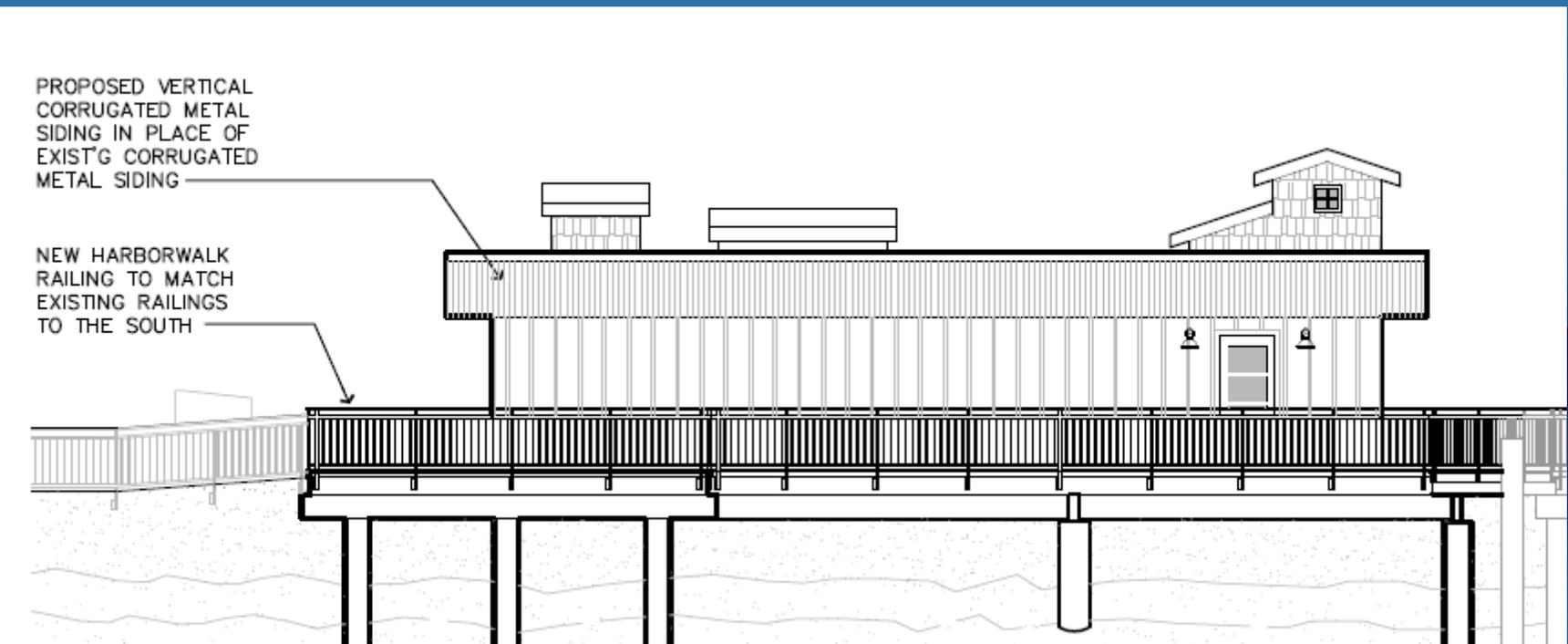


East side (street) of lease site





Proposed Elevations, East and West





EXISTING FACADE

Visual Simulations – Existing Street view



MORRO BAY
PUT LIFE ON COAST



PROPOSED FACADE

Visual Simulations – Proposed Street view



MORRO BAY
PUT LIFE ON COAST



PROPOSED FACADE



EXISTING FACADE

Visual Simulation – Existing & Proposed Bayside with new Harborwalk

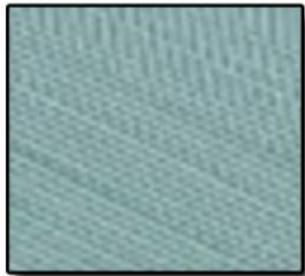


MORRO BAY
PUT LIFE ON COAST

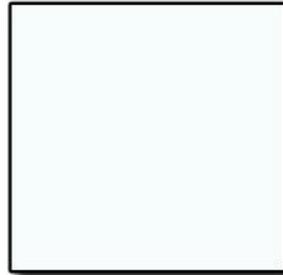
Color, Materials, Lighting, & Proposed Seating



ROYAL BLUE ACCENTS



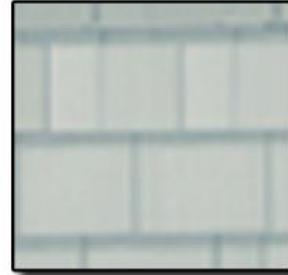
GALV. METAL ROOFING



WHITE WINDOWS & TRIM



LT. GRAY BOARD & BAT.



