



# CITY OF MORRO BAY PLANNING COMMISSION AGENDA

*The City of Morro Bay provides essential public services and infrastructure to maintain a safe, clean and healthy place for residents and visitors to live, work and play.*

**Regular Meeting -Tuesday, October 19, 2021 - 6:00 P.M.  
Held Via Teleconference**

Chairperson – Susan Stewart  
Vice-Chairperson William Roschen  
Commissioner – Vacant  
Commissioner Joseph Ingraffia  
Commissioner Mike Rodriguez

ESTABLISH QUORUM AND CALL TO ORDER  
MOMENT OF SILENCE  
PLANNING COMMISSIONER ANNOUNCEMENTS  
PUBLIC COMMENT PERIOD  
PRESENTATIONS

**Public Participation:**

*In order to prevent and mitigate the effects of the COVID-19 pandemic, and limit potential spread within the City of Morro Bay, in accordance with Executive Order N-08-21, the City will not make available a physical location from which members of the public may observe the meeting and offer public comment. Remote public participation is allowed in the following ways:*

- *Community members are encouraged to submit agenda correspondence in advance of the meeting via email to the Community Development office at [planningcommission@morrobayca.gov](mailto:planningcommission@morrobayca.gov) prior to the meeting and will be published on the City website with a final update one hour prior to the meeting start time. Agenda correspondence received less than an hour before the meeting start time may not be posted until after the meeting.*
- *Members of the public may watch the meeting either on cable Channel 20 or as streamed on the City [website](#).*
- *Alternatively, members of the public may watch the meeting and speak during general Public Comment or on a specific agenda item by logging in to the Zoom webinar using the information provided below. Please use the “**raise hand**” feature to indicate your desire to provide public comment. Each speaker will be allowed three minutes to provide input.*

*Please click the link below to join the webinar:*

➤ <https://us02web.zoom.us/j/82722747698?pwd=aWZpTzcuTHlRTk9xaTlmWVNWRWFUQT09>

Password: 135692

*Or Telephone Attendee: (408) 638-0968 or (669) 900 6833 or (346) 248 7799; Webinar ID: 827 2274 7698; Password: 135692; Press \* 9 to “**Raise Hand**” for Public Comment*

A. CONSENT CALENDAR

- A-1** Current and Advanced Planning Processing List  
**Staff Recommendation:** Receive and file.

B. PUBLIC HEARINGS

- B-1** **Case No.:** CUP20-15 and PKG 20-05  
**Site Location:** 405 Elena Street, Morro Bay, CA  
**Request:** Request for Planning Commission approval of Conditional Use Permit #CUP20-15 and Parking Exception #PKG20-05 for a 362-sf addition to an existing 906 sf home with an attached 375 sf garage. Net of some demo necessary to connect the new addition, the project will result in total livable area after the addition of 1177-sf, plus the existing attached garage of 375-sf. The addition to this existing home requires a Conditional Use Permit because the home is non-conforming, and the addition is larger than 25% of the existing square footage. A parking exception is required because the garage is undersized for a 2-car garage. The parcel is 3106 sf, is in a R-1/S.2 zoning district and is not within the Coastal Appeals Jurisdiction  
**CEQA Determination:** Categorically Exempt, Section 15301, Class 1.  
**Staff Recommendation:** Continue to PC meeting of November 2, 2021  
**Staff Contact:** Nancy Hubbard, Contract Planner [nhubbard@morrobayca.gov](mailto:nhubbard@morrobayca.gov)

C. NEW BUSINESS

- C-1** **Site Location:** 1140 Allesandro Street, Morro Bay CA; APN: 066-095-004  
**Subject:** Conceptual Review of two design schemes for a proposed mixed-use project consisting of 5 new residential condos (townhome-style multi-level construction with shared walls) in a single 2-3 story building. The project is designed with residential frontage on Marengo Drive and the vehicular access, garages and live-work spaces facing Allesandro Street. The project is in a mixed-use zoning district between single family residential on the west and commercial/industrial uses on the east. The design provides parking for 13 cars. The project site is zoned MCR/S.4 and is not within the Coastal Commission Appeals Jurisdiction.  
**Staff Recommendation:** Review and provide input  
**Staff Contact:** Nancy Hubbard, Contract Planner [nhubbard@morrobayca.gov](mailto:nhubbard@morrobayca.gov)
- C-2** Review and consideration of a policy memo to establish design guidelines for public amenities along the waterfront.  
**Staff Recommendation:** Review and provide input  
**Staff Contact:** Scot Graham, Community Development Director;  
[sgraham@morrobayca.gov](mailto:sgraham@morrobayca.gov).
- C-3** Planning Commission requested discussion item regarding potential future removal/demolition of the Vistra Power Plant Stacks.  
**Staff Recommendation:** Review and provide input  
**Staff Contact:** Scot Graham, Community Development Director;  
[sgraham@morrobayca.gov](mailto:sgraham@morrobayca.gov)

D. UNFINISHED BUSINESS

E. PLANNING COMMISSIONER COMMENTS/FUTURE AGENDA ITEMS

F. COMMUNITY DEVELOPMENT DIRECTOR COMMENTS

G. ADJOURNMENT

Adjourn to the next regular Planning Commission meeting on November 2, 2021 at 6:00 p.m. via teleconference.

**PLANNING COMMISSION MEETING PROCEDURES**

This Agenda is subject to amendment up to 72 hours prior to the date and time set for the meeting. Please refer to the Agenda posted at the Community Development Department, 955 Shasta Avenue, for any revisions, or call the Department at 805-772-6264 for further information.

Written testimony is encouraged so it can be distributed in the Agenda packet to the Commission. Material submitted by the public for Commission review prior to a scheduled hearing should be received by the Planning Division at the Community Development Department, 955 Shasta Avenue, no later than 5:00 P.M. the Tuesday (eight days) prior to the scheduled public hearing. Written testimony provided after the Agenda packet is published will be distributed to the Commission but there may not be enough time to fully consider the information. Mail should be directed to the Community Development Department, Planning Division.

This Agenda may be found on the Internet at: [www.morrobayca.gov/planningcommission](http://www.morrobayca.gov/planningcommission) or you can subscribe to Notify Me for email notification when the Agenda is posted on the City's website. To subscribe, go to [www.morrobayca.gov/notifyme](http://www.morrobayca.gov/notifyme) and follow the instructions.

The Brown Act forbids the Commission from taking action or discussing any item not appearing on the agenda, including those items raised at Public Comment. In response to Public Comment, the Commission is limited to:

1. Responding to statements made or questions posed by members of the public; or
2. Requesting staff to report back on a matter at a subsequent meeting; or
3. Directing staff to place the item on a future agenda. (Government Code Section 54954.2(a))

Commission meetings are conducted under the authority of the Chair who may modify the procedures outlined below. The Chair will announce each item. Thereafter, the hearing will be conducted as follows:

1. The Planning Division staff will present the staff report and recommendation on the proposal being heard and respond to questions from Commissioners.
2. The Chair will open the public hearing by first asking the project applicant/agent to present any points necessary for the Commission, as well as the public, to fully understand the proposal.
3. The Chair will then ask other interested persons to present testimony either in support of or in opposition to the proposal.
4. Finally, the Chair may invite the applicant/agent to respond to the public testimony. Thereafter, the Chair will close the public testimony portion of the hearing and limit further discussion to the Commission and staff prior to the Commission taking action on a decision.

**APPEALS**

If you are dissatisfied with an approval or denial of a project, you have the right to appeal this decision to the City Council up to 10 calendar days after the date of action. Pursuant to Government Code §65009, you may be limited to raising only those issues you or someone else raised at the public hearing described in this notice, or in written correspondence delivered to the Commission, at, or prior to, the public hearing. The appeal form is available at the Community Development Department and on the City's web site. If legitimate coastal resource issues related to our Local Coastal Program are raised in the appeal, there is no fee if the subject property is located within the Coastal Appeal Area. If the property is located outside the Coastal Appeal Area, the fee is a \$277 flat fee. If a fee is required, the appeal will not be considered complete if the fee is not paid. If the City decides in the appellant's favor then the fee will be refunded.

City Council decisions may also be appealed to the California Coastal Commission pursuant to the Coastal Act Section 30603 for those projects that are in their appeals jurisdiction. Exhaustion of appeals at the City is required prior to appealing the matter to the California Coastal Commission. The appeal to

the City Council must be made to the City and the appeal to the California Coastal Commission must be made directly to the California Coastal Commission Office. These regulations provide the California Coastal Commission 10 working days following the expiration of the City appeal period to appeal the decision. This means that no construction permit shall be issued until both the City and Coastal Commission appeal period have expired without an appeal being filed. The Coastal Commission's Santa Cruz Office at (831) 427-4863 may be contacted for further information on appeal procedures.

In compliance with the Americans with Disabilities Act, if you need special assistance to participate in this meeting, please contact the Community Development Department at (805) 772-6264. Notification 24 hours prior to the meeting will enable the City to make reasonable arrangements to ensure accessibility to this meeting.



City of Morro Bay  
 Community Development Department  
 Current & Advanced Project Tracking Sheet  
 This tracking sheet shows the status of the work being processed by the Planning & Building Divisions  
 New Planning items or items recently updated are highlighted in yellow.

Agenda No: A-1  
 Meeting Date October 19, 2021

Approved projects are deleted on next version of log.

#	Applicant/ Property Owner	Project Address	Application Date	Permit Numbers	Project Description/Status	Planning Comments and Notations	Building/Fire Comments and Notations	Engineering Comments and Notations	Harbor/Admin Comments and Notations	Project Planner
<b>Hearing or Action Ready Projects:</b>										
1	Luhr	1140 Allesandro Ave	6/28/21	CDP21-026/ CUP21-08	<b>Multiple residential units with live-work options (i.e. a portion of home designated for business usage). Two scenarios submitted for PC conceptual review and feedback.</b>	Provided review comments July 26, 2021. Requires additional information from applicant - once received, will schedule for PC conceptual review. Scheduled for conceptual review at Planning Commission on October 19, 2021.				nh
2	Miagany	405 Elena	12/29/20	CUP20-15 & PKG20-05	<b>Conditional Use Permit &amp; Parking Exception for addition to an existing non-conforming single family home</b>	Under review. Project deemed incomplete and incomplete letter sent 1-21-2021. Awaiting resubmittal. Resubmittal received 3/25/21 and is under review. Application deemed incomplete. Second correction letter sent 4/15/21. Awaiting resubmittal. Resubmittal received 5/20/21. Deemed incomplete 6-14-21, requires resubmittal. Resubmittal received August 11, 2021 and deemed complete on August 16, 2021. Scheduled for Planning commission Hearing on October 19, 2021 - but continued to November 2, 2021 because of incomplete public noticing.				nh
3	Morro Bay Ventures	2783 Coral Ave	7/1/21	MAJ21-005	<b>Five unit subdivision, previously approved for a 6 unit subdivision by City Council.</b>	Project review completed, deemed complete July 19, 2021. Applicant submitted plans for Coisters Design Committee review on September 14, 2021. Scheduled for City Council public hearing on October 26, 2021				nh
4	Hurless	2290 Greenwood Ave	5/7/20	CDP20-007	<b>Admin CDP to legalize ADU from prior construction. Was a previous Code Enforcement issue. Plans difficult to understand.</b>	Correction letter sent 5/18/20. Resubmittal received June 16, 2020 under review. Project deemed incomplete, comment letter sent July 16, 2020. Resubmittal received January 20, 2021. Planning and PW deemed incomplete, comment letter sent 2/6/21. Public works disapproved, planning conditionally approved 3/25/21. Planning deemed incomplete, comments sent 11/29/20. Resubmittal received 4/15/21, under review by PW. PW disapproved, requires resubmittal - comment letter sent 4/28/21. PW information received and project deemed complete September 23, 2021. Preparing for public notice with an administrative decision on October 18, 2021.				nh
5	Cia	2551 Koa Ave	7/26/21	MIN21-008	<b>Changes to previously approved new home - placement on site flipped from previously approved design with reconfigured interior layout. Minor changes in square footage and height.</b>	Review comment provided on August 17, 2021, requires resubmittal. Project deemed complete on September 28, 2021, public noticing through 10/21/21 with administrative decision on October 22, 2021				nh
6	Stanford	121 Easter	9/2/21	CDP21-037	<b>Admin CDP for conversion of existing space for JADU and building renovations.</b>	Project deemed complete, ready for noticing. Notice started 9/27/21. Noticing Complete, Permit Approved and Issued				am
<b>30 -Day Review, Incomplete or Additional Submittal Review Projects:</b>										

#	Applicant/ Property Owner	Project Address	Application Date	Permit Numbers	Project Description/Status	Planning Comments and Notations	Building/Fire Comments and Notations	Engineering Comments and Notations	Harbor/Admin Comments and Notations	Project Planner
7	Allen Property Group	1260 Main St	10/4/21	MAJ21-006	<b>Land Use &amp; Zoning Map Amendment to change C2 zoning to C1 zoning</b>	Application received, under review.				nh
8	Guesno	220 Atascadero Rd	10/4/21	MIN21-012	<b>Minor Amendment - Change temporary outdoor dining area to permanent outdoor dining</b>	Under Review				nh
9	Horstman	427 Oahu St	9/28/21	CDP21-041	<b>Admin CDP for new SFR and attached ADU. 1096sf and 2nd floor 1335sf</b>	Under review.				sa
10	Nagy	646 Sequoia Ct	9/27/21	MUP21-03	<b>Minor Use Permit for development of new upper level 2,328sf, lower level 1,030sf, and garage level 1,220sf SFR on vacant lot in area outside the coastal zone.</b>	Application received, under review.				nh
11	Phillips	454 Tulare	9/27/21	CDP21-040	<b>Admin CDP for ADU and remodel of existing garage</b>	Under review.				sa
12	Thai Bounty	560 Embarcadero	9/22/21	MIN21-010	<b>Minor mod to UP0-200/UP0-244 for music.</b>	Under review.				sg
13	McDowell	650 Sequoia Ct	9/15/21	MUP21-04	<b>Minor Use Permit for new SFR (outside the coastal zone). 3 bedroom 3 bath, 2776sf plus 507sf garage</b>	Incomplete letter sent 10/13/21				sa
14	Smith/ De Barros	451 Luzon St	8/31/21	MUP21-02/ PKG21-08	<b>MUP/Pkg Exception for 21 sf addition to an existing 770sf home w/ 220sf single car garage</b>	Incomplete letter sent 9/29/21.				sa
15	Bourchard	556 Blanca	7/29/21	CDP21-033	<b>Admin CDP for new 1,890sf SFR with 692sf ADU</b>	Resubmitted 9/16/21 and Under Review. Comment letter sent 8/23/21. Project Deemed Complete 10/1. Noticing Started: 10/8/21				am
16	Bourchard	548 Blanca	7/29/21	CDP21-032	<b>Admin CDP for new 1,744sf SFR with 692sf ADU</b>	Resubmitted 9/16/21 and Under Review. Comment letter sent 8/23/21. Project Deemed Complete 10/1. Noticing Started: 10/8/22				am
17	Dorfman	570 Olive	7/28/21	CDP21-031	<b>Admin CDP for 1150sf new detached ADU</b>	Project deemed incomplete and letter sent 8/27/21				sa
18	Eisemann	541 Atascadero Road (at Hill St)	7/9/21	CUP21-09/ CDP21-029	<b>Four unit apartment complex with attached garages</b>	Review comments provided on July 31, 2021. Project requires resubmittal and environmental analysis. Provided applicant estimate for environmental report on September 24, 2021.				nh
19	Green	1175 Scott Street	6/28/21	CDP21-025 CUP21-07	<b>New construction of 3 hotel units including one ADA unit and a residential security unit</b>	Review comments provided on July 21, 2021. Requires a resubmittal for review.				nh
20	Perry	3230 Beachcomber	6/24/21	CDP21-024/ VAR21-002	<b>New 1537 sf sfh with attached 380 sf garage. VAR request for roof top deck railing height. Application approval is dependent on completion of LTM21-01</b>	Review comments sent 7/20/21, requires resubmittal.				nh

#	Applicant/ Property Owner	Project Address	Application Date	Permit Numbers	Project Description/Status	Planning Comments and Notations	Building/Fire Comments and Notations	Engineering Comments and Notations	Harbor/Admin Comments and Notations	Project Planner
21	Bernal	2620 Laurel	6/24/21	CDP21-023	<b>New 1558 sf two and a half stories with 280 sf balcony and a 728 sf garage</b>	Review comments provided on July 20, 2021. Requires a resubmittal for review.				nh
22	Perry	3202 & 3230 Beachcomber	4/1/21	LTM21-01	<b>Merge 3 non-conforming parcels into 2 parcels, move lot line to equalize new parcel sizes</b>	Incomplete letter comments sent for LTM on 4/30/21 and for CDP on 5/4/21.				nh
23	Steiner	301-390 Seashell Cove	4/19/21	MAJ21-02	<b>General Plan / LCP Land Use &amp; Zoning Map Amendment application to change land use and zoning from R-A to R-3 designation / low density to medium density.</b>	Under review. Response letter/ incomplete letter sent 5-6-21. Resubmittal received. Environmental review in process.				cj
24	SR Development	545 Atascadero Rd	Initial partial submittal on 3/31/2021. Submittal complete on 4/26/21	CDP21-013 / CUP21-04	<b>New construction of 15 unit townhomes project</b>	Comment letter sent 5/14/21, requires resubmittal with responses.				nh
25	Perry	3202 Beachcomber	4/14/21	CDP21-014/ VAR21-001	<b>Demo existing home, build new 2063 sf home with subterranean garage and storage area of 2267 sf. Application approval is dependent on completion of LTM21-01. VAR request for height variance on roof top deck railing.</b>	Submittal received, but not complete. Balance of submittal received 4/14/21, under review. Incomplete letter comments sent for CDP on 5/4/21. Resubmittal received 6/24/21 with VAR request, under review. Review comments sent 7/20/21.				nh
26	Douleddee	929 Mesa	3/31/21	CDP21-012	<b>Admin CDP for ADU, addition of square ft &amp; relocate garage</b>	Correction letter sent 4/19/21. Awaiting resubmittal. Resubmittal received 5/3/21 and is under review. Awaiting corrections to Sheet A1. Resubmittal received June 16, 2021, planning comments sent on June 23, 2021. Resubmittal received July 27, 2021, planning comments sent on August 3, 2021. Revised plans submitted 9/29, but required corrections - Emailed applicant 10/4/21. Revised plans resubmitted electronically 10/7/21. Under review, still require hard copy plans.				nh
27	Tullis	404 Estero	3/17/21	CDP21-011	<b>CDP to demo existing improvements &amp; construct new SFR and site improvements.</b>	Under review. Deemed incomplete, comment letter sent to applicant April 2, 2021				nh
28	Diaz	365 Driftwood	1/19/21	CUP20-13 & CDP21-002	<b>Addition to existing single family home. This is an addition to a non-conforming home which requires a conditional use permit and coastal development permit for duplex unit.</b>	Comment letter sent 2/6/21. Requires resubmittal with changes. Resubmittal received 5/10/21. Project deemed incomplete, letter sent 5/25/21. Resubmittal received August 9, 2021. Planning comments sent August 23, 2021, requires resubmittal. Resubmittal received September 20, 2021. Parking exception received 10-5-21, under review				nh
29	Vistra	1290 Embarcadero	12/28/20	CDP20-026 & CUP20-14	<b>Battery Energy Storage System (BESS) - New proposed project to construct 600MW BESS on old tank farm north of existing Morro Bay Power Plant. BESS to be constructed as 3 separate buildings, 30 feet in height plus 10 feet of screening for rooftop equipment.</b>	Under initial review. Project deemed incomplete and incomplete letter sent 1-21-2021. Applicant resubmittal received 2-17-2021 and under review currently. Project deemed complete for processing on 2/23/2021. Project plans and documents being evaluated. Environmental review process in progress.				cj
30	Vazquez	590 Morro Ave	10/22/20	MAJ20-002	<b>CDP/CUP Major Modification to propose equipment upgrade to an existing rooftop telecom wireless site.</b>	Under review. Incomplete letter sent 11/19/20. Discussed with Applicant visual simulation requirements via phone on 7/27/21				cj