MED. GRAY SHINGLES

OUTSIDE FURNITURE

Telescope
CASUAL FURNITURE USA 1988

MARINE GRADE POLYMER TOP TABLE
42" ROUND DINING HEIGHT TABLE W/ HOLE



Table Top	
Item Number	1124FNS
Frame Type	Tubular Aluminum / WCP
Retail Warranty	3 years
Contract Warranty	3 years
Packaged Weight	38 lbs
Carton Cube	4.983
UPS-able	No
Assembly Required	Yes
Pack Count	1

Table Base	
Item Number	20W5LEGG
Frame Type	Not Applicable / None
Retail Warranty	15 years
Contract Warranty	3 years
Overall Height	28.5 in
Packaged Weight	17 lbs
Carton Cube	2.683
UPS-able	Yes
Assembly Required	Yes
Pack Count	1

Direct WCP w/ Staked Base PC

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www.TelescopeCasual.com

RATANA Sun Valley Stacking
Arm Chair Aluminum
FN23212SJA

Safari Java (SJA)



Dimensions:

- Overall Height: 31.5", Seat Height: 17.5"
- Depth: 23"
- Width: 24"
- Arm Height: 26"
- Weight: 13 LBS

Colors Available:



Safari Java

- Aluminum frame
- Stackable
- Table and chairs with adjustable legs
- Max Weight Load 350 LBS

 Living the Dream
www.ratanacontract.com

1.866.919.1881
sales@ratana.com

Westinghouse SPECIFICATION SHEET

Item Number: 6360500 Orson

1 Light 1 FT Wgt Fixture Weathered Steel Finish with Clear Prismatic Lens



Specifications:

- Height: 1.61"
- Width: 10.43"
- Extension: 11.61"
- Height from Center of Outlet Box: 5.08"
- Back Plate: D: 6.98"
- Hours: 20000
- Life (years): 8.2
- Fixture Lumens: 890
- Light Source Lumens: 840
- Kelvin: 2700K
- Equivalent Incandescent Wattage: 40W
- Includes: 9 Watt Integrated LED

PROPOSED WALL SCONCE



MORRO BAY
PUT LIFE ON COAST

Signage



Planning Condition #7 recommended to address non-conforming window signage. Current sign ordinance requirements limit window signs to no more than 25% of window surface area

Staff Recommendation:

Forward a favorable recommendation to City Council to conditionally approve the project (#MAJ20-004) as a combined Concept/Precise approval by adopting Resolution 15-21 which includes the Finding and Conditions of Approval for the CUP major modification depicted on plans received June 8, 2021.





AGENDA NO: C-1

MEETING DATE: July 20, 2021

Staff Report

TO: Planning Commission

DATE: July 14, 2021

FROM: Scott Collins, City Manager and Scot Graham, Community Development Director

SUBJECT: City Council Goals and Objectives Update, and Receipt of Planning Commission Input for the Upcoming 2021/2022 Goals and Objectives Setting Process

RECOMMENDATION

Staff recommends the Planning Commission (PC) receive the staff update on the City Goals progress and provide input regarding goals and actions items to share with City Council ahead of their review of the City Goals for 2021/2022.

ALTERNATIVES

None.

FISCAL IMPACT

There will be no immediate fiscal impact related to the recommendation.

BACKGROUND

City of Morro Bay Strategic Framework Policy and Community Outreach

In 2018, City Council revised the Strategic Framework Policy, which sets out the process for how the City adopts its strategic goals and objectives. According to the Policy, every two years, following a general election, City Council is to review (and amend if appropriate) its high-level City goals. The goals are intended to set the direction for the City for the next several years.

In order to ensure City goals relate back to the community's needs and desires, the Policy further dictates the City conduct outreach to the public to seek input in a variety of methods. Those methods include online survey(s), emails to City Council, community forums and City advisory boards/commissions. In previous years, the City has used an online engagement tool (Polco) whereby members of the community can complete simple surveys about how they feel the City is doing and what it should focus on in the upcoming years. In addition, the City hosted community forums to collect public input.

Following the Community Forum, City Council typically works with staff to create a focused set of goals for the next two years and select action items for the City to pursue during that period and inform budget decisions.

Prepared By: SC

Dept Review:

City Manager Review: SC

City Attorney Review:

Progress on Current City Council Goals and Objectives

Current City Council Goals

The City goals and related action items for calendar years 2019 and 2020 were formally adopted by City Council in May 2019. The City adopted four major goals that reflect the concerns and desires of the community. In early 2021, Council also added a temporary goal related to the COVID-19 pandemic. The goals are as follows:

- 1) Achieve Economic and Fiscal Sustainability
- 2) Improve Infrastructure and Public Spaces
- 3) Complete Updates to the City's Significant Land Use Plans and Address Affordable Housing Issues
- 4) Improve Communication and Engagement with the Community
- 5) Temporary goal for the COVID-19 pandemic public health response and response to the economic impact of the pandemic.

Each of the goals have several corresponding action items which, if implemented, would help bring the Council goals into reality. In establishing the 2019 and 2020 Goals, City Council was particularly interested in establishing an achievable work plan and stated the Council Members' desire to receive regular updates as to the status of the action items. The spreadsheet provided as Attachment 2 serves as a template to review progress toward each of the action items. For each action item, there are columns for proposed return dates to Council for further consideration/action and status updates. Council approved a total of 26 action items for 2019 and 2020. City Council Members also expressed support for a commitment to not adding new goals/action items after the goals have been adopted, without first removing or delaying an already approved goal/action item (policy adopted through recent revisions to the City Council policy handbook).

Progress on Current Goals and Action Items

City progress on completing action items has slowed as a result of the organization shifting focus to addressing the public health and economic impacts related to the COVID-19 pandemic. The City continues to monitor and respond to the pandemic and has taken comprehensive actions to assist community members and local businesses, while sustaining the process of stabilizing the City's financial recovery. Despite that, City staff has made progress on action items, and remains committed to doing so. The attached spreadsheet demonstrates completed action items (highlighted in green), items with significant progress completed (yellow highlighted items), and other items that require more work and will be addressed in 2020 or beyond (no highlight).

The following 2019 - 2020 action items have been completed:

- *"Bring forward a comprehensive set of revenue enhancement options for City Council consideration."* Council reviewed multiple revenue options in 2019, conducted community engagement throughout 2020 and placed a sales tax measure on the November 2020 ballot (Measure E). Measure E was approved by the voters and goes into effect in April 2021. Council has also asked staff for more information Harbor specific revenue enhancement options.
- *"In support of achieving economic development goals and limiting City costs in that pursuit, contract with an outside agency to fulfill economic development Ombudsmen duties on behalf of the City."* City Council approved a contract with the Chamber of Commerce to provide these services to the City in FY 2020/21 through the annual budget process.

- *“Review opportunity to include vacation rentals and recreational vehicle parks into Tourism Business Improvement District (TBID).”* City Council reviewed options in August 2019 and directed staff to move forward with bringing vacation rentals into the TBID by early 2020.
- *“Revise the partnership policy, and related policies, in conjunction with the fee study update.”* City Council approved a revised partnership policy in late 2019.
- *“Review option to revise cannabis ordinance to allow for adult-use (recreational) cannabis retailing in Morro Bay.”* City Council approved allowing adult-use cannabis on June 9, 2020, and requested staff review of other cannabis opportunities.
- *“Complete a detailed review of the CalPERS pension liability, other post-employment benefits and health liability and determine specific actions to minimize financial impact to the City.”* City Council provided direction to staff for a refined analysis on PERS liability paydown for certain tiers. Council then approved actions to pay down liabilities for tier-two employees in early 2020.
- *“Include local labor on major City capital improvement projects (CIP), with the WRF being the initial project.”* City Council directed staff to include local hire provisions into the conveyance and injection wells systems construction contracts. In May 2020, Council approved language for bid documents related to local labor for those project components.
- *“Revise the short-term vacation rental policy.”* City Council approved the Vacation Rental Ordinance in October 2020. Staff submitted Coastal Development Permit application to Coastal Commission in December 2020 and anticipate Coastal review in fall 2021.
- *“Complete the General Plan/Local Coastal Plan rewrite.”* City Council approved the environmental review and adopted "Plan Morro Bay" the City's update to its GP/LCP in May 2021. Staff sent the approved documents to the California Coastal Commission for review. Anticipate Coastal review in late summer/early fall 2021. The City's Housing Element has also been adopted and staff is working on implementation.