#	Applicant/ Property Owner	Project Address	Application Date	Permit Numbers	Project Description/Status	Planning Comments and Notations	Building/Fire Comments and Notations	Engineering Comments and Notations	Harbor/Admin Comments and Notations	Project Planner
31	Bean	197 Main Street (formerly known as 199 Sandpiper Court)	12/19/19	CUP19-20, CDP19-04, VAR20-001	<b>CUP/CDP for new home on triangular small parcel on the bluff. Proposed home is 526 sf 2-stories with access easement to Main Street</b>	Project deemed incomplete, comment letter sent January 7, 2020. Resubmittal received 10/26/20 adding a variance request, under review. Incomplete, need resubmittal. Resubmittal received September 14, 2021, under review. Incomplete letter sent on				nh
<b>Projects Appealed to Planning Commission or PC Continued projects</b>										
<b>Projects Appealed or Forwarded to City Council</b>										
32	Hsiao	205 Harbor St	5/26/21	CDP21-019/ CUP21-05	<b>CDP and CUP approval request for new 6-unit 5,042sf blufftop hotel.</b>	Under review. Noticed for PC review and hearing on 9-7-21. Conditionally approved by PC on 9/7/21. Appealed 9/17/21. On Council agenda for appeal decision for 11/9/2021.				cj
33	Van Beurden Investments	715 Embarcadero Road	11/17/20	MAJ20-004	<b>Dutchman Harborwalk public access and improvements with wharf changes. Major Modification to CUP.</b>	Under review. Incomplete letter sent 12-10-20. Resubmittal received 4-29-21. Scheduled for 7/20/21 PC hearing for consideration of favorable recommendation. Will also require City Council review and approval. PC continued the hearing to a date uncertain per Applicant request. Revised project plans submitted 8/30/1 and 9/29/21. PC forwarded favorable recommendation to Council on 10/5/21. Council hearing set for 11/9/21.				cj
<b>Environmental Review:</b>										
34	City of Morro Bay	N/A		UP0-423	<b>MND for Chorro Creek Stream Gauges</b>	Applicant requesting meeting for week of 9/9/13. SWCA performing the environmental review. Received completed MND from Water Systems Consulting (WSC) on 4/1/15. Routed to State Clearinghouse for required 30 day review period. Tentative hearing 8/4/15. No recent activity.	No review performed.	MND complete. Cut permit checks to RWQCB and CDFW on 2/27/15		cj
<b>Final Map Under Review Projects:</b>										
<b>Projects going forward to Coastal Commission for review (Pending LCP Amendments) / or State Department of Housing:</b>										

#	Applicant/ Property Owner	Project Address	Application Date	Permit Numbers	Project Description/Status	Planning Comments and Notations	Building/Fire Comments and Notations	Engineering Comments and Notations	Harbor/Admin Comments and Notations	Project Planner
35	City of Morro Bay	Citywide			<b>Plan Morro Bay: General Plan / Local Coastal Program / Zoning Code Update project</b>	Comprehensive overall update to the City's 1988 General Plan, 1984 Local Coastal Program, and 1997 Zoning Code. Public draft of combined General Plan/ LCP released May 2018 for review. Worked with Coastal staff on CCC input received during 2019. Adoption Draft to be reviewed by Planning Commission at 10/20/20 hearing. Admin Draft of EIR received and to be circulated. Reviewed by PC at the 11/4/2020 & 11/17/20, 12/1/20, & 12/15/20 PC meetings. 3-16-2021 meeting is for review of the EIR and make recommendations to City Council for adoption. Council review of adoption draft held on 4/27/21. Hearing continued to the 5/11 and then 5/25/21 Council meetings. Plan adopted by Council on 5/25/21. LCP Amendment application submitted to Coastal Commission for certification. <b>Coastal Commission LCP certified Coastal Land Use Plan (LUP) on August 12, 2021. Zoning Code Update in progress - to be completed approximately winter 2021.</b>				
36	City of Morro Bay	Citywide	10/16/13	A00-013. A00-029: Ordinance 601	<b>Zoning Text Amendment - Second Unit</b>	Secondary Unit Ordinance Amendment. Ordinance 576 passed by City Council in 2012. Change recommended by PC after Council direction which led to Adoption of Ord. 585 by City Council on 5/13/14. Ordinance to be sent as an LCP Amendment for certification by Coastal Commission. <b>New language for PC and Council review. Second reading going to council on April 12, 2016. PC reviewed change 5-3-16. CC second First Reading 6-28-16.. Application submitted to Coastal Commission August 2016. Coastal objected to ban on use as vacation rentals. New State legislation in effect 1-1-20 which supersedes previous adopted ordinances. To be incorporated into Plan Morro Bay.</b>	No review performed.			wm
<b>Projects Continued Indefinitely, No Response to Date on Incomplete Letter or inactive:</b>										
37	Verizon / Knight	484 Main new location, Corner of Main and Cabrillo	11/19/14	UP0-394 and CP0-512	<b>Coastal Development Permit and Conditional Use Permit for installation of new Wireless Facility/Verizon antennas on existing pole.</b>	Under Review. JG. Incomplete. Waiting on response from Tricia Knight. Wants to keep project open and figure out the parking situation or move location. 1/26. JG. Applicant looking to move location to pole across the street. resubmittal rcv'd 5/26. Deemed Complete, waiting for Applicant to confirm PC meeting date. PC hearing held on 9/6/16 and continued for further review to 11-1-16 PC hearing. Continuance requested. Continued to a date uncertain		PN- Conditionally approved 6/14/16		ig
<b>Grants</b>										

#	Applicant/ Property Owner	Project Address		Application Date	Permit Numbers	Project Description/Status	Planning Comments and Notations	Building/Fire Comments and Notations	Engineering Comments and Notations	Harbor/Admin Comments and Notations	Project Planner
38	California Coastal Commission, California Ocean Protection Council	City-wide		4/6/16		<b>\$400,000 Grant for LCP update to address sea-level rise and climate change impacts. Round 3 Grant award of \$200,000 for Lateral Access Plan, and ESHA delineation. Round 6 funding of \$65,000 received Mar 2020.</b>	Grant agreements for both the grants are in place and grant administration has been turned over to Michael Baker International, per terms of the GP/LCP update contract. Received signed grant agreement for \$200,000 LCP Planning grant by CCC for Round 3 awards 2-27-17. Additional LCP grant funding received in 2020 under Round 6 for \$65,000 to complete LCP update.	No review performed.	N/A		sg
39	City of Morro Bay	City-wide				<b>Community Development Block Grant/HOME Program - Urban County Consortium</b>	Staff has ongoing responsibilities for contract management in coordination with County staff administration. City Council approved Cooperation Agreement for 2021-2023 CDBG Program Years at 5/26/20 Council meeting. Notice of Funding Availability for 20222 Program Year released 9/27/21. Needs Workshops to be held virtually on 10/5/21 from 6-7pm. Application funding deadline is 11/1/2021.	No review performed.	N/R		cj
40	City of Morro Bay	City-wide				<b>Climate Action Plan - Implementation</b>	Staff has ongoing responsibilities for implementation of Climate Action Plan as adopted by City Council January 2014. Staff coordinating activities with other Cities and County of SLO via APCD.				cj

**Projects in Building Plan Check:**

41	Castillo	1055	Allesandro St.	6/3/2021	B21-0097	250 sf addition to rear of existing SFR, addition creates two bedrooms and one full bath.		Bldg. - Disapproved 6/10/21			sg
42	HASLO	405	Atascadero	12/22/20	B20-0215	35 unit affordable apartments	Planning approved 1/10/21.	Ready to issue			nh
43	Baines	1185	Balboa St.	8/9/21	B21-0137	14 sf 2nd story deck at rear of existing SFR and expand existing garage under deck (square footage of garage expansion is unclear).		Bldg. - Disapproved 9/20/21			sg
44	Goldstein	186	Bayshore Dr.	11/4/20	B20-0190	Remodel kitchen, dining & living area.		Bldg. - Approved 11/09/20			sg
45	Carter	2035	Bayview Ave.	8/5/21	B21-0135	New SFR, 1980 sf living, with 483 sf attached garage, 96 sf covered deck, 267 sf covered rear patio and 32 sf covered front porch.		Bldg. Disapproved 9/21/21			cj
46	Crisman	3029	Beachcomber Dr.	5/14/21	B21-0083	New single family residence (SFR), 278 sf living, 713 sf attached garage, and 130 sf deck on west side.	Planning disapproved with comments on 5/18/21	Bldg. - Disapproved 6/10/21			nh
47	LaPlante	3093	Beachcomber	4/29/17	B-31487	New SFR: 3,495 sf w/ 500 sf garage on vacant land. No activity on this project. Remains in plan check.	Permit extended to 9-22-22	Ready to issue	PN - Approved 6/21/2018	Emailed comments on 10-20-17.	cj
48	Diaz	365	Driftwood	1/6/20	B19-0280	328 sq ft addition to master bedroom and bath on second flr. Convert covered patio to living space 50 sq ft enclosed covered porch 30 sq ft interior remodel.	Planning disapproved 1/31/20. Project requires a Conditional Use permit. Planning cannot approve building permit until Conditional Use Permit is final and permit issued. CUP20-13 received, building review following CUP/CDP approval.	Bldg. - Approved 12/29/20			nh

#	Applicant/ Property Owner	Project Address		Application Date	Permit Numbers	Project Description/Status	Planning Comments and Notations	Building/Fire Comments and Notations	Engineering Comments and Notations	Harbor/Admin Comments and Notations	Project Planner
49	Kleeman	2970-A	Elm Ave.	6/17/21	B21-0103	DETACHED ADU - 748 sf accessory dwelling unit (ADU), 230 sf ground floor addition to existing detached garage and 518 sf 2nd level addition (above garage), new 120 sf upper level deck and exterior stairs to serve the ADU.		Ready to issue			cj
50	Curtis & Mulholland	630	Embarcadero	5/18/21	B21-0087	Commercial T.I. to ground floor unit (584 sf) of existing building, space is currently used for dry storage & garage space, the T.I. will create a 145 sf lobby, 185 sf drink prep area, 250 sf kitchen addition and 121 sf new dry storage area utilizing an existing parking space.		Bldg. - Disapproved 5/19/21			sg
51	City of Morro Bay	833	Embarcadero	12/30/20	B20-0220	Demo existing 2 story structure (formerly Off the Hook - Retail & Restaurant) Construct new mixed use structure, 2 story with retail, restaurant, and hotel space.	Disapproved 1-25-21. Correction memo sent to Bldg. Change to south elevation by adding a parapet wall will require a minor modification to the Planning permit. Coastal Commission determined no CDP amendment needed. Cj	Bldg. - Disapproved 8/25/21			cj
52	Fowler	1215	Embarcadero	9/21/21	B21-0169	Commercial T.I. to Unit C of newly constructed two story building - Minor electrical, duplex outlets, lighting, smoke & carbon monoxide alarm, and interior exit route signage. Tenant: Camp One LLC		Bldg. - Approved 9/23/21			jcj
53	Cox	555	Estero	4/22/21	B21-0073	Remove existing detached single car garage. Rebuild single car garage as attached with office space above. Update kitchen.		Ready to issue			sg
54	Ferguson	355	Fresno Ave.	9/7/21	B21-0158	Interior bathroom remodel for wheelchair accessibility creating master bath and walk in closet, also adding guest bath and laundry closet from existing square footage.		Bldg. - Disapproved 9/10/21			sg
55	Godfrey	396	Hill St.	3/18/21	B21-0045	New Duplex - Unit A includes 2422 sf of living, and 770 sf garage. Unit B includes 2616 sf of living area and 603 sf garage.	Under review. Planning disapproved 4-16-21. Planning approved.	Ready to issue			am
56	Wilkie	476-A	Hill St.	3/26/20	B20-0057	ATTACHED ADU - Convert existing attached garage to 344 sf Accessory Dwelling Unit.	Correction letter sent 4/30/20.	Bldg. - Approved 4/8/20			nh
57	Johnston	2781	Juniper Ave.	6/2/21	B21-0094	New 463 sf 2nd story deck at rear of existing SFR, also replace five existing windows with three new sliding glass doors.		Bldg. - Approved 6/15/21			sg
58	Daniels	964	Las Tunas St.	8/3/21	B21-0133	Remodel the laundry room & add a bedroom, bathroom & hallway to the back of existing home in phase I. Phase 2, build a detached garage		Bldg. - Disapproved 8/18/21			sg
59	Drenick	2530	Laurel Ave.	9/22/21	B21-0174	Reconstruction of 560 sf two-car garage, garage foundation and 560 sf rooftop deck over garage. See permit B21-0141 for separate demolition permit for these structures.	Disapproved and Correction Letter sent 10/5/21	Bldg. - Approved 9/28/21			am
60	McClish	451	Luzon St.	8/31/21	B21-0156	210 sf addition to existing 770 sf single family residence (SFR) creating a new study with bathroom, making SFR 980 sf total.	Under review. PW and Building disapproved 9/15/21, Planning and Fire OK. Letter Sent 9/29	Bldg. - Plancheck			sa

#	Applicant/ Property Owner	Project Address		Application Date	Permit Numbers	Project Description/Status	Planning Comments and Notations	Building/Fire Comments and Notations	Engineering Comments and Notations	Harbor/Admin Comments and Notations	Project Planner
61	Novell	273	Main St.	9/20/21	B21-0170	Kitchen remodel (expanding) & relocating laundry room to exist bathroom location, & moving bath to laundry room.	Deemed incomplete 10/12. Waiting on plans to be resubmitted.	Bldg. - Approved 9/23/21			sa
62	Peter	890	Main St.	2/13/19	B19-0026	ADA and parking lot improvements. ADA stall to be relocated closer to street and make van accessible.	Approved on 3/1/19 - sg	Bldg. - Approved 2/27/19	Disapproved on 4/15/19		sg
63	Sonic	1840	Main St.	10/17/17	B-31730	Sonic Drive-in Restaurant, 1395 sf building, 1020 sf covered patio, 2646 sf covered parking	Corrections sent 12-8-17. Resubmitted 3-2-18. Application incomplete and corrections sent 4-5-18. Resubmittal received and unaddressed corrections sent back 7-19-18. Project required to underground utilities. Utility plan and coordination with public utilities in process. cj. Requested permit extension. Awaiting resubmittal. Requested Permit Extension. Planning permit extension requested and granted to allow new permit expiration of April 2021. Emailed applicant 3-19-2021 advising them of permit expiration date and extension opportunities.	BLDG - Disapproved by California Code Check (contract building inspection services (see memo) on 7-23-18. PB <b>Permit extended to 4/18/23</b>	Disapproved by jb on 11-21-17.	1-2-18 - Emailed BLDG (code ck) comments to architect. PB	cj
64	Twin Bay Inc.	2460	Main St.	7/21/20	B-32117 B20-0114	ADA and parking lot improvements. ADA stall to be relocated closer to street and make van accessible.	Resubmittal received 2/2/21, planning approval pending issuance of MUP permit. Planning approved ADA improvement permit 2/11/21. Disapproved covered structure added to original permit.	Bldg. Disapprove 8/12/21			nh
65	Biaggini	1156-A	Market Ave.	7/13/21	B21-0122	Demo (E) 576 sf of detached garage roof, add new 576 sf ADU to 2nd story over garage, 50 sf under stair storage closet, 170 sf 2nd story deck.	Planning conditionally approved July 20, 2021. Condition was met, planning approval on September 27, 2021.	Bldg. - Disapproved 9/21/21			nh
66	Brum	535	Mimosa St.	9/13/21	B21-0164	Backyard single level deck build	Planning Approved 9/16/21	Bldg. - Approved 9/16/21			am
67	LifePoint Church	615	Monterey Ave.	1/6/20	B19-0279	Remodel/upgrade current building	Planning disapproved 1/27/20. Awaiting resubmittal.	Bldg - Diapproved 1/30/20			nh
68	Markarian	750	Monterey Ave.	9/3/21	B21-0157	Interior/exterior remodel of an existing 1337 sf SFR, new electrical plumbing and mechanical, enlarge existing bathroom, convert existing laundry room to new mud room & 2nd bathroom, replace windows & doors, new comp shingle roof, new decking & stairs at entry. Cellar & barn/garage not in scope of work.	Planning approved 9/9/21	Bldg. - Approved 9/10/21			nh
69	Kolb	685	Morro Ave.	10/4/21	B21-0180	Installation of 6' x 8' single sided, non-illuminated, monument sign with one 5' deep concrete footing (center of sign). Sign installed on parcel 066-301-058 (at corner).		Bldg - Plancheck 10/4/21			mm