Significant progress has been made on the following 2019 - 2020 action items:

- *“Complete and implement the fee study and cost allocation plan.”* City Council approved the new fee structure in late 2019, with a few remaining fees that require their review (development impact fees). Those remaining fees will be brought forward to Council in fall 2021.
- *“Establish Waterfront Lease Site policies and implementation plan.”* City Council approved the final policy and provided direction to staff on June 23, 2020. Staff is working on a plan to evaluate contracting options for lease management services.
- *“WRF Implementation, which includes completing design of the facility, pipeline conveyance and injection system, permitting the project, securing financing for entire project and beginning construction.”* WIFIA line of credit for \$61 million was approved by the City, construction is underway on WRF facility site and the pipeline components of project. In late June 2021, the City received approval from the State for a \$61 million loan and \$5 million grant from the State Revolving Fund (SRF) funding. Studies also continue on injection wells.
- *“Implement approved Capital Improvement Projects, including OneWater Projects.”* City Council approved contracts for design work on three OneWater projects in early 2020. Design work has been initiated.
- *“Complete the zoning code update.”* Staff will bring this back to the Planning Commission in fall 2021. Following Planning Commission review, City Council will review.

- *“Work with San Luis Obispo County and cities therein on a regional partnership and solutions to housing issues.”* The City joined the Regional Compact with the County and other cities in the County. City staff will present updates on housing related issues to City Council throughout the year. The City completed the Housing Element prior to the end of calendar year 2020 and is coordinating implementation activities regionally.
- *“Review and make improvements, where feasible, to the planning permit process.”* Chamber completed a survey of key stakeholders in fall of 2020. Staff presented the survey results and related recommendations to Council on a process to review the planning and building function in November 2020. Planning Commission has formed a subcommittee to assist with this endeavor and staff in the process of implementing improvements to the City Project tracking software (Cityworks) to facilitate online submittals and electronic plan checks to reduce turnaround times. Council approved the recommendations to continue this effort.
- *“Complete and bring to Council a Parking Management Plan to address parking issues in the downtown and waterfront areas.”* City Council/advisory boards to review parking data analysis and parking management options (as developed by the City’s parking consultant) and provide initial direction in summer/fall 2021.

The remaining action items have had some work completed and staff continues to work diligently on completion of them. The following is a quick snapshot of those items:

- Market Street Plaza redevelopment.
- Continued work with federal agencies and elected representatives on offshore wind development.
- Outreach on opportunity sites in Morro Bay.
- Assist in development of a business incubator/co-working space in Morro Bay.
- Pursue grants for Boatyard feasibility study.
- Bring hi-speed internet to Morro Bay.
- Pursue grant funding for an emergency warming shelter in Morro Bay.
- Coordination with non-profits and community groups to provide services to the community.

DISCUSSION

The original plan was to initiate the community outreach process for reviewing the City Goals in early 2021 in accordance with the City policy. Staff typically initiates outreach to the community and advisory boards in January and February, and then host a community forum(s) in March. From there, City Council would meet to determine the City goals and action items for 2021 and 2022, at the outset of the FY 2021/2022 Budget process to help inform budget decisions. In a typical year, that approach would be advisable and certainly achievable for the organization. With the City’s existing resources diverted to the pandemic effort, budget constraints and in the position of rebuilding reserves, and advisory boards not properly positioned to provide comprehensive input related to goals, Council approved delaying the goal setting process be delayed until closer to midyear 2021.

Goal Process Timing

Staff will be seeking input from the community from June through August 2021. Staff will use the same methods of outreach in the past to garner community input, including surveying and gathering input from City advisory boards and commissions. Staff will summarize that input into a report for City Council in advance of the community forum to be held later this year, likely in September. The

forum is another opportunity for the public to engage in the process and also an opportunity for the Council to deliberate as a body about the public input and formulate together their goals for the next 18 months (through the end of 2022). As in years past, staff recommends the forum be facilitated by a professional third party to allow full Council and staff participation in the process.