#	Applicant/ Property Owner	Project Address		Application Date	Permit Numbers	Project Description/Status	Planning Comments and Notations	Building/Fire Comments and Notations	Engineering Comments and Notations	Harbor/Admin Comments and Notations	Project Planner
70	MacMillan	330	Morro Bay Blvd.	9/14/21	B21-0161	Tenant improvement for Monarch Moon Spa. Non structural walls to create 2 rooms within existing tenant space & associated electrical & plumbing. No additional building area or occupancy change.		Bldg. - Disapproved 9/16/21			am
71	Erb	2630	Nutmeg Ave	2/14/19	B19-0029	Demo 195 sf third story deck at front of home and rebuild with 80 sf extension to allow for deck beam and column support. Remove 152 sf deck on south side of home, misc. construction to repair water damage.	Dissapproved 3/6/19. Disapproved 4/9. Variance application approved. Awaiting building permit resubmittal.	Bldg. - Approved 3/27/19			wu
72	HS, Nutmeg, LLC	2681 & 2681-A	Nutmeg Ave	6/22/21	B21-0106(SFH) B21-0107 (JADU)	2585 sf sfh stair stepped down slop with 748 sf garage and 254 sf deck. JADU is on the lower level and is 500 sf.	Planning approved 6/30/21	Bldg. - Disapproved 8/3/21			nh
73	McDonald	846-A	Pacific St.	7/28/21	B21-0131	ATTACHED ADU - Convert existing 278 sf attached garage to an ADU and add 321 sf to the rear of existing garage creating an overall 599 sf ADU.	Planning Approved 9/30/21. Resubmitted 9/27/21, under review.	Bldg. Approved 8/18/21			am
74	Westbrook	939	Pacific St.	8/9/21	B21-0138	ADDITION to SFR - 374 sf ground floor addition, 470 sf second story addition, 255 sf second floor deck and 100 sf first floor deck area.	Approved 8/16/21	Bldg. - Disapproved 9/22/21			am
75	Angelucci	953	Pacific St.	3/25/21	B21-0052	Add 300 sf to 2nd story, 470 sf attached 2 car garage, 275 sf open deck & 188 sf covered deck.	Under review. Disapproved 4/27/21. am	Bldg. - Approved 6/24/21			am
76	SAAP Trust, Peter Behman, Trustee	965	Pelican Pl.	9/13/21	B21-0162	Addendum to B21-0041 - Additional foundation and framing required.		Ready to issue			sg
77	Appel	400-A	Pico St	8/18/21	B21-0149	Convert existing garage to an ADU without changing the footprint of the garage.	Approved 8/25/21	Bldg. Disapproved 9/10/21			am
78	Lee	684	Piney Way	9/10/20	B20-0168	Demo existing detached 416 sf work shed with bathroom & reconstruct new 416 sf garage/shop with electrical, keeping existing bathroom on existing slab/foundation.	Planning disapproved 9/15/20. Requires a Admin CDP and Parking Exception prior to review and approval of the building permit. Waiting for submittal.	Bldg. - Disapproved 3/1/21			nh
79	Volk	800	Quintana Rd.	10/4/21	B21-0181	Installation of 15" x 90.5" non-illuminated wall sign (1/2" thick acrylic letters) mounted above existing windows.		Bldg - Plancheck 10/4/21			mm
80	Tabrizi	998	Quintana Rd.	8/12/21	B21-0142	640 sf Addition (Approx.) - Enclosed area under existing open roof structure (former Napa Autocare Center Bldg).	Under review.	Bldg. - Disapproved 8/18/21			sg
81	Giannini	750	Radcliff Ave.	7/22/19	B19-0156	Remove three existing panel antennas, three radio and replace with three radio intergrated antennas and associated cabling. Install equipment expansions to the top of existing cabinets (approx 1'2') with associated electrical wiring.	Approved 9/26/19.	Ready to issue			cj

#	Applicant/ Property Owner	Project Address		Application Date	Permit Numbers	Project Description/Status	Planning Comments and Notations	Building/Fire Comments and Notations	Engineering Comments and Notations	Harbor/Admin Comments and Notations	Project Planner
82	Parker	580	Shasta Ave	8/31/20	B20-0159	Add new detached garage	Planning under review. Planning disapproved 9/8/20. Need resubmittal	Bldg. - Disapproved 9/14/20			nh
83	Stanton	351	Trinidad	3/26/19	B19-0054	Repairs to existing 200 sf rooftop deck. Replace all dry-rot structural members, install new waterproof membrane,, new copper drip edge flashing, replace plaster, replace guardrail if needed.	Disapproved 4/11/19. Awaiting resubmittal. Permit application expired	Bldg. - Approved 3/27/19			wu
84	Davis	1149	West Ave	7/8/19	B19-0145	Construct lower level 360 sf enclosed patio (12' x 30') at rear of existing SFR.	Disapproved, proposed enclosed patio extended into the 25 foot bluff setback. Permit application expired.	Bldg. - Approved 7/10/19			nh
<b>Planning Projects &amp; Permits with Final Action:</b>											
85	Leonard	550 Zanzibar Street		7/19/21	CDP21-030	<b>new 1933 SF single family home with attached 481 sf garage and 143 sf of deck area</b>	Planning comments sent August 6, 2021, requires resubmittal. Resubmittal received and deemed complete September 16, 2021. Public notice in process with				nh
86	Valerie / Diaz	490 Mindoro St		9/30/21	MIN21-011	<b>Minor Amendment to CDP21-001 &amp; PKG21-03 to eliminate a bedroom, expand garage space and create unconditioned space for storage.</b>	Modifications reviewed and deemed complete. No noticing required. Project approved and Minor Modification permit issued October 6, 2021.				nh
<b>Staff Directory:</b>											
Scot Graham - sg      Chad Ouimet - co      Cindy Jacinth - cj      Pam Newman - pn      Nancy Hubbard - nh      Alison MacCarley - am      Saba Asghary - sa											



AGENDA NO: B-1

MEETING DATE: October 19, 2021

## Staff Report

**TO:** Planning Commissioners

**DATE:** October 12, 2021

**FROM:** Nancy Hubbard, Contract Planner

**SUBJECT:** Conditional Use Permit No. CUP20-15 and Parking Exception No. PKG20-05 for of a single-story addition to an existing non-conforming single-family home with an attached non-conforming garage located at 405 Elena Street. **REQUEST FOR CONTINUANCE**

**RECOMMENDATION:**

Staff recommends that the Planning Commission open the public hearing to hear any testimony on the proposed project and then continue this project to the November 2, 2021 Planning Commission meeting for review and discussion at that time.

**REASON FOR CONTINUANCE:**

The project was not fully noticed as a legal public hearing due to an error resulting in no postcard mailings and not yellow 'pending development' posting at the location of the project. The advertisement in the Tribune newspaper was published on October 8, 2021. Therefore staff is requesting that the Planning Commission continue the project to the November 2, 2021 meeting in order to meet the City's requirements for a duly noticed public hearing.

Prepared By: \_\_\_NH\_\_\_ Department Review: \_\_\_\_\_



AGENDA NO: C-1  
MEETING DATE: October 19, 2021

## Staff Report

**TO:** Planning Commissioners

**DATE:** October 10, 2021

**FROM:** Nancy Hubbard, Contract Planner

**SUBJECT:** Application for Conceptual Review of two design schemes for a proposed mixed-use project consisting of 5 new residential condos (townhome-style multi-level construction with shared walls) in a single 2-3 story building. The project is designed with residential frontage on Marengo Drive and the vehicular access, garages and live-work spaces facing Allesandro Street. The project is in a mixed-use zoning district between single family residential on the west and commercial/industrial uses on the east. The design provides parking for 13 cars. The project is zoned MCR/S.4 and is not within the Coastal Commission Appeals Jurisdiction.

### **RECOMMENDATION:**

*PROVIDE GUIDANCE AND RECOMMENDATIONS FOR THE PROJECT* to proceed to formal submittal for Planning Commission review and decision. Specifically address the request for additional vacation of Marengo right of way and setback variances requested that allow this project to best utilize a topographically challenging site.

**APPLICANT:** Gerald & Erika Luhr  
**ADDRESS/APN:** 1140 ALLESANDRO STREET (066-095-004)  
**ZONING:** MCR/S.4 (Mixed use/Specific Plan Area)

### **PROJECT DESCRIPTION:**

The applicant is requesting review and recommendations for two versions of the proposed project. The site is a challenging shape and the design attempts to provide a project that functions as an effective buffer between an industrial commercial area and a single-family residential area. The extreme slope on the west side of the site helps to visually separate the residential frontage desired on Marengo Drive and the business/commercial/vehicular uses from Allesandro Street. (See **EXCEPTIONS** below)

### **Common Project Elements:**

The site has an extreme elevation change on the west near Marengo, and the design is requesting a reduced setback and a 4-foot vacation of public ROW in

order to use the building placement to support the bank. This design results in a pedestrian oriented building with the front doors at the street level on Marengo Drive.

**Scheme A:** Five new attached residential condominium units, each with a lower level 2-car garage (vehicular access from Allesandro). The housing above the garage will be a mix of one or two levels of living space, providing an articulated building facade at the Marengo Drive frontage. Two of the homes will have commercial shop space at the lower level, one of which is a reuse of the existing shop building on the site. Three common-use parking spaces including a van accessible space are provided to meet the commercial component parking requirement and residential guest parking after hours,

<b>Scheme A Project (total 15,863 sf)</b>			
<b>Unit</b>	<b>Living Area</b>	<b>Garage</b>	<b>Commercial/shop</b>
Unit A (4 bd/5 bath)	2172	560	756 (incl. bathroom)
Unit B (2 bd/2 bath)	1544	948	
Unit C (2 bd/2 bath)	1294	853	
Unit D (4 bd/3 bath)	2131	873	
Unit E (3 bd/5 bath)	2773	767	1192 (existing space w/bathroom)
<b>Total</b>	<b>9914</b>	<b>4001</b>	<b>1948</b>

**Scheme B:** Five new residential condos, slightly smaller units than in Scheme A, which allow greater setbacks along Allesandro. Each residential unit has a 2-car garage accessible from Allesandro and Unit A and E will have a 'hobby/shop' area that is on the ground floor, separate from their garages (one of which is the existing shop building on the site). This plan also includes three guest parking spaces, one of which is van accessible.

<b>Scheme B Project (total 14,833 sf)</b>			
<b>Unit</b>	<b>Living Area</b>	<b>Garage</b>	<b>Hobby/shop area</b>
Unit A (4 bd/3 bath)	1923	480	605
Unit B (2 bd/2 bath)	1544	950	
Unit C (2 bd/2 bath)	1294	853	
Unit D (4 bd/3 bath)	2032	875	
Unit E (4 bd/3 bath)	2502	704	1071 (E) space w/ bathroom
<b>Total</b>	<b>9295</b>	<b>3862</b>	<b>1676</b>



**GENERAL PLAN/COASTAL LAND USE PLAN:** The recently adopted General Plan/Coastal Land Use Plan designates this area as General Light Industrial, which matches the proposed zoning designation for this site, not yet adopted. The previous Land Use Plan and current zoning designation allows mixed use development, which is what this proposal includes. This project requires approval of a Conditional Use Permit (housing in an MCR zone requires a use permit approval), Coastal Development Permit (new housing units and increase in intensity of use required a Coastal Development Permit), Tentative map process for creation of airspace condominiums (common interest subdivision) to authorize the proposed development and city approval of the vacation of a portion of the public right of way along Marengo Drive. This project will be subject to inclusionary housing requirements since it is 5 units of proposed for-sale residential, which means for a project providing 5 or more units, one will be required to be deed restricted as affordable (rental or for sale) for a period of 30 years

Site Characteristics	
<b>Site Area</b>	10890 sf – Irregular shape (pie shaped) (11,118 if addition vacation of ROW is granted)
<b>Existing Use</b>	Construction yard with (e) 1200 sf shop building
<b>Terrain</b>	Mostly level with 10–12-foot elevation changes along Marengo frontage
<b>Vegetation/Wildlife</b>	Gravel, dirt, weeded
<b>Archaeological Resources</b>	None
<b>Access</b>	Allessandro Street

Adjacent Zoning			
North	MCR	East	MCR
South	MCR (immediately adjacent)/OA2/PD (close)	West	R-1

	MCR/S4 Standards	Scheme A Project	Scheme B Project
Front Setback (Narrow northerly corner)	15 feet	15 feet	16'5"
Exterior Side Yard (Allesandro and Marengo)	10 feet	5 feet – both street frontages	5 feet (Marengo) 10-15 feet on Allesandro
Rear (south)	5 feet	5 feet new/ (e) building 2'11" at narrowest point	5 feet new/ (e) building 2'11" at narrowest point
Height (from ANG)	30 Feet	Varies from 27'9" to 28'6"	Varies from 27'1" to 28'5"
Lot Coverage	60%	59.5%	54.9%
Parking	TBD	13 spaces	13 spaces

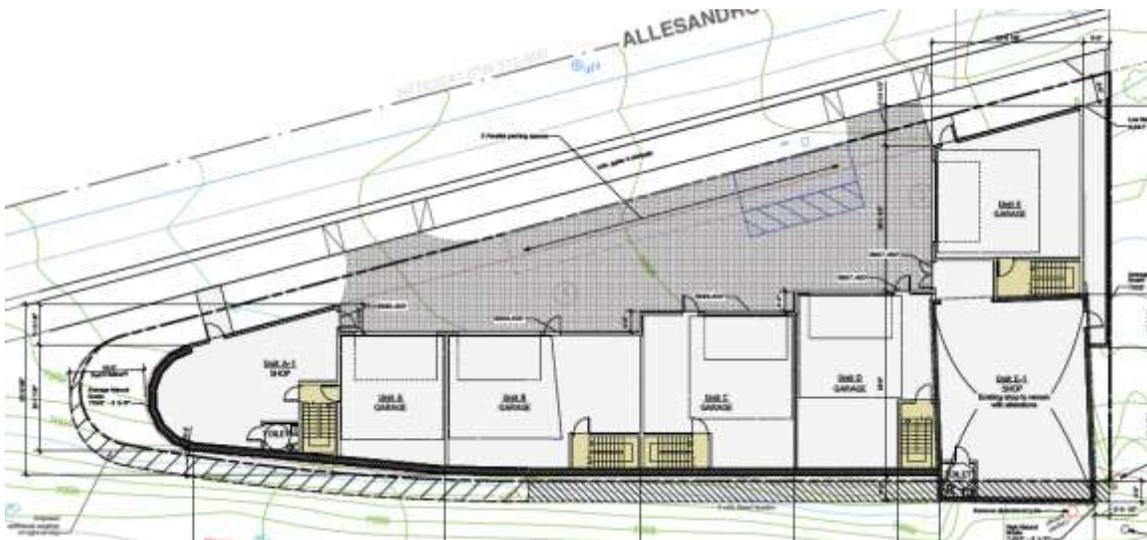
**EXCEPTIONS:** The site is in the MCR/S4 zoning district and overlay area. Residential uses are allowed in the MCR zoning district using the development standards for a R-4 zoned project. See discussions below on each of the areas where the development standards need special consideration to allow the project.

1. **Request for ROW abandonment:** In 1992, the city granted abandonment for ROW approximately 4 feet wide and 113 feet in length (pink area in image below) to accommodate an existing building that was encroaching into the public right of way (total area 457 sf). The applicant is requesting a continuation of the existing abandonment to the north corner of the site (yellow striped area in image), which will eliminate a 4-foot jog in the city ROW. This will create a consistent property line along the west and because of the extreme slope on the west property boundary, the additional area allows less earthwork and results in residential frontage at street level along Marengo for all 5 proposed new residential dwellings.



**2. Reduced exterior street setback:**

The site has a very unusual shape, with the two longer property line along street frontages. The technical frontage of the site is the curved northerly end. The requirements for the two-street side yard setback are 20% of the average width of the parcel (average width is about 43 feet X 20% = 8.5 feet), but the minimum setback limit is 10 feet. The proposed project has a setback on Marengo ranging from 0 feet (the original shop building on the ground level) to 5 feet for each residence frontage. This design allows the ground floor garages/shops to provide support for the steep slope along Marengo, which allows placement of the residential floors with visible and functional pedestrian access to Marengo.



**Parking:** Parking required is 2 covered and enclosed spaces for each residential unit, which is included in both Schemes of the proposed development. The zoning code does not include a parking standard for 'live/work' units, but in other California cities that do include a 'live-work" use designation, the parking requirements are generally one space per residential unit and one space for a non-resident employee. The three parallel parking spaces provided appear adequate to cover non-resident employee and/or customer/guest parking.

**ENVIRONMENTAL DETERMINATION:**

Environmental review was performed for this project and staff determined it meets the requirements for a Categorical Exemption under CEQA Guidelines Section 15303 Class 3b. This exemption applies to additions to urban areas creating up to 6 new dwelling units. Additionally, none of the Categorical Exemption exceptions, noted under Section 15300.2, apply to the project.

**CONCLUSION:**

The project works as a good buffer between residential and industrial uses. Although the recently adopted updated General Plan/Land Use Plan changed the designation on this site to general industrial, the current zoning code allows mixed use development. The project is a creative blend of commercial and residential uses and provides much needed additional housing units.

**RECOMMENDATION:**

*PROVIDE GUIDANCE AND RECOMMENDATIONS FOR THE PROJECT* to proceed to formal submittal for Planning Commission review and decision. Specifically address likelihood of providing a recommendation for the granting of the vacation of Right of Way and granting the variances necessary to allow this project to move forward.

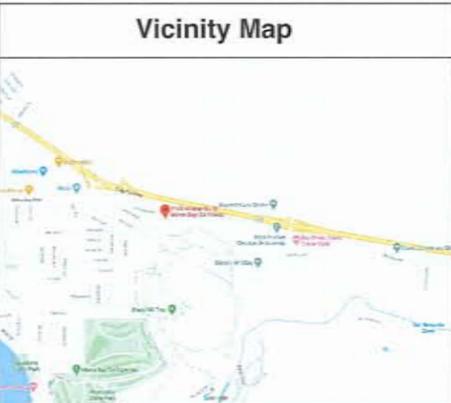
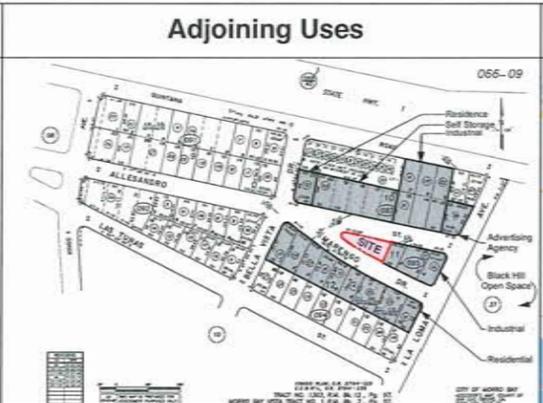
**ATTACHMENTS:**

Exhibit A – PLANS

EXHIBIT A

Legend	Abbreviations
	Original site
	1992 vacation of right-of-way
	Proposed vacation of right-of-way
	Avg. average CABL. cabinet CL. Closet DN. down EX. existing Fl. Floor Lux. luxury Min. minimum N/A. not applicable O.C. on center Refg. Refrigerator SOU. secondary dwelling unit Typ. typical w. with WD. wood

Abbreviations	Adjoining Uses



Sheet Index	
A-1	Sheet Index
A-2	Ground Floor Plan (Scheme A)
A-3	Second Floor Plan (Scheme A)
A-4	Third Floor Plan (Scheme A)
A-5	Roof Plan (Scheme A)
A-6	Elevations (Scheme A)
A-7	Isometric Views (Scheme A)
A-8	Ground Floor Plan (Scheme B)
A-9	Second Floor Plan (Scheme B)
A-10	Third Floor Plan (Scheme B)
A-11	Roof Plan (Scheme B)
A-12	Elevations (Scheme B)
A-13	Isometric Views (Scheme B)
C-1	Topographic Map
C-2	Street Vacation

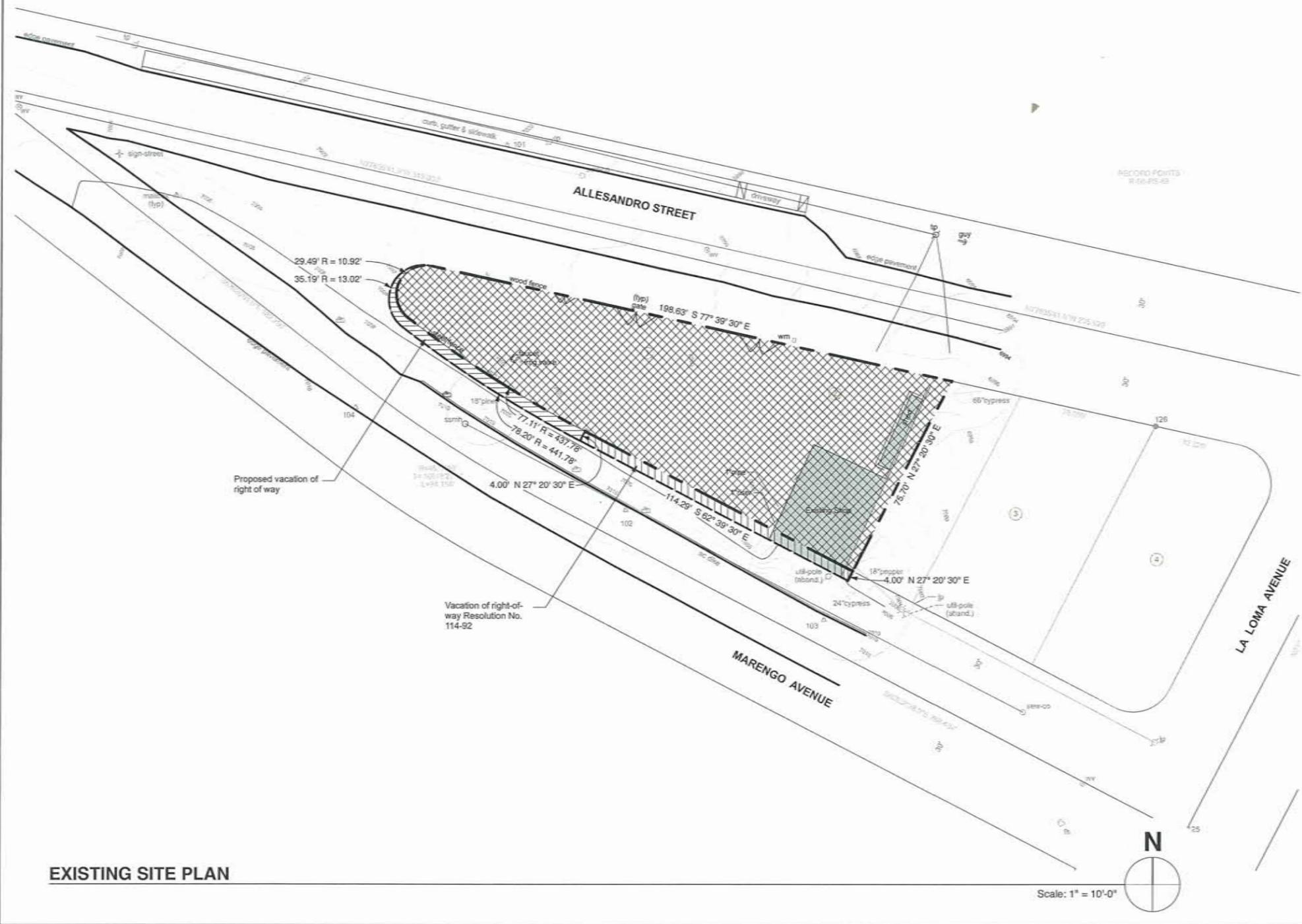
DATE: MAY 21, 2021  
 DRAWN BY: MS / GAB  
 REVISIONS: NONE

**Project Data**

Project Address: 1140 Allesandro Avenue, Morro Bay, CA 93442  
 Existing Use: Commercial / Industrial  
 Proposed Use: Mixed-Use  
 APN: 066-095-004  
 Legal Description: A portion of Allesandro Avenue and Marengo Drive, in the City of Morro Bay, County of San Luis Obispo, State of California, adjacent to Lot 1 of Block 11 as shown on the map of Morro Bay Vista Tract No. 1, recorded June 10, 1925, in Map Book 3, Page 57, of Official Records of said County, described as follows:  
 (1) Beginning at a point on the northeasterly line of said Lot 1, at the northwesterly end of the course noted as South 77°39'30" East, 152.05 feet, at the beginning of a tangent curve concave easterly, having a radius 13.02 feet, the radial bearing of which bears North 12°20'30"  
 (2) thence westerly, southerly, and southeasterly along said curve a distance of 35.19 feet through a central angle of 154°51'51" to a point on a line parallel with and 4.00 feet southwesterly from the southwesterly line of said Lot 1, which point is the beginning of a compound curve, concave northeasterly, having a radius of 441.78 feet, the radial bearing of which bears South 37°28'59".  
 (3) thence parallel with and 4.00 feet southwesterly of the southwesterly line of said Lot 1, along said curve distance of 78.20 feet through a central angle of 10°08'25" to a point of tangency, the radial line of which bears South 27°20'30" West, which point is the most westerly point on a street vacation described in The City of Morro Bay Resolution No. 114-92, "RESOLUTION SUMMARILY ABANDON A PORTION OF PUBLIC RIGHT-OF-WAY 'MARENGO DRIVE'" (undated and unrecorded);  
 (4) thence along the northwesterly line of said Resolution No. 114-92, North 27°20'30" East (record North 27°21'32" East per said Resolution), 4.00 feet to the southwesterly line of said Lot 1, which point is the beginning of a curve concave northeasterly, having a radius of 441.78 feet, the radial line of which bears South 27°20'30" West;  
 (5) thence along said curve being the southwesterly line of said Lot 1, a distance of 78.40 feet through a central angle of 10°15'40" to the beginning of a compound curve concave easterly, having a radius of 10.92 feet, the radial line of which bears South 37°28'10".  
 (6) thence continuing along said curve being the westerly line of said Lot 1, a distance of 29.49 feet through a central angle of 154°44'20" to the Point of Beginning.  
 The above described parcel contains 370 square feet and is as shown on exhibit B, attached hereto and made a part hereof.

**Greg Allen Barker, AIA**  
 120 Cerro Romauldo Avenue  
 San Luis Obispo, CA 93405  
 (805) 704-8613  
 Architect License C17215

**SHEET INDEX**  
**VICINITY MAP**  
**PROJECT DATA**  
**EXISTING SITE PLAN**



**Project Description:** 3 residential condominiums with 2-car parking garage, 2 level work units, with 2-car parking garage, 3 parallel parking spaces (one of which will be van accessible)

**Applicant (Property Owner):** Gerald and Erika Lühr  
**Applicant Address:** 2335 Nutmeg Avenue, Morro Bay, CA 93442, (805)440-9537  
**Day Phone:** (805)440-9537  
**Zoning District:** MCR / S-4  
**Proposed Zone:** MCR / R-4  
**Occupancy Use Group:** R-3 / F-1

**Site Area:**  
 1992 Lots 1 & 2 Combined: 10,298 square feet  
 1992 Vacation of Right-of-Way: 457 square feet  
 Proposed Vacation of Right-of-Way: 363 square feet  
**Total Proposed Site Area:** 11,118 square feet

**Building Area:**  
 Existing Commercial/ Industrial: 1,200 square feet

**Grade Calculation:**  
 Average Natural Grade @ Building =  $\frac{7,007' - 5' \frac{1}{2}" - 6,997' - 0"}{2} = 7,002' - 2' \frac{1}{4}"$

**Average Slope of Site Calculation:**  
 Average Slope of Site =  $\frac{7,007' - 5' \frac{1}{2}" - 6,995' - 7' \frac{1}{2}"}{83' - 7' \frac{1}{2}"}$  X 100 = 12.96%

**MIXED-USE**

1140 Allesandro Street  
 Morro Bay, CA 93442

PAGE NO.

**A-1**  
 OF 13

SHEET TITLE  
 SHEET INDEX  
 VICINITY MAP  
 PROJECT DATA  
 EXISTING SITE PLAN

Wall Legend		Project Data (Scheme A)				
	Existing CMU	Site Area	11,118 sq. ft.			
	New CMU	Setbacks				
	New exterior stucco - ICF - gypsum board	Existing	Proposed	Min. Req'd		
	New exterior stucco - wood frame - gypsum board	to remain	new	15' - 0"	5' - 0"	
	New interior gypsum board - wood frame	Front	165' - 4 1/2"	5' - 0"	5' - 0"	
		Side (exterior)	0' - 0"	5' - 0"	5' - 0"	
		Rear	3' - 0 1/2"	5' - 0"	5' - 0"	
		**to right-of-way vacation				
Building Area		Unit A	Unit B	Unit C	Unit D	Unit E
	Existing Shop E-1					1,192 sq. ft.
	New Shop A-1	756 sq. ft.				
	Garage	500 sq. ft.	948 sq. ft.	853 sq. ft.	873 sq. ft.	767 sq. ft.
	Residential Unit	2,172 sq. ft.	1,544 sq. ft.	1,294 sq. ft.	2,031 sq. ft.	2,773 sq. ft.
	Residential Total	9,614 sq. ft.				
	Decks	110 sq. ft.	92 sq. ft.	180 sq. ft.	154 sq. ft.	399 sq. ft.
	Total Decks	935 sq. ft.				
Building Footprint:		6,610 sq. ft.				
Proposed Lot Coverage Calculation						
Percent Lot Coverage	Building Footprint X 100 =	6,610 sq. ft. X 100 = 59.5%				
	Site Area	11,118 sq. ft.				
Height Above Natural Grade Calculation (note: using arbitrary datum)						
Allowable Maximum Height	Average Natural Grade + Allowable Above Average Natural Grade	= 7002' - 2 3/8" + 30' - 0" = 7032' - 2 3/8"				
Actual maximum height above Average Natural Grade @ Unit A		7030' - 8 3/4"				
Impermeable Surface Footprint		7,550 sq. ft.				
	Roofs	2,638 sq. ft.				
	Driveway	0 sq. ft.				
	Patio	0 sq. ft.				
	Landings and Walks	1,178 sq. ft.				

DATE: MAY 21, 2021  
 DRAWN BY: MS  
 REVISIONS: NONE



**Greg Allen Barker, AIA**  
 120 Cerro Romauldo Avenue  
 San Luis Obispo, CA 93405  
 (805) 704-8613  
 Architect License C17215

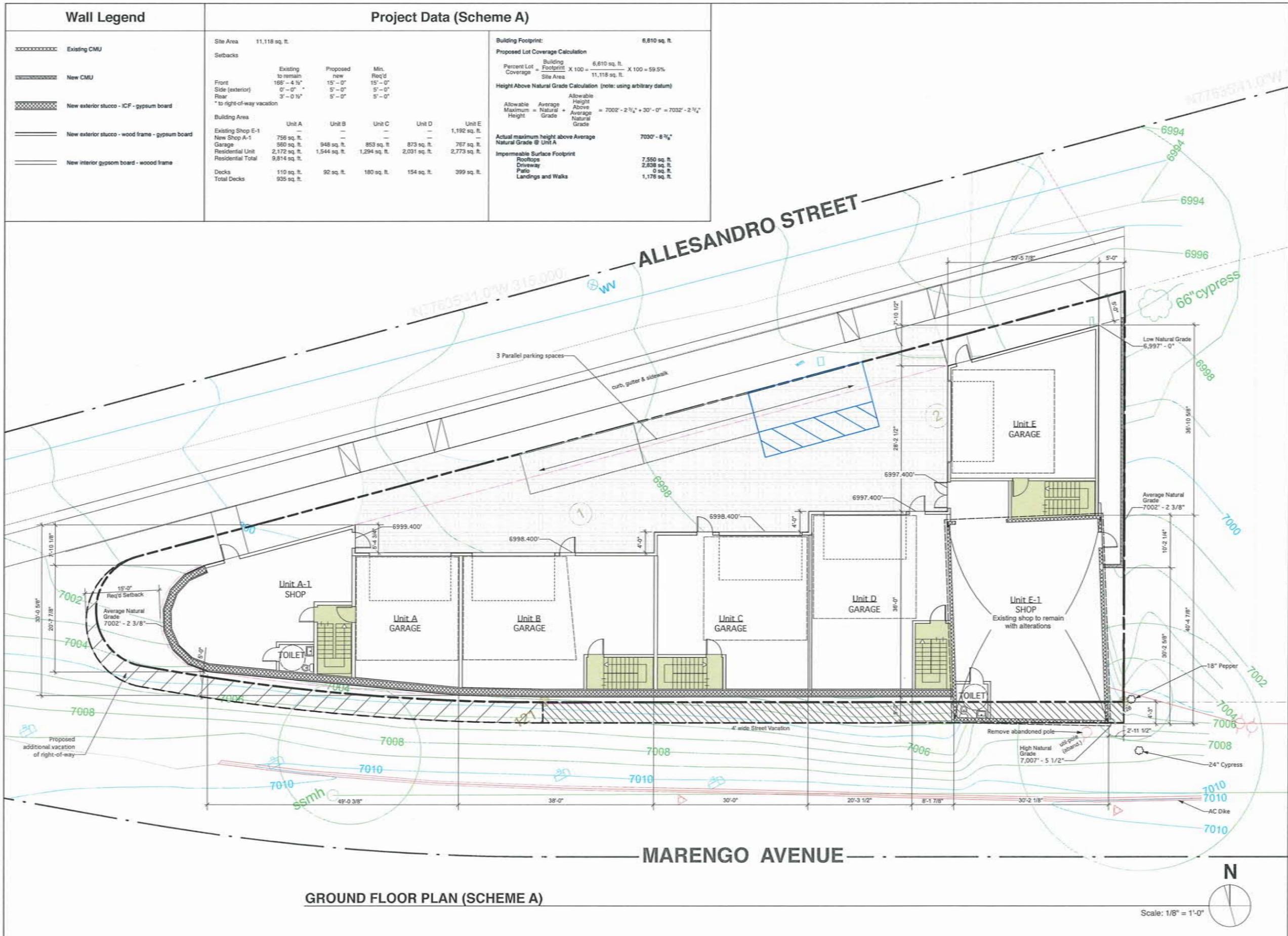
**GROUND FLOOR PLAN (SCHEME A)**

**MIXED-USE**  
 1140 Allessandro Avenue  
 Morro Bay, CA 93442

PAGE NO.

**A-2**  
 OF 13

SHEET TITLE  
 GROUND FLOOR PLAN (SCHEME A)



**GROUND FLOOR PLAN (SCHEME A)**

DATE: MAY 21, 2021  
 DRAWN BY: GAB / MS  
 REVISIONS: NONE



**Greg Allen Barker, AIA**  
 120 Cerro Romauldo Avenue  
 San Luis Obispo, CA 93405  
 (805) 704-8613  
 Architect License C17215

**SECOND FLOOR PLAN  
 (SCHEME A)**

**MIXED-USE**

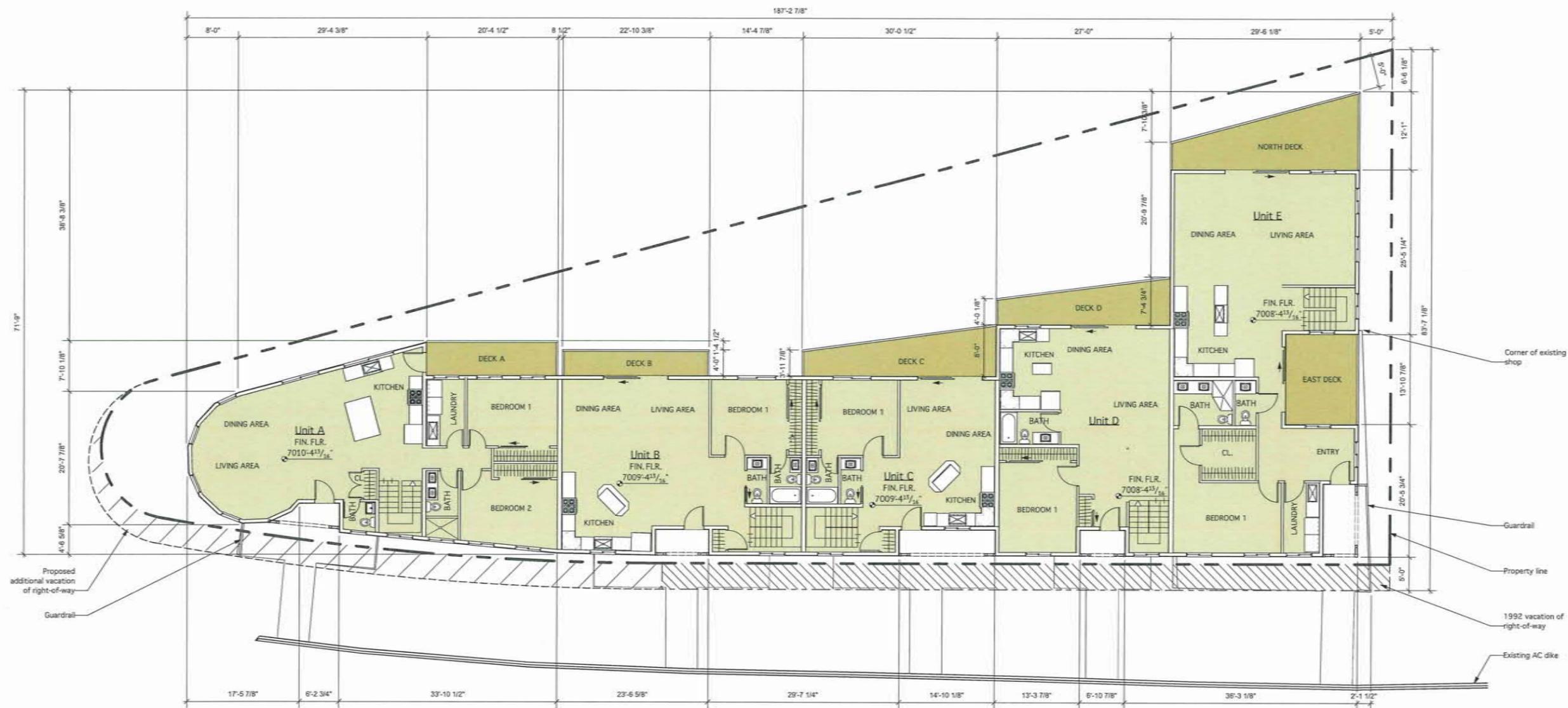
1140 Alessandro Avenue  
 Morro Bay, CA 93442

PAGE NO.