Following the community input period and forum, City Council will then formalize the City goals and action items for 2021 – 2022. The key considerations for the City Council in developing goals and action items are to:

- 1) Ensure they reflect the current needs and desires of the community
- 2) Are achievable given existing City resources (staff and revenues)

The new Council goals and action items will help inform the work plans for the City’s advisory boards and commissions for the remainder of 2021 and all of 2022.

PC/Community Development Department Specific “Action Items”

The PC and Community Development staff have provided input to the City Council in years past, which helped Council in forming and approving the existing goals and related action items. The currently active action items that have bearing on the Community Development Department and PC are as follows:

- Review of parking management options
- Market Street Redevelopment
- Planning process improvement effort
- Zoning Code update effort
- Work with SLO County and cities on a regional partnership and solutions to housing issues

Goals for Consideration by Planning Commission

Staff has assembled a list of items for consideration by the Planning Commission for inclusion in a recommendation to Council for the 2021-2022 goal setting process. Ten items are provided below, and staff would like the Commission to identify the top 5 to be forwarded to Council. The Commission may consider other items, not on the list, if so desired. The proposed goal items noted in the table below are taken from the implementation sections of the recently adopted Housing Element & General Plan/Local Costal Program. Items have been placed in a table format with columns denoting Item Goal number, description Item, Funding Source, Staff/PC or Consultant work item, Priority # (left blank to be determined by PC) and Notes.

Goal #	ITEM	FUNDING SOURCE	STAFF/CONSULTANT	Priority #	NOTES
1	Update Residential Design Guidelines by character area	General fund	Staff/PC/maybe consultant for artwork		
2	Develop commercial design guidelines	General fund	Staff/PC/maybe consultant for artwork		
3	Update waterfront masterplan	General fund/could be grant	Consultant		

		eligible			
4	Housing element implementation	Grant funded	Staff/PC		This is already underway and includes residential by right policy development, objective design standards, updating of the city inclusionary housing, ADU and density bonus policies. Development of stock ADU plans.
5	Explore opportunities for establishment of Community Financing Districts and/or Business Improvement Districts	General fund	Staff		Could be used for infrastructure improvements, public amenities City commercial areas (e.g., Benches, planters)
6	Develop incentive program such as reduced development impact fees, expedited review processes for businesses that pay a living wage	General fund	Staff		
7	update the Bike and Pedestrian Master plan, could include complete streets plan	General fund/could be grant eligible	Consultant		
8	Develop Historic Preservation ordinance	General fund	Could be Staff and PC		MB Historic Society has provided City a draft ord. Doesn't include an inventory
9	update the climate action plan	General Fund/could be grant eligible	Staff/PC/Consultant		City is working with the other jurisdictions in the County on jointly updating the CAP
10	Establish a Tree bank program	General fund	Staff/PC		

Questions for the PC

- 1) Do the current City goals (identified in the beginning of this report) address the needs and priorities of the community, particular in relation to Community Development areas of responsibility?
 - i. If not, are there other goals that the City should consider adding or current goals that should be removed or refined?
- 2) Do the current action items related to the Community Development Department reflect priority needs?
 - i. If not, are there other action items the City should consider adding or current

action items that should be removed or refined?

In answering these questions, PC members should keep in mind the available staffing resources. Therefore, it is important to develop a list of priority action items for Council consideration that can be achieved within the context of all the other City goals and action items. Narrow focus will ensure that the priorities are more likely to be achieved.

CONCLUSION

Updating the City Council goals is an important process to ensure that City goals link back to the current needs and desires of the community. Given the special circumstances related to the COVID-19 pandemic, the goal setting process was delayed several months to allow the organization to stabilize the budget and focus staff resources on the pandemic response. Now is the appropriate time to receive input from the community, including the City's advisory boards and commissions. Input from the community and boards and commissions will help bring the various points of public input together as Council begins its process of identifying priority goals and works with City staff to develop a work plan to systematically achieve them through allocation of budget and staff resources.

ATTACHMENTS

1. 2019 – 2020 Goals and Action Items Spreadsheet

City Council Goals and Action Items for 2019 and 2020

These are the City Council Goals and priority action items for 2019 and 2020, constituting the main work plan for the City.