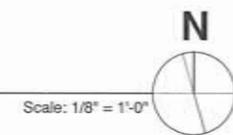
**A-3**  
 OF 13

SHEET TITLE

SECOND FLOOR PLAN  
 (SCHEME A)



**SECOND FLOOR PLAN (SCHEME A)**



DATE: MAY 21, 2021  
 DRAWN BY: GAB  
 REVISIONS: NONE

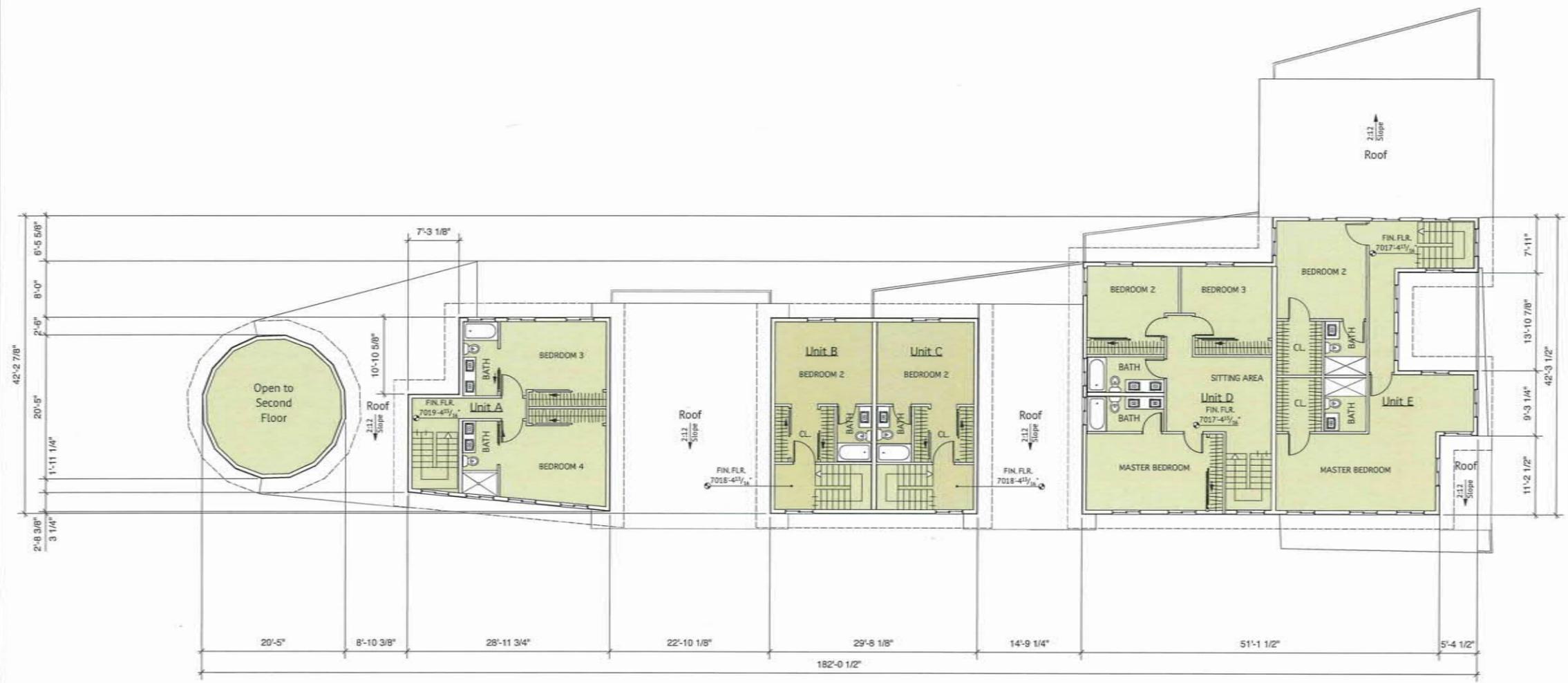


**Greg Allen Barker, AIA**  
 120 Cerro Romauldo Avenue  
 San Luis Obispo, CA 93405  
 (805) 704-8613  
 Architect License C17215

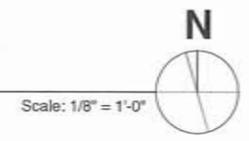
**THIRD FLOOR PLAN  
 (SCHEME A)**

**MIXED-USE**  
 1140 Alessandro Avenue  
 Morro Bay, CA 93442

PAGE NO.  
**A-4**  
 OF 13  
 SHEET TITLE  
 THIRD FLOOR PLAN  
 (SCHEME A)



**THIRD FLOOR PLAN (SCHEME A)**



DATE: MAY 21, 2021  
 DRAWN BY: GAS  
 REVISIONS: NONE



**Greg Allen Barker, AIA**  
 120 Cerro Romauldo Avenue  
 San Luis Obispo, CA 93405  
 (805) 704-8613  
 Architect License C17215

**ROOF FLOOR PLAN  
 (SCHEME B)**

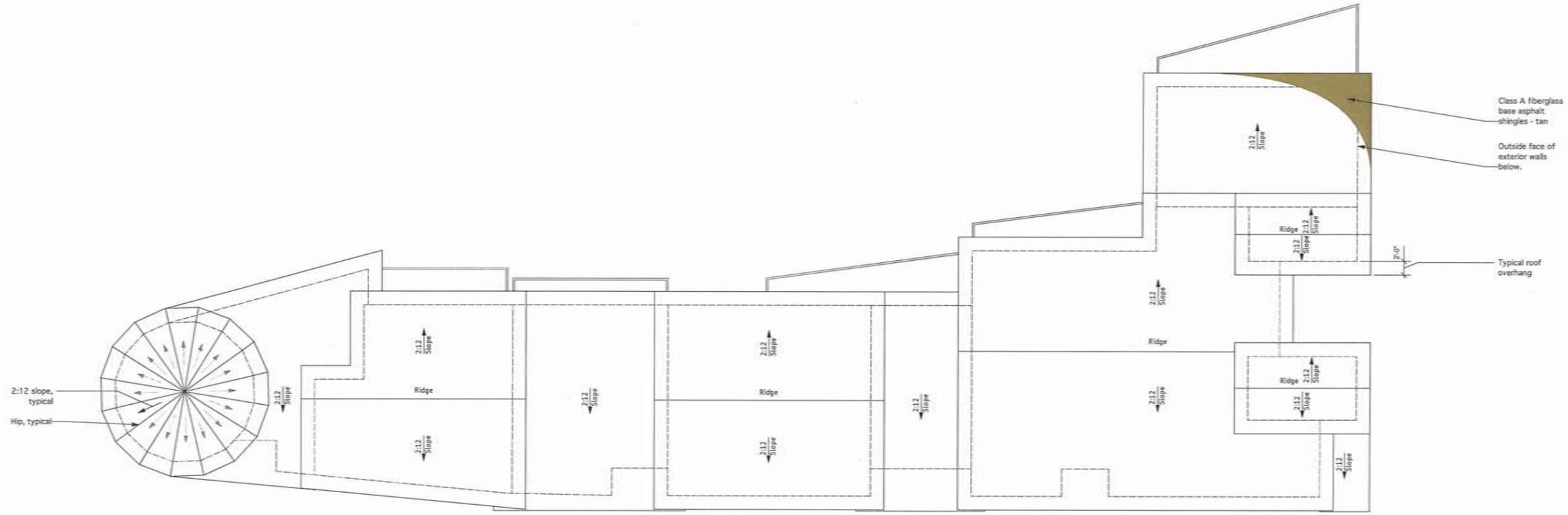
**MIXED-USE**  
 1140 Alessandro Avenue  
 Morro Bay, CA 93442

PAGE NO.

**A-5**  
 OF 13

SHEET TITLE

ROOF PLAN  
 (SCHEME A)



**ROOF PLAN (SCHEME A)**

Scale: 1/8" = 1'-0"

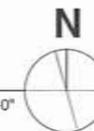
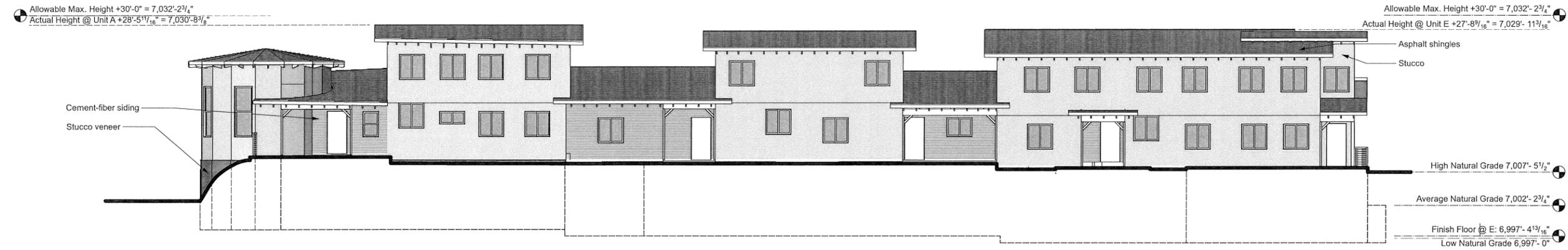


EXHIBIT A



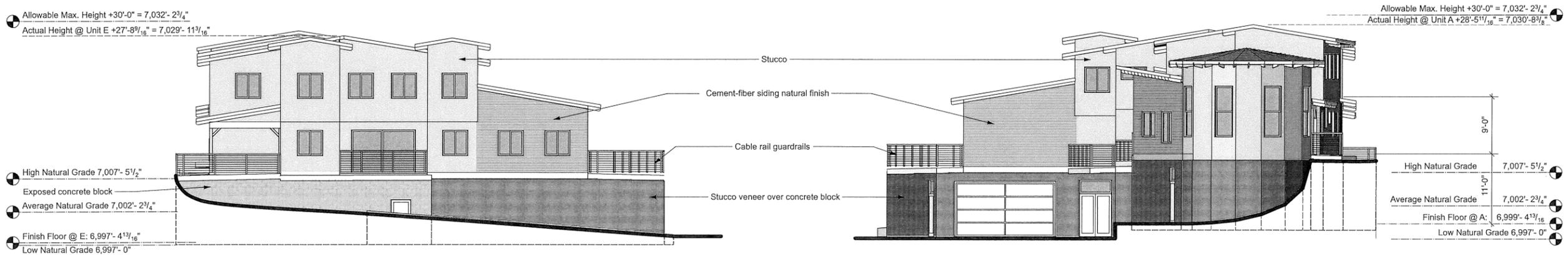
SOUTH ELEVATION (SCHEME A)

Scale: 1/8" = 1'-0"



NORTH ELEVATION (SCHEME A)

Scale: 1/8" = 1'-0"



EAST ELEVATION (SCHEME A)

Scale: 1/8" = 1'-0"

WEST ELEVATION (SCHEME A)

Scale: 1/8" = 1'-0"

DATE: MAY 21, 2021  
DRAWN BY: MS  
REVISIONS: NONE



**Greg Allen Barker, AIA**  
120 Cerro Romauldo Avenue  
San Luis Obispo, CA 93405  
(805) 704-8613  
Architect License C17215

ELEVATIONS  
(SCHEME A)

**MIXED-USE**  
1140 Alessandro Avenue  
Morro Bay, CA 93442

PAGE NO.

**A-6**  
OF 13

SHEET TITLE  
ELEVATIONS  
(SCHEME A)



DATE: MAY 21, 2021  
 DRAWN BY: MS  
 REVISIONS: NONE



**Greg Allen Barker, AIA**  
 120 Cerro Romauldo Avenue  
 San Luis Obispo, CA 93405  
 (805) 704-8613  
 Architect License C17215

**ISOMETRIC VIEWS  
 (SCHEME A)**

**MIXED-USE**

1140 Allesandro Avenue  
 Morro Bay, CA 93442

PAGE NO.

**A-7**  
 OF 13

SHEET TITLE

ISOMETRIC VIEWS  
 (SCHEME A)

EXHIBIT A

Wall Legend	Project Data (Scheme B)	
Existing CMU	Site Area: 11,118 sq. ft.	Building Footprint: 6,099 sq. ft.
New CMU	Setbacks:	Proposed Lot Coverage Calculation
New exterior stucco - ICF - gypsum board	Existing to remain: 165' - 4 1/2"	Percent Lot Coverage = $\frac{\text{Building Footprint}}{\text{Site Area}} \times 100 = \frac{6,099 \text{ sq. ft.}}{11,118 \text{ sq. ft.}} \times 100 = 54.9\%$
New exterior stucco - wood frame - gypsum board	Proposed new: 16' - 10 3/8"	Height Above Natural Grade Calculation (note: using arbitrary datum)
New interior gypsum board - wood frame	Min. Req'd: 15' - 0"	Allowable Maximum Height = Average Natural Grade + Allowable Height Above Average Natural Grade = $7002' - 3 \frac{5}{8}" + 30' - 0" = 7032' - 3 \frac{5}{8}"$
	Front Side (Alessandro) @ Unit "A": 34' 1 15/16"	Actual maximum height above Average Natural Grade @ Unit A: 7030' - 7 7/8"
	Side (Marengo): 0' - 0"	Impermeable Surface Footprint
	Rear: 3' - 0 1/2"	Rooftops: 6,754 sq. ft.
	* to right-of-way vacation	Driveway: 2,696 sq. ft.
		Patio: 0 sq. ft.
		Landings and Walks: 1,195 sq. ft.
	Building Area	
	Existing Shop E-1: 1,085 sq. ft.	
	Garage: 1,523 sq. ft.	
	Residential Unit: 9,295 sq. ft.	
	Residential Total: 9,295 sq. ft.	
	Decks: 676 sq. ft.	
	Unit A: 92 sq. ft.	
	Unit B: 180 sq. ft.	
	Unit C: 154 sq. ft.	
	Unit D: 250 sq. ft.	
	Unit E: 1,071 sq. ft.	
	Garage: 704 sq. ft.	
	Residential Total: 2,502 sq. ft.	

DATE: MAY 21, 2021  
DRAWN BY: GAB  
REVISIONS: NONE

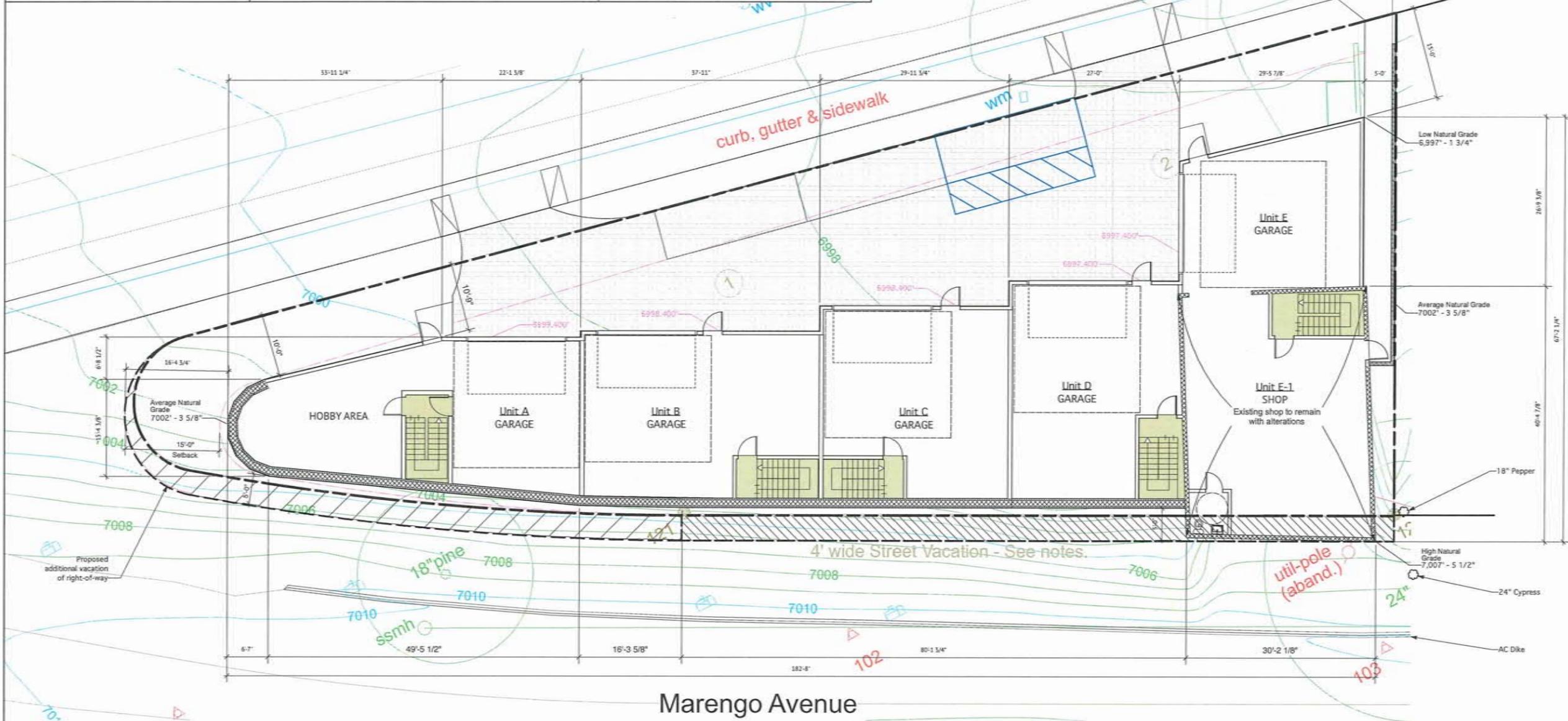


**Greg Allen Barker, AIA**  
120 Cerro Romauldo Avenue  
San Luis Obispo, CA 93405  
(805) 704-8613  
Architect License C17215

**GROUND FLOOR PLAN (SCHEME B)**

**MIXED-USE**  
1140 Alessandro Avenue  
Morro Bay, CA 93442

PAGE NO.  
**A-8**  
OF 13  
SHEET TITLE  
GROUND FLOOR PLAN (SCHEME B)



**GROUND FLOOR PLAN (SCHEME B)**

DATE: MAY 21, 2021  
 DRAWN BY: GAB  
 REVISIONS: NONE



**Greg Allen Barker, AIA**  
 120 Cerro Romauldo Avenue  
 San Luis Obispo, CA 93405  
 (805) 704-8613  
 Architect License C17215

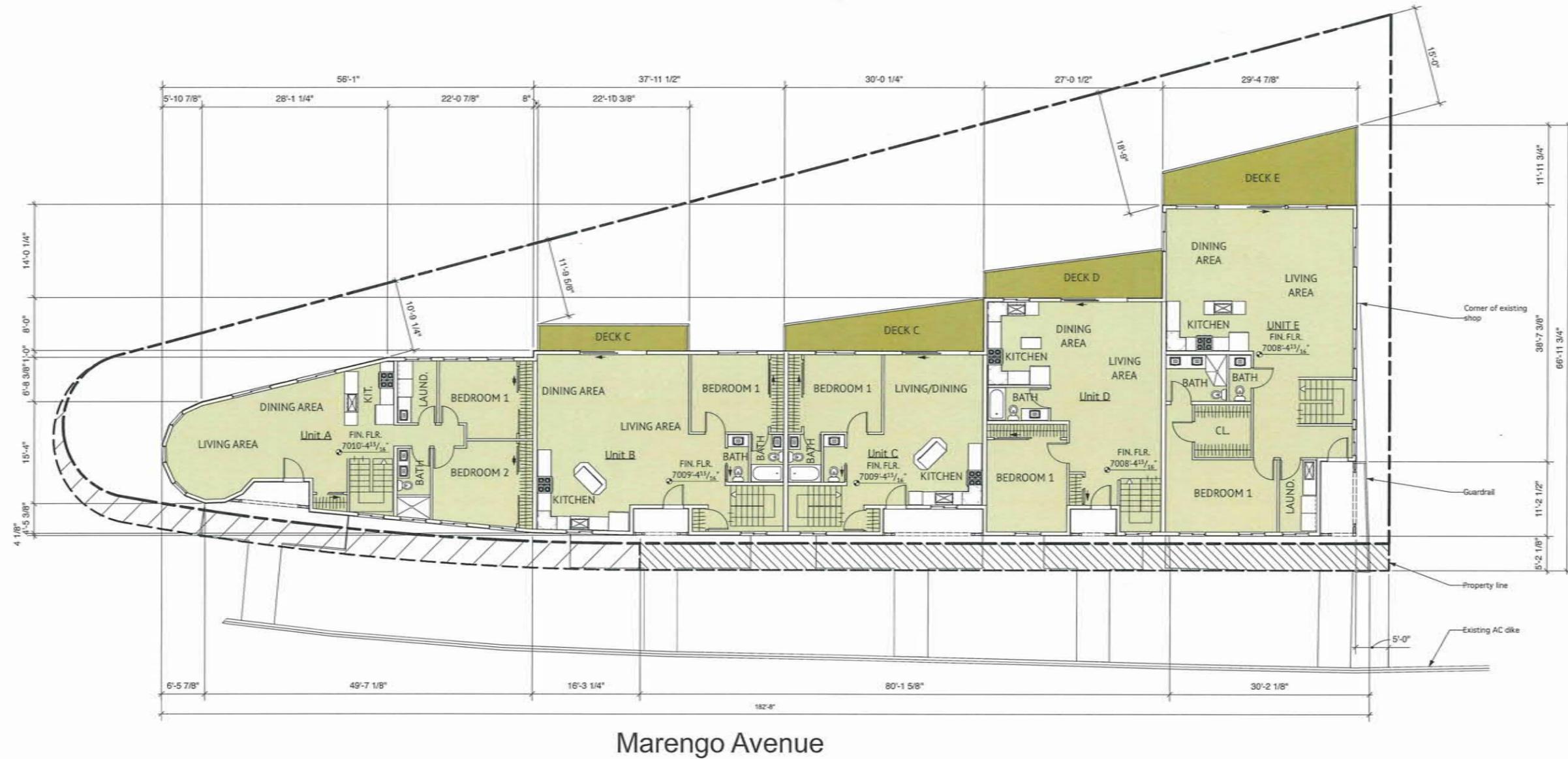
**SECOND FLOOR PLAN  
 (SCHEME B)**

**MIXED-USE**  
 1140 Alessandro Avenue  
 Morro Bay, CA 93442

PAGE NO.

**A-9**  
 OF 13

SHEET TITLE  
 SECOND FLOOR PLAN  
 (SCHEME B)



Marengo Avenue

**SECOND FLOOR PLAN (SCHEME B)**

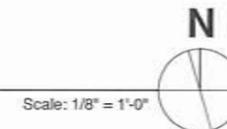


EXHIBIT A

DATE: MAY 21, 2021  
 DRAWN BY: GAB  
 REVISIONS: NONE



**Greg Allen Barker, AIA**  
 120 Cerro Romauldo Avenue  
 San Luis Obispo, CA 93405  
 (805) 704-8613  
 Architect License C17215

**THIRD FLOOR PLAN  
 (SCHEME B)**

**MIXED-USE**

1140 Alessandro Avenue  
 Morro Bay, CA 93442

PAGE NO.

**A-10**  
 OF 13

SHEET TITLE

THIRD FLOOR PLAN  
 (SCHEME B)



**THIRD FLOOR PLAN (SCHEME B)**

Scale: 1/8" = 1'-0"



DATE: MAY 21, 2021  
 DRAWN BY: GAB  
 REVISIONS: NONE



**Greg Allen Barker, AIA**  
 120 Cerro Romauldo Avenue  
 San Luis Obispo, CA 93405  
 (805) 704-8613  
 Architect License C17215

**ROOF PLAN  
 (SCHEME B)**

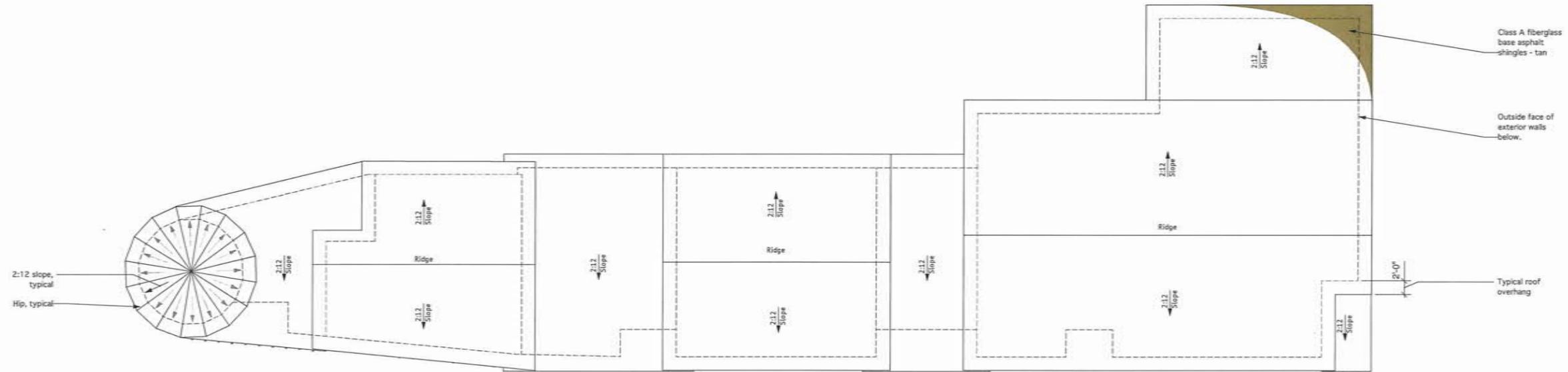
**MIXED-USE**  
 1140 Allesandro Avenue  
 Morro Bay, CA 93442

PAGE NO.

**A-11**  
 OF 13

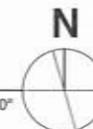
SHEET TITLE

ROOF PLAN  
 (SCHEME B)



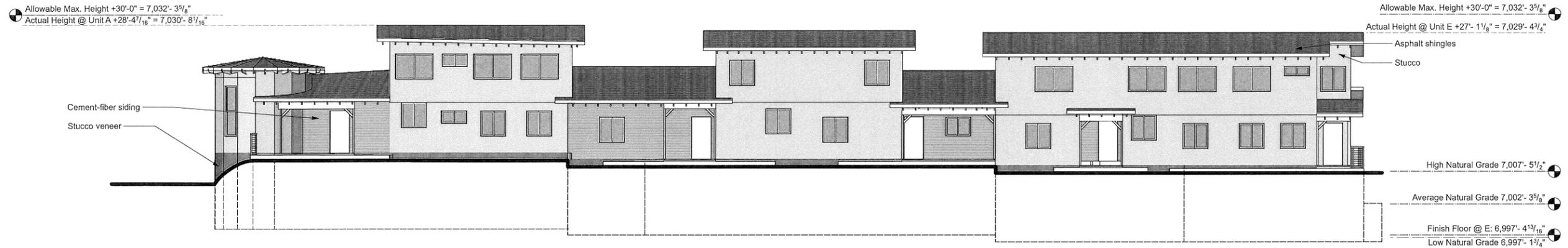
**ROOF PLAN (SCHEME B)**

Scale: 1/8" = 1'-0"



# EXHIBIT A

DATE: MAY 21, 2021  
 DRAWN BY: MS  
 REVISIONS: NONE



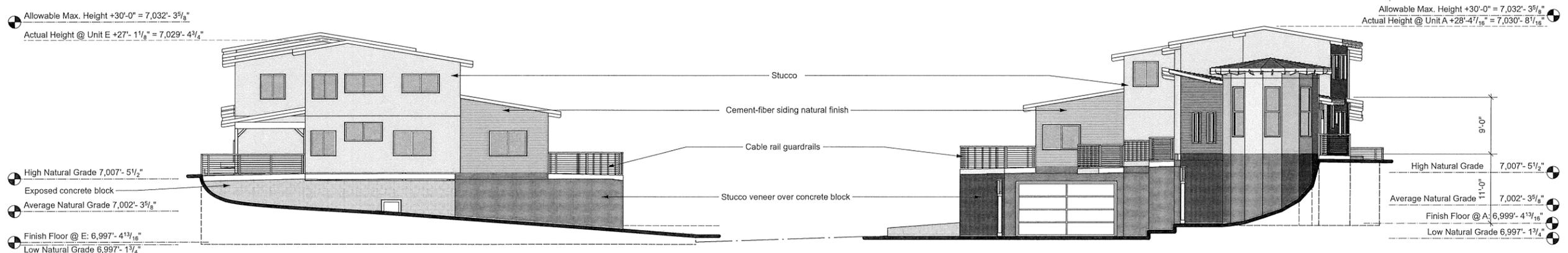
**SOUTH ELEVATION (SCHEME B)**

Scale: 1/8" = 1'-0"



**NORTH ELEVATION (SCHEME B)**

Scale: 1/8" = 1'-0"



**EAST ELEVATION (SCHEME B)**

Scale: 1/8" = 1'-0"

**WEST ELEVATION (SCHEME B)**

Scale: 1/8" = 1'-0"



**Greg Allen Barker, AIA**  
 120 Cerro Romauldo Avenue  
 San Luis Obispo, CA 93405  
 (805) 704-8613  
 Architect License C17215

**ELEVATIONS  
 (SCHEME B)**

**MIXED-USE**  
 1140 Alessandro Avenue  
 Morro Bay, CA 93442

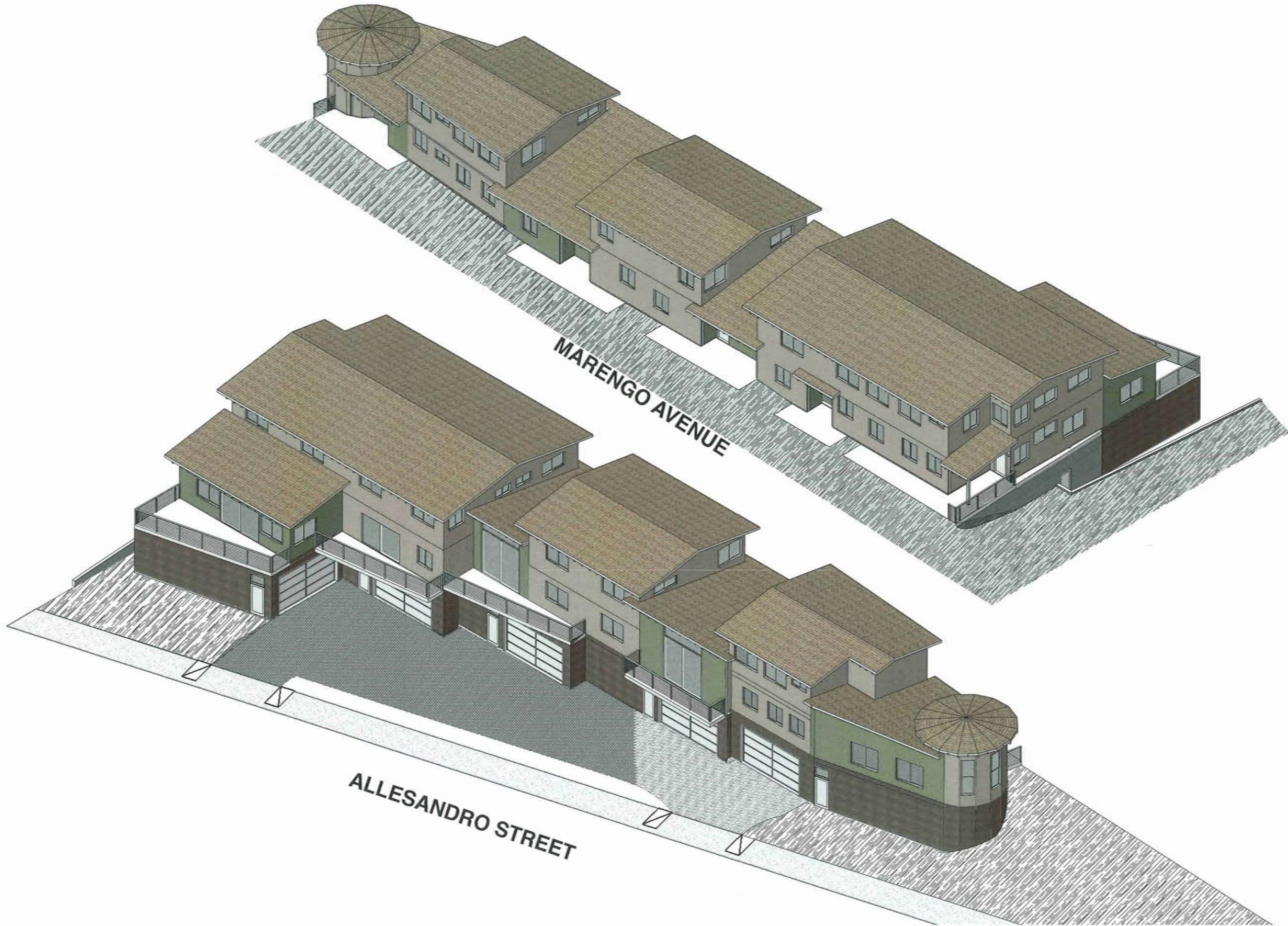
PAGE NO.

**A-12**

OF 13

SHEET TITLE

ELEVATIONS  
 (SCHEME B)



DATE: MAY 21, 2021  
DRAWN BY: MS  
REVISIONS: NONE



**Greg Allen Barker, AIA**  
120 Cerro Romauldo Avenue  
San Luis Obispo, CA 93405  
(805) 704-8613  
Architect License C17215

**ISOMETRIC VIEWS  
(SCHEME B)**

**MIXED-USE**

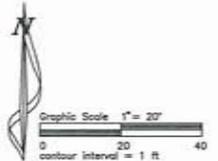
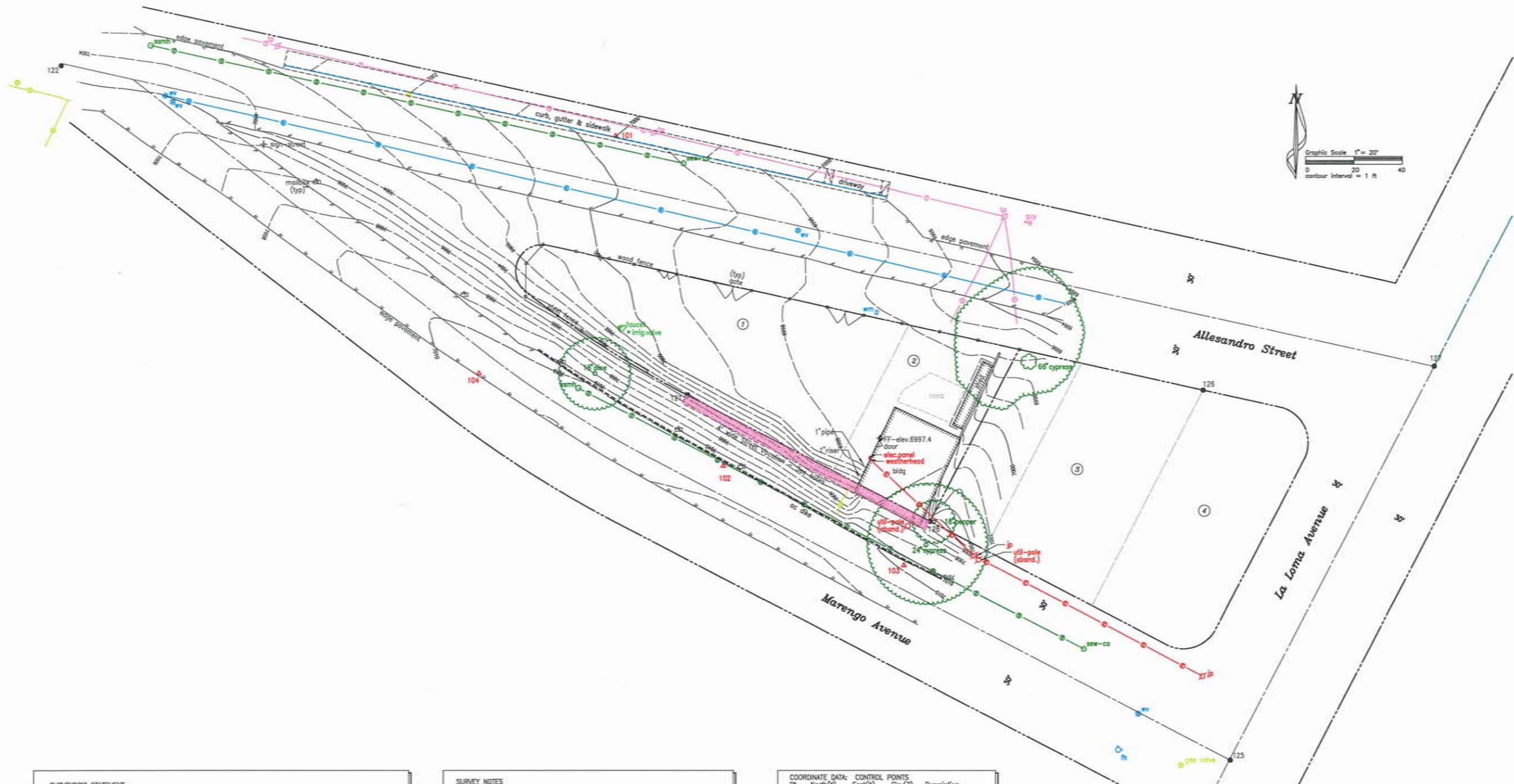
1140 Allesandro Avenue  
Morro Bay, CA 93442

PAGE NO.