Goal #1: Achieve Financial Sustainability and Economic Sustainability					
Item #	Action Items	Departments Involved	Lead Department	Anticipated Council Date/Completion	Current Status
1)	Complete and implement the fee study and cost allocation plan.	All	Finance	City Council approved the new fee schedule in late 2019, with the Development Impact Fees left for Council review in Summer/Fall 2021.	Rate increases for majority of fees have gone into effect, as of January 1, 2020. Other fees being phased in over several years. Staff completing development impact fees review, and will seek input from Chamber/Government Affairs Committee.
2)	Review option to revise cannabis ordinance to allow for adult-use (recreational) cannabis retailing in Morro Bay.	City Manager, Police, Fire and Finance	Planning, City Attorney	City Council approved allowing adult-use cannabis on June 9, 2020, and requested staff review of other cannabis opportunities.	One retailer opened business in October 2020, and second retailer currently has building under construction, with goal to open in Spring 2021.
3)	Redevelop the Market Street Plaza lot for visitor serving accommodations, with significant community benefit to include public improvements to the Centennial Plaza.	City Attorney, Finance	Planning, City Manager	City Council will review proposals if they are submitted.	Some interest in developing the property, but no progress to report at this time.
4)	Review and make improvements, where feasible, to the planning permit process.	City Manager, Public Works, Fire, Harbor	Chamber, Planning	City Council to review a resolution in Fall 2021 (which includes goals and metrics for the planning process) and receive regular updates on progress.	Chamber completed a survey of key stakeholders in fall of 2020. Staff presented recommendations on a process to review the planning and building function in November 2020.
5)	Bring forward a comprehensive set of revenue enhancement options for City Council consideration.	All	City Manager, Finance	Measure E will go into effect April 2021. Staff will present information to Council in June 2021 regarding Harbor specific revenues.	City Council placed Measure E (1 cent sales tax measure) on the November 2020 Ballot. Community approved Measure E. Council requested information regarding other revenue sources in response to the pandemic's impact on City finances. Council requested staff review of Harbor specific revenues in April 2021.
6)	Conduct outreach on the current opportunity sites within Morro Bay, including, but not limited to the decommissioned power plant.	Planning, City Manager, Harbor, Tourism	Chamber	Staff will provide updates to City Council.	On-going effort by the City and Chamber.
7)	In support of achieving economic development goals and limiting City costs in that pursuit, contract with an outside agency to fulfill economic development Ombudsmen duties on behalf of the City.	Planning, Tourism, Harbor	City Manager	City Council to receive quarterly updates from the Chamber.	City Council approved contract with Chamber to provide this service to the City.
8)	Continue to pursue locating a new aquarium in the water front area, in partnership with Cal Poly and Central Coast Aquarium.	City Manager, Planning, Tourism	Harbor	No updates planned at this time.	Project is on hold indefinitely as Central Coast Aquarium restructures following closure of their Avila Beach Aquarium due to the COVID-19 pandemic.
9)	Establish Waterfront Lease site policies and implementation plan.	Harbor, Planning, City Manager, Finance	Harbor	City Council approved final policy and provided direction to staff on June 23, 2020. Staff will report out on contracting options in late 2021/early 2022.	Staff in process of reviewing contracting out options for lease management services.
10)	Continue to pursue offshore windfarm development, with a short-term focus on ensuring the Federal Government approves a windfarm lease site near Morro Bay.	City Manager, Planning, City Attorney	Harbor	Staff will provide updates to City Council.	City Council approved Community Benefits Agreement with Castle Wind in 2018. Staff and Council sub-committee working with State and Federal representatives. Biden Administration announced agreement to move forward Offshore Wind in May 2021.

City Council Goals and Action Items for 2019 and 2020

11)	Review opportunity to include vacation rentals and recreational vehicle parks into Tourism Business Improvement District (TBID).	City Manager	Tourism	No further Council action required.	Council approved bringing VRs into the TBID. Goes into effect in mid-January 2020.
12)	Facilitate coordination and development of a business incubator/co-working space in Morro Bay.	City Manager, Planning	Ombudsmen	Staff will provide updates to City Council.	Chamber and staff will review opportunities in 2020 for business incubation/co-worker space.
13)	Complete a detailed review of the CalPERS pension liability, other post employment benefits and health liability and determine specific actions to minimize financial impact to the City.	Finance	City Manager	City Council approved actions in early 2020. Staff will present information to Council regarding potential increases in Summer/Fall 2021.	Council reviewed detailed report in August 2019 and directed staff to bring back refined analysis for liability paydown options. Council reviewed and approved actions in early 2020.

Goal #2: Improve Public Infrastructure

Item #	Action Items	Departments Involved	Lead Department	Anticipated Council date/Completion	Current Status
1)	WRF Implementation, which includes completing design of the facility, pipeline conveyance and injection system, permitting the project, securing financing for entire project and beginning construction.	Public Works, Planning, City Attorney	WRF Program Manager, City Manager	Review project progress.	WIFIA line of credit approved, construction underway on WRF facility site and conveyance/pipeline components of project, and SRF Loan/Grant approved by the State. Studies continue on injection wells.
2)	Include local labor on major City capital improvement projects (CIP), with the WRF being the initial project.	City Attorney, Public Works, Finance	WRF Program Manager, City Manager	City Council approved language to add to bidding documents at their May 26, 2020 meeting.	City Council directed staff to include local hire provisions in contracts for conveyance and injection well system components of the WRF project.
3)	Complete and bring to Council a Parking Management Plan to address parking issues in the downtown and water front areas.	City Manager, Finance, Harbor, Planning, Public Works	City Manager	City Council to review parking data analysis and parking management options and provide initial direction in Fall 2021.	City contracted with firm to conduct initial parking study. Parking counts completed, and contractor completed analysis. Outreach to community will begin in Summer 2021.
4)	Harbor Advisory Board to pursue grants for an RFP for marine services facility (boatyard) feasibility study and bring forward information to City Council for next steps.	City Manager	Harbor	City Council to review options sometime in 2020/2021.	Staff reviewing options for feasibility study (no responses to RFP in 2018), and looking at funding opportunities.
5)	Pursue a public-private partnership to increase business and residential access to hi-speed internet in Morro Bay.	All	City Manager	City Council to review options in 2021.	Staff reviewing options.
6)	Implement approved Capital Improvement Projects, including OneWater Projects.	Public Works, City Manager	Harbor	City Council to review construction bids in 2021/2022, following completion of design work.	City Council approved contracts for design work on 3 OneWater projects in early 2020. Design work initiated.

Goal #3: Improve Communication and Community Engagement

Item #	Action Items	Departments Involved	Lead Department	Anticipated Council date/Completion	Current Status
1)	Work to develop stronger coordination, and processes, with community groups in support of advancing mutually beneficial initiatives and goals.	All	City Manager	Staff to provide updates to City Council. Will bring new partnership agreements for Council review in 2021.	Will be an on-going effort. Next step includes outreach to volunteer groups in Morro Bay.

City Council Goals and Action Items for 2019 and 2020

2)	Revise the partnership policy, and related policies, in conjunction with the fee study update.	Finance	City Manager, Recreation, Tourism	Staff will bring new partnership agreements to Council for review in Summer 2021.	Council approved a revised Partnership Policy in late 2019.
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Goal #4: Complete Updates to the City Major Land Use Plans and Address Affordable Housing Issues					
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Item #	Action Items	Departments Involved	Lead Department	Anticipated Council date/Completion	Current Status
1)	Complete the General Plan/Local Coastal Plan rewrite.	City Manager	Planning	City Council approved this in May 2021.	Shipped off to Coastal Commission for review. Coastal to review late Summer 2021.
2)	Complete the Zoning Code update.	City Manager, Public Works	Planning	Staff likely to bring draft plans to City Council in Fall/Winter 2021, following Planning Commission review.	Planning Commission will begin review of Zoning Code in Fall 2021.
3)	Revise the vacation rental policy.	City Manager, Finance, Public Works, City Attorney	Planning	Staff will provide regular updates to City Council on the progress of the Coastal Development Permit and implementation of the new ordinance.	City Council approved the Vacation Rental Ordinance in October 2021. Staff submitted Coastal Development Permit application to Coastal Commission in December 2020, and anticipate Coastal review in Spring/Summer 2021.
4)	Work with San Luis Obispo County and cities therein on a regional partnership and solutions to housing issues.	Planning, Public Works, Finance	City Manager	Council approved Regional Housing Compact. Staff will provide updates to City Council in 2021.	Staff coordinating with County of SLO staff on housing and infrastructure planning. The City completed the Housing Element, and is coordinating implementation regionally.
5)	Pursue grant funding to develop an emergency warming shelter in Morro Bay.	Public Works, Recreation, Finance	City Manager	Staff will provide an update to City Council on the new funding opportunity once information is made available by the County.	City did not receive State funding (HEAP Grant). Coordinating with County on a new funding opportunity.