**A-13**  
OF 13

SHEET TITLE

ISOMETRIC VIEWS  
(SCHEME B)



**SURVEYOR'S STATEMENT**  
 This map was prepared by me and is based on a field survey in August, 2019, at the request of Luhr Design and Construction, Inc.  
 This map delineates the horizontal and vertical locations of visible features, natural and man-made, within the areas shown for the purpose of site planning and engineering study. No warranty as to the size, type and location of non-visible features, natural and man made, that may exist, is expressed or implied.  
 Utility agencies should be contacted prior to any excavation.

**DIGITAL DATA**  
 These data may have been delivered as a courtesy to the client or other third parties in digital form. Delivery of the electronic file does not constitute the delivery of our professional services. The most recent signed and sealed paper print represents the delivery of professional services and must be referred to for correct information. REESE Water & Land Surveying Services (RWLSS) shall not be responsible for modifications to, or products derived from, the electronic files which are not approved, signed and sealed by RWLSS.  
 Uncontrolled or unauthorized use by any individual or entity for any purposes whatsoever shall incur any liability on the part of RWLSS.  
 Copyright (c) 2019 RWLSS.

*Robert J. Reese*  
 Robert J. Reese, LS6208  
 2019.08.11  
 date



**SURVEY NOTES**

1. The survey for this mapping was performed in August, 2019.
2. Survey horizontal and vertical units are US survey feet.
3. The grid coordinates are assumed. The grid origin coordinates at #101 are as listed.
4. The vertical datum is assumed. The local survey benchmark is #101 as listed.
5. The basis of bearings is the line from #121 to #126, calculated as N 89°29'17" E, 4213.375 ft (213.00' meas) per Record of Survey, on file in Book 66, Page 66, of Licensed Surveys in San Luis Obispo County Recorder's office.
6. Centerlines, rights of way, easements or other title lines shown are derived from compiled record information tied to surveyed positions of found monumentation as noted.
7. The 4' wide strip shown as Street Vacation along the northeasterly right of way of Marengo Avenue is per unrecorded City of Morro Bay Resolution 114-92.
8. Drip lines for trees are approximate.

**COORDINATE DATA: CONTROL POINTS**

PL	North(Y)	East(X)	Elev(Z)	Description
101	5000.00	6000.00	7000.00	MAG&CPW
102	4984.20	6044.87	7010.35	MAG&CPW
103	4923.36	6119.32	7009.83	MAG&CPW
104	4902.31	5943.75	7010.62	MAG&CPW
121	4893.52	6029.90	7004.58	RBR&CAP-LS4562
122	5029.08	5770.90	7004.19	BC-CITY-MB-LSS201
123	4890.59	6326.44	6990.05	PW&PIN
124	4914.53	6164.17	6996.35	1/2" P&CONC-PLUG
125	4743.36	6254.49	7010.65	ALUMCAP-LSS702
126	4895.42	6242.90	6996.23	RBR&CAP-LS4562
127	4905.27	6338.28	6988.15	ALUMCAP-LSS702
128	4841.52	6130.13	7003.97	RBR4562LS

RBRCT = rebar, plastic cap & tack  
 MAG&CPW = mag nail & control point washer  
 RBR&CAP = rebar & plastic cap

**TOPOGRAPHIC MAP**  
**Allesandro Street Pty**  
 in the  
 City of Morro Bay  
 County of San Luis Obispo  
 California

revisions

--	--

sheet title	TOPOGRAPHIC MAP Allesandro Street Pty
project	---

client  
 Gerry Luhr

**REESE Water & Land SURVEYING SERVICES**  
 900-B Los Osos Valley Road  
 Los Osos, CA 93402  
 805.439.2741

drawn by: rjr	file name: 1914-topo.pro
checked by: rjr	scale: 1" = 20'
job no. 1914	contour = 1'
plot date 2019.08.11	sheet C-1 of 2

**Legal Description for Street Vacation**

DATE: MAY 21, 2021  
 DRAWN BY: GAB  
 REVISIONS: NONE

**Legal Description for STREET VACATION**

**EXHIBIT A**

A portion of Allesandro Avenue and Marengo Drive, in the City of Morro Bay, County of San Luis Obispo, State of California, adjacent to Lot 1 of Block 11 as shown on the map of Morro Bay Vista Tract No. 1, recorded June 10, 1925, in Map Book 3, Page 57, of Official Records of said County, described as follows:

- (1) Beginning at a point on the northeasterly line of said Lot 1, at the northwesterly end of the course noted as South 77°39'30" East, 152.05 feet, at the beginning of a tangent curve concave easterly, having a radius of 13.02 feet, the radial bearing of which bears North 12°20'30" East;
- (2) thence westerly, southerly and southeasterly along said curve a distance of 35.19 feet through a central angle of 154°51'31" to a point on a line parallel with and 4.00 feet southwesterly from the southwesterly line of said Lot 1, which point is the beginning of a compound curve, concave northeasterly, having a radius of 441.78 feet, the radial bearing of which bears South 37°28'59" West;
- (3) thence parallel with and 4.00 feet southwesterly of the southeasterly line of said Lot 1, along said curve a distance of 78.20 feet through a central angle of 10°08'29" to a point of tangency, the radial line of which bears South 27°20'30" West, which point is the most westerly point on a street vacation described in The City of Morro Bay Resolution No. 114-92, "RESOLUTION TO SUMMARILY ABANDON A PORTION OF PUBLIC RIGHT-OF-WAY, MARENGO DRIVE" (undated and unrecorded);
- (4) thence along the northwesterly line of said Resolution No. 114-92, North 27°20'30" East (record North 27°21'32" East per said Resolution), 400 feet to the southwesterly line of said Lot 1, which point is the beginning of a curve concave northeasterly, having a radius of 437.78 feet, the radial line of which bears South 27°20'30" West;
- (5) thence along said curve being the southwesterly line of said Lot 1, a distance of 78.40 feet through a central angle of 10°15'40" to the beginning of a compound curve concave easterly, having a radius of 10.92 feet, the radial line of which bears South 37°36'10" West;
- (6) thence continuing along said curve being the westerly line of said Lot 1, a distance of 29.49 feet through a central angle of 15°44'20" to the Point of Beginning.

The above described parcel contains 370 square feet and is as shown on Exhibit B, attached hereto and made a part hereof.

This description has been prepared by me in accordance with provisions of the Professional Land Surveyors Act.

Robert Reese, LS 6208 \_\_\_\_\_ date \_\_\_\_\_



**Greg Allen Barker, AIA**  
 120 Cerro Romauldo Avenue  
 San Luis Obispo, CA 93405  
 (805) 704-8613  
 Architect License C17215

**STREET VACATION  
 LEGAL DESCRIPTION  
 MAP**

**MIXED-USE**  
 1140 Allesandro Street  
 Morro Bay, CA 93442

PAGE NO.

**C-2**  
 OF 2

SHEET TITLE  
 STREET VACATION  
 LEGAL DESCRIPTION  
 MAP

**Map**

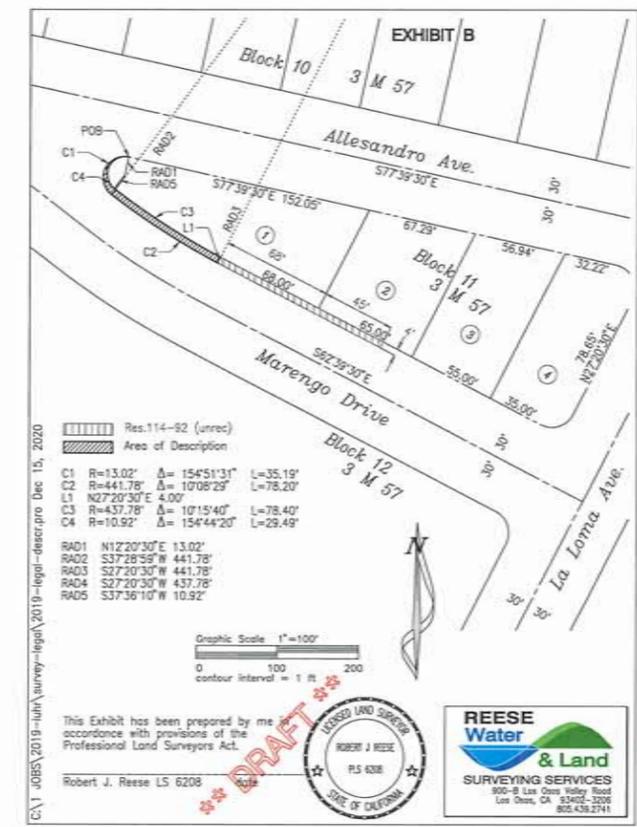
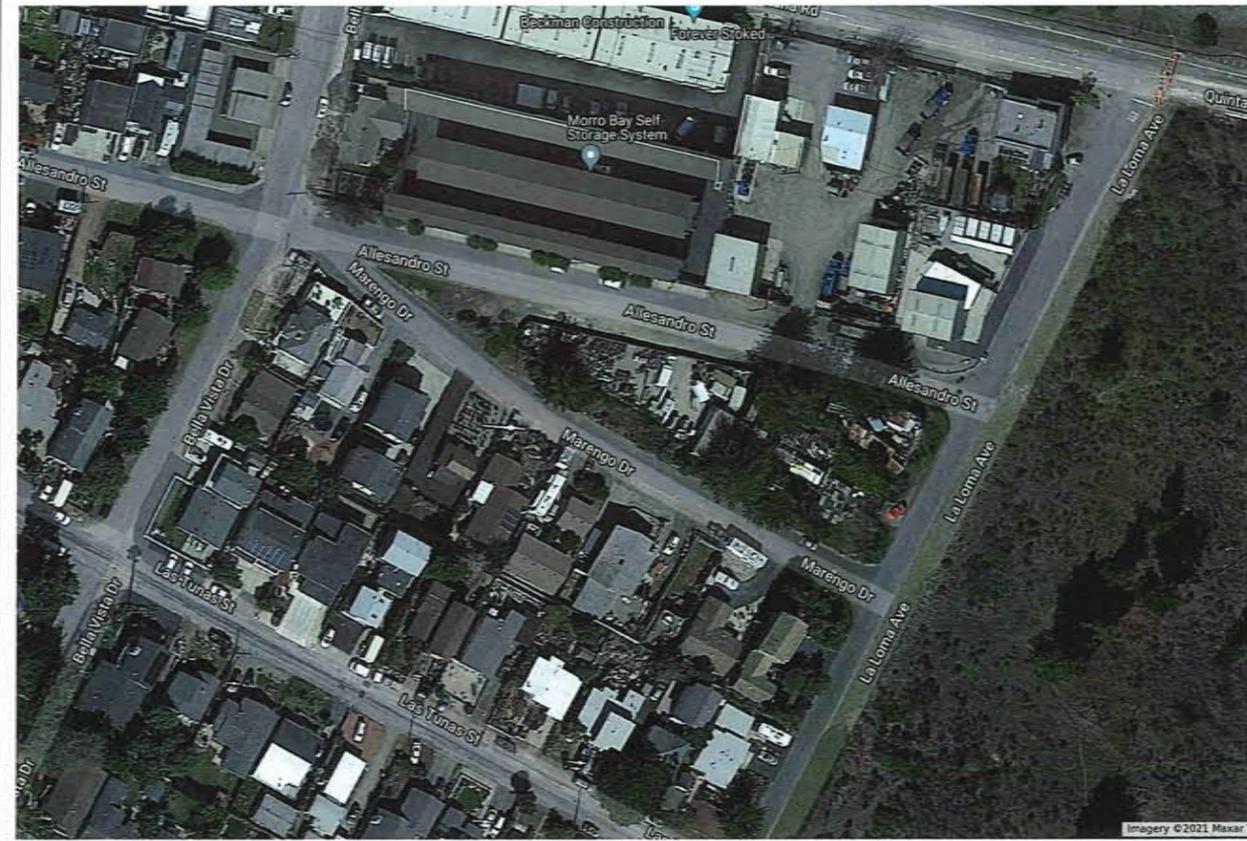
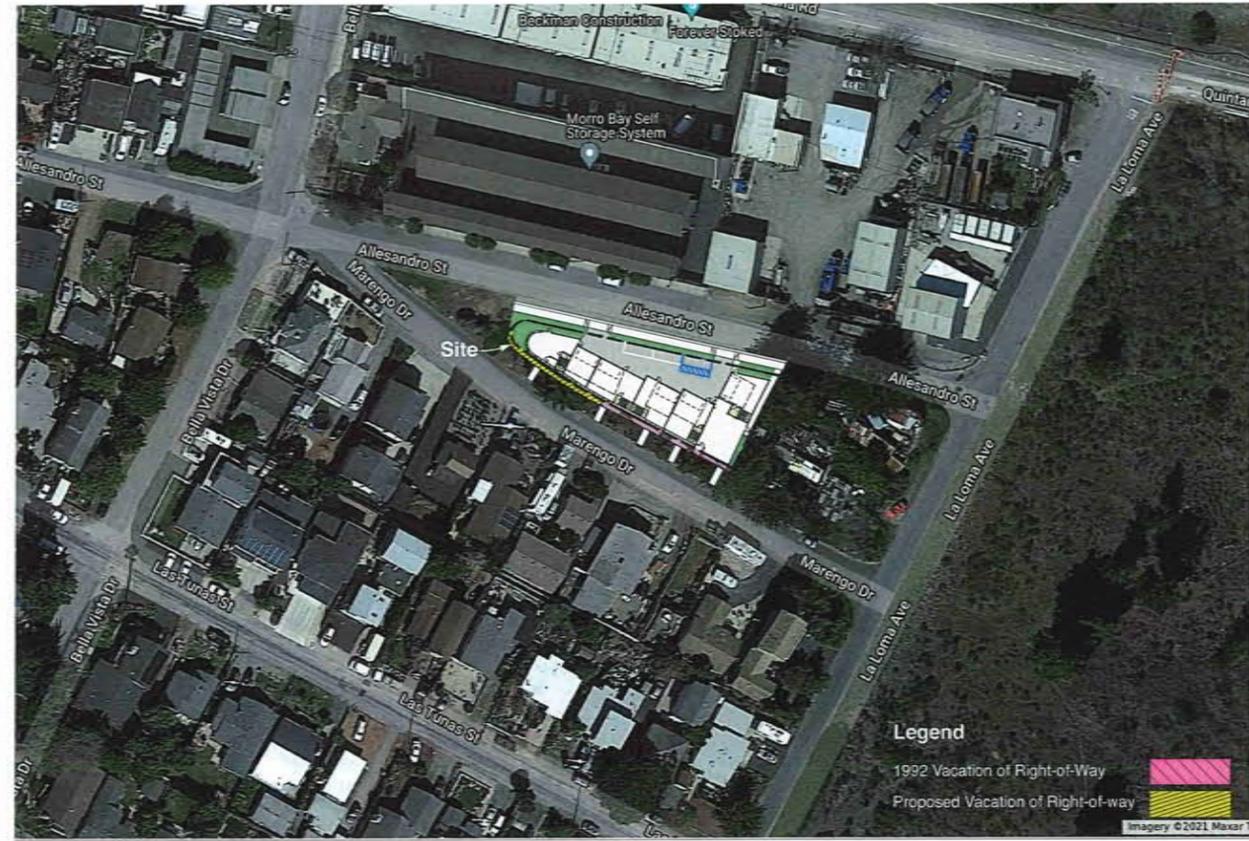


EXHIBIT A



EXISTING SITE AND VICINITY



PROPOSED SITE PLAN IN CONTEXT



EXISTING VIEW FROM NORTHEAST



PERSPECTIVE A FROM NORTHEAST — SCHEME A

DATE: SEP 3, 2021  
 DRAWN BY: GAB  
 REVISIONS: NONE



**Greg Allen Barker, AIA**  
 120 Cerro Romauldo Avenue  
 San Luis Obispo, CA 93405  
 (805) 704-8613  
 Architect License C17215

EXISTING SITE & VICINITY  
 SITE PLAN IN CONTEXT  
 EXISTING VIEW FROM NE  
 PERSPECTIVE A FROM NE

**MIXED-USE**  
 1140 Alessandro Street  
 MORRO BAY, CA 93442

PAGE NO.

**A-14**  
 OF 16

SHEET TITLE

SITE PLAN IN CONTEXT  
 PERSPECTIVE A

EXHIBIT A

DATE: SEP 3, 2021  
 DRAWN BY: GAB  
 REVISIONS: NONE



**Greg Allen Barker, AIA**  
 120 Cerro Romauldo Avenue  
 San Luis Obispo, CA 93405  
 (805) 704-8613  
 Architect License C17215

EXISTING VIEW FROM NW  
 PERSPECTIVE B FROM NW  
 EXISTING VIEW FROM SW  
 PERSPECTIVE C FROM SW

**MIXED-USE**  
 1140 Alessandro Street  
 Morro Bay, CA 93442

PAGE NO.

**A-15**  
 OF 16

SHEET TITLE

PERSPECTIVE B  
 PERSPECTIVE C



EXISTING VIEW FROM NORTHWEST



PERSPECTIVE B FROM NORTHWEST — SCHEME A



EXISTING VIEW FROM SOUTHWEST



PERSPECTIVE C FROM SOUTHWEST — SCHEME A



EXISTING VIEW FROM SOUTHEAST



PERSPECTIVE D FROM SOUTHEAST – SCHEME A

DATE: SEP 3, 2021  
DRAWN BY: GAS  
REVISIONS: NONE



**Greg Allen Barker, AIA**  
120 Cerro Romauldo Avenue  
San Luis Obispo, CA 93405  
(805) 704-8613  
Architect License C17215

EXISTING VIEW FROM SE  
PERSPECTIVE D FROM SE

**MIXED-USE**  
1140 Alessandro Street  
Morro Bay, CA 93442

PAGE NO.

**A-16**  
OF 16

SHEET TITLE

PERSPECTIVE D



AGENDA NO: C-2  
MEETING DATE: October 19, 2021

## Staff Report

**TO: Planning Commissioners**

**DATE: October 10, 2021**

**FROM: Scot Graham, Community Development Director and Saba Asghary, Assistant Planner**

**SUBJECT: Review and consideration of a policy memo to establish design guidelines for public amenities along the waterfront.**

### **RECOMMENDATION**

*Review the staff report and supporting materials and provide input and direction to staff on preparation of a policy memo related to public amenity design along the waterfront.*

### **PROJECT DESCRIPTION**

This item stems from the Planning Commission (PC) meeting on September 21, 2021 and is intended to result in the preparation of a PC Policy memo designed to address design elements for public spaces along the Harbor Walk and Embarcadero. Ideally the Memo would include the two objectives provided below along with the associated implementing concepts:

1. Identification of policies and practices to avoid privatization of public space
  - Create clear and easily recognizable identity or public spaces.
  - Example umbrellas with graphic identity for the Harbor Walk in optional colors. Alternative is "public color" for umbrellas.
  - Tables and chairs to be standardized and cared for by local businesses. Alternative to consider fixed tables to avoid creep and clutter.
  - Avoid clutter such as planters and barricades that crowd public space and diminish the spatial integrity.
  - Maintain open view corridors to the bay and Harbor Walk with enforcement of dimensional clearance.

## 2. To promote a continuous and cohesive experience for the Harbor Walk

- Potential Standards including: guardrails, same color spectrum lamps and lighting fixtures.
- Continuity of new decking materials.
- Identity signage.
- Incorporate adjacent events and spaces, artifacts and narratives where opportunities exist.
- Consciously include the fishing village narrative.

The staff report includes a fairly lengthy, but not exhaustive background section that identifies existing City policy documents that address design and public access along the waterfront. The Background section is followed by a Design Options section which should assist the Planning Commission in identifying design and policy items for inclusion in the policy memo.

### **BACKGROUND**

The City has multiple documents that discuss public access policy and design guidelines for development along the waterfront, including the following:

- 2021 General Plan
- 2018 Downtown and Waterfront Strategic Plan
- 1996 Waterfront Master Plan

### **General Plan Community Design Element (2021)**

Plan Morro Bay is the City of Morro Bay's General Plan and Local Coastal Program (LCP) Land Use Plan (LUP). It presents a community vision for Morro Bay through 2040. This document represents the culmination of a multiyear community-wide effort to reflect and define what Morro Bay wants to be as a community. The community seeks to retain its reputation as a unique, eclectic community on the beautiful Central Coast of California while simultaneously enhancing the resiliency of the region and making strides to preserve and protect natural resources.

A key tenet of the Coastal Act is to protect and expand public coastal accessways and areas to help facilitate maximum public recreational shoreline access within the coastal zone. In addition, such coastal access in Morro Bay also promotes recreation, tourism, and ecosystem health. The City provides access to and along the shoreline via lateral access, vertical access, universal access, and the California Coastal Trail. In general, Morro Bay provides good access to the beach, although improvements have been and continue to be made in some areas.

#### *Lateral Public Access*

Lateral access describes the ability to move parallel to the coastline, along the shore. In Morro Bay, lateral access is found contiguously along the coast from the City's northern border, near Morro Rock, along the Embarcadero, and further downcoast. Although the Embarcadero area provides significant lateral access, including along the most bayside portion of development, lateral access is blocked in some cases, including by commercial uses. The goal of the Plan is enhanced and continuous lateral public access throughout the City, including the connection to Cayucos at the northern end of town. There is a particular emphasis on lateral access improvements needed in the Embarcadero area, where complete bayside lateral access via dedicated public space is required, and where the City has identified a preferred alignment and design for such continuous lateral coastal access.

#### *Vertical Public Access*

Lateral access is supported by vertical access points, which create perpendicular access to the coast. Morro Bay offers extensive vertical access points throughout the entirety of the coastal zone, most notably along the Embarcadero where buildings are spaced to allow public access to the shoreline. In the northern portion of the coastal zone, vertical access extends from Beachcomber Street, with both identified trails and informal paths through coastal brush.

The following Goals and Policies listed in the General Plan Land Use Element are related to the waterfront's public amenities:

**GOAL LU-4:** Coastal-dependent uses are prioritized within appropriate locations in the coastal zone.

**POLICY LU-4.1:** Waterfront Uses. Maintain and encourage the development of visitor serving and coastal-dependent land uses along the waterfront, and give such uses priority over other types of development that are either not dependent on a waterfront location or not related to public use and enjoyment of the coast.

**Goal LU-7:** All residents and visitors have unimpeded and convenient public access to and along the coast.

**POLICY LU-7.1:** Lateral Access. All existing publicly used lateral accessways and areas shall be protected, preserved, and enhanced to the maximum possible extent, and new lateral accessways/areas shall be encouraged and provided, where appropriate. All lateral connections along the coast, with particular emphasis on the Embarcadero, shall be required to be improved and enhanced. All such connections shall be universally accessible. For new development (defined by the Coastal Act) adjacent to the bayfront or ocean, open and unobstructed public access shall be provided from the nearest public roadway to the shoreline and along the coast as required herein.

**b. Lateral Public Access.** Open and unobstructed lateral public access along the waterfront revetment (or shoreline, pursuant to subsection (a.) of this section if no revetment exists) shall be provided in all new

development or additions on properties adjacent to the bayfront consistent with the provisions herein, and with public safety needs and the need to protect public rights, rights of private property held by leaseholders, and natural resource areas from overuse.

**g.** Lateral access along the waterfront revetment may be achieved in the following manner:

- i. Walkways.** In the form of open or enclosed unobstructed walkways, a minimum of 10 feet wide across the bayward side of the proposed development.
- ii. Decking and/or boardwalks.** Open and unobstructed exterior decking and/or boardwalks extending bayward a minimum of 10 feet clear exclusive of railings, signage etc.
- iii. Breezeways and/or walkways.** Designated open and unobstructed breezeways and/or walkways within the structure, provided such breezeways are located as close as possible to the bay and designed to provide the most direct, convenient connection between adjacent existing or potential lateral accessways. Exterior access is preferred over interior access. iv. Connection to adjacent properties shall be planned for and implemented on a system wide basis at the time of submittal for CDP/CUP approvals.

**POLICY LU-7.2:** Lateral Access Requirements. Lateral public access along the waterfront revetment shall be provided in all new developments and rehabilitation or addition projects, consistent with public safety needs and the need to protect public rights and natural resource areas from overuse.

**GOAL LU-8:** Morro Bay's downtown and waterfront areas are active and welcoming locations for shopping, recreation, public access, visitor-serving needs, and coastal services.

**POLICY LU-8.15:** *Design Flexibility.* Allow for design flexibility in the downtown and waterfront areas while perpetuating quality development that will complement and enhance the area's eclectic style and small, seaside character. Development along the waterfront shall comply with the Waterfront Master Plan.

### **Downtown Waterfront Strategic Plan (2018)**

The purpose of this Strategic Plan is to connect and enhance Morro Bay's downtown and waterfront areas and provide a more uniform feel to each district. The Strategic Plan summarizes the outcomes of a community-based visioning process and will serve as a guide for private development and public investment and decision-making over the next 5 to 10 years. This plan, in conjunction with the Morro Bay General Plan, Local Coastal Program, and Zoning Code, provides a framework for property owners, the development

community, and City staff to implement projects and develop properties consistent with the vision, goals, and strategies outlined in the document. In addition, portions of this plan that apply to the waterfront area will serve as a guide for the next update of the Waterfront Master Plan.

The Strategic Plan serves as a catalyst for change in downtown and along the waterfront, identifying priorities for public spending and projects needed to improve the community. Community revitalization often begins with public investment in the planning and design process. Changes to both the public realm (e.g., streets and parks) and the private realm (e.g., buildings) are brought about by a commitment to public, private, and public/private partnership projects that lead to area-wide improvements.

The following design guidelines will help achieve the overarching vision for Morro Bay's downtown and waterfront by perpetuating quality development that will complement and enhance the project area's eclectic style and small, seaside character. The guidelines apply to public improvements as well as all private development that occurs in the project area, addressing the design of both new buildings and renovations to existing structures. Development along the waterfront is required to comply with the Waterfront Master Plan (WMP). The intent of the design guidelines is to:

- Preserve the eclectic charm and small-town seaside character of Morro Bay.
- Improve connectivity between downtown and the waterfront.
- Encourage high-quality materials and architectural elements that enhance the character and identity of the downtown and waterfront areas.
- Create a coordinated and consistent design theme for public facilities including sidewalks, public restrooms, planters, street furniture, benches, signs, and light poles along the Embarcadero and Morro Bay Boulevard.
- Facilitate continuous lateral access along the waterfront.
- Preserve public view corridors to the harbor, bay sandspit, and Morro Rock.
- Foster a strong sense of community, through functional, safe, and well-designed private and public spaces.

The design guidelines include general policies applicable to both the downtown and waterfront and those policies specific to just the waterfront. Applicable policies for both General and waterfront specific guidelines are provided below:

## **LIGHTING**

### **general**

1. Lighting should be designed to satisfy both functional and decorative needs.
2. All project exterior lighting, with the exception of lighting for public streets, should be consistent with the architectural style of the building. On each site, all lighting fixtures should be from the same family of fixtures with respect to design, materials, color, fixture, and color of light.

3. Incorporate human-scaled fixtures that emit a warm light along pedestrian sidewalks and paths to increase safety and comfort.
4. Lighting fixtures should be dark sky-compliant.
5. The use of energy-efficient light fixtures is strongly encouraged.
  
6. Lighting sources should be downcast, shielded, diffused, or indirect to avoid glare to pedestrians and motorists.
7. To minimize the total number of freestanding pedestrian-scale lighting fixtures, decorative wall-mounted lights are encouraged.
8. Building entrances should be well lit with appropriately scaled light fixtures that complement the building's architectural style.

### **Waterfront specific**

1. The waterfront should be well lit to encourage safety and comfort; but must be dark sky-compliant with downcast, shielded, diffused, or indirect features to avoid glare.
2. Appropriate lighting along the coast should be both functional and decorative.
3. Decorative wall-mounted lights are encouraged to minimize the number of freestanding pedestrian-scale lighting fixtures.
4. Light fixtures should be installed at calf-height.

### **PLAZAS AND OUTDOOR SPACES**

1. Larger mixed-use developments should incorporate defined open spaces that are accessible to the public. Appropriate spaces include forecourts, paseos, and plazas.
2. The design of small seating areas, plazas, and outdoor dining is encouraged as an integral component of all new development to enhance the downtown and waterfront environments.
3. Plazas should be provided along streetscapes, on the waterfront, between buildings, and adjacent to active retail and restaurant uses.
4. Solar access should be considered in the design and orientation of plazas and outdoor spaces, so as to avoid creating spaces that are in shadow most of the day.
5. Greening should be considered in plazas and outdoor spaces, including the public right of way and public parking areas. This would include permeable paving as well as capture and infiltration and/or cleaning of stormwater and runoff, thus reducing the heat island effect.
6. Plazas and outdoor spaces should be designed and oriented such that adjacent active ground-floor uses look onto them to activate the space and provide "eyes on the street."

7. Outdoor gathering spaces should offer a number of amenities including seating, landscaping, and features that draw people in to the space, such as water features, public art, gathering areas, shade, and drinking fountains.
8. Outdoor gathering spaces should provide a range of seating area options, allowing for both large group socializing and more quiet contemplation.
9. Plaza designs that incorporate special paving materials such as pavers, scored concrete, stone, or other accent materials are encouraged.
10. To ensure safety, all new and existing public spaces should be designed and maintained to be highly visible from the surrounding streets and private properties.
11. Plazas and outdoor spaces should be designed to be safe, well-lit, and easily accessible by all modes of transportation.
12. Outdoor spaces should be designed to incorporate Crime Prevention Through Environmental Design (CPTED) principles: natural surveillance, natural access control, territorial reinforcement, and maintenance and management. This includes making outdoor

## **PUBLIC STREET FURNISHING**

### **general**

1. The type, design, and materials of street furnishings should reflect the local character and context of the area, and contribute to a sense of community identity.
2. Street furnishings (e.g., furniture, light fixtures and poles, tree grates) should fit into a desired theme or unified style for a given thoroughfare or district.
3. Ample shading elements and outdoor furniture such as benches and trash receptacles should occur at regular intervals to improve pedestrian access and comfort.
4. Adequate bicycle parking facilities should be provided along planned bicycle lanes and within major activity centers; new developments should be encouraged to incorporate bicycle amenities such as bicycle racks.
5. Bicycle racks should be placed near activity centers, transit, adjacent to public buildings, adjacent to parks, and in other visible locations as appropriate.
6. Pedestrian comfort should be enhanced with amenities such as drinking fountains, public restrooms, public telephones, newsstands, planters, and kiosks, especially along wide sidewalks with heavy foot traffic.
7. Long-term maintenance and appearance costs should be factored in when choosing design patterns, streetscape furnishings, and fixtures.
8. On-street parking, raised planters, bulb outs, and landscaped sidewalk planting strips should be used to provide buffers between pedestrians and moving vehicles.

### **waterfront specific**

1. Street furnishings in the Embarcadero should be consistent with themes identified in the Embarcadero & Centennial Parkway project and the Lateral Access Memorandum.
2. The type, design, and materials of street furnishings in the Embarcadero should reference Morro Bay's heritage as a fishing community through the use of natural materials typical of maritime construction and through the artistic incorporation of shapes, images, and themes derived from the waterfront and the commercial fishing industry. Such marine materials, shapes, and images should be employed with creativity and originality so that the Embarcadero streetscape projects the unique identity of Morro Bay. An excessive or overly literal use of maritime elements which creates a streetscape undistinguished from other seaside communities should be avoided.
3. The strategic placement of furnishings —appropriate signage, benches, and overlook platforms along and near the lateral access ways—should create a network of outdoor spaces to socialize, enjoy natural serenity, and appreciate views of the bay.
4. Ample shading elements and outdoor furniture such as benches and trash receptacles should occur at regular intervals to improve pedestrian access and comfort.
5. Pedestrian comfort should be enhanced with amenities such as drinking fountains, public restrooms, public telephones, newsstands, planters, bicycle racks, and kiosks, especially along wide sidewalks with heavy foot traffic.

## **PUBLIC SIDEWALKS AND PEDESTRIAN PATHWAYS**

1. Public walkways should be of sufficient width to accommodate street trees and pedestrian/bike amenities, as well as a zone devoted to clear pedestrian passage.
2. Consider the use of special paving materials, colors, and/or patterns to accentuate walkways, intersections, and crossings.

## **DESIGN MATERIALS**

1. The materials used in development of waterfront access paths should be uniform in design and relate to the surrounding areas to create lateral continuity along the coast.
2. Railings on bayside lateral access decks and platforms should utilize uniform materials. Recommended railing should be made mostly of metal and provide a high level of transparency to see views beyond the railing.
3. The preferred type of paving for non-floating bayside lateral access is a stained paved pathway. In addition, when lateral access is provided on a deck, the preferred paving material should be slatted metal. Floating lateral access ways,

while more flexible in design, should maintain the uniform waterfront design and compliant signage.

### **DWSP Related Implementation Items**

- Develop a comprehensive plan for the Harbor Walk to ensure a continuous pathway along the water's edge that is uniform in design.
- Install the circulation improvements identified by the Embarcadero Widening Plan, which includes a redesign of the roadway, sidewalk, streetscape furnishings, and parking areas to enhance the aesthetics and the experience for pedestrians, cyclists, and motorists.
- Develop a streetscape furnishing palette (e.g., street lighting, benches, tree grates, trash bins, bollards, planters, paving materials) and a landscaping palette (e.g., street trees, planter strip, and median landscaping) for the Embarcadero.
- Install new/improved streetscape furnishings (e.g., street lighting, banners, benches, tree grates, trash bins, bollards, water filling stations, bike racks, planters, and paving materials) in the waterfront area, according to the Downtown Streetscape Furnishing Palette (see Opportunity Site 4 and Catalyst Project I).
- Develop a historic/heritage self-guided walking tour of the downtown/waterfront area.

### **Waterfront Master Plan (1996)**

The Waterfront Master Plan is the articulation of a vision of the future of Morro Bay's waterfront area and a guidebook for pursuing that vision for the betterment of the community. The Morro Bay Waterfront Master Plan was developed over several years through the efforts of the City Council, staff and consultants, as well as various City Commissions, committees and the citizens of Morro Bay. The Master Plan is made up of several components:

First, the Master Plan includes an amendment to the Planned Development (PD) overlay zone which will require new development to be subject to design guidelines. The suggested changes are included in Appendix A. IN addition, the Plan includes the new design guidelines themselves. Both the zoning amendment and guidelines entail changes to the City's Local Coastal Program (LCP) and, thus, must be forwarded to the Coastal Commission for review and approval.

Secondly, the Master Plan serves as a planning and feasibility study, outlining numerous ideas for further City actions and possible capital projects between Morro Rock and Tidelands Park. Before any new program or project is implemented, it will be subject to further analysis by the City and the public, including environmental review, as appropriate.

Thirdly, the Master Plan provides background information about the waterfront area's history and about important issues facing this critical part of the City, it also provides a number of photographs and maps that illustrate existing condition and ideas for the future.

### **DESIGN OPTIONS**

The design concepts offered below should be taken in context with the background materials provided above. Staff has provided some design concepts and policies for consideration in development of the policy memo. The following design elements are provided for PC consideration:

- Benches
- Trash & Recycling Containers
- Railings and Bullrail Edges
- Bicycle Racks
- Furnishings and Umbrellas
- Paving & Decking
- Planting
- Lighting
- Interpretive Signage

## Benches

Benches let us know we are invited into a public area and provide us with a comfortable resting place. When selecting benches consider the criteria stated below. Benches should also include end and mid-rails at some locations for accessibility. Consider the following criteria for the selection of benches:

- Simple and minimalist form
- Timeless design
- Comfortable
- Durable and maintainable materials
- Appropriate scale for the waterfront



The



following are examples of benches that could be appropriate along the waterfront.



## Design Criteria

### Trash & Recycling Containers

Trash and recycling containers serve an important function in every open space. Their design should be noticeable without attracting unnecessary attention.

Consider the following criteria for the selection of trash and recycling containers:

- “Background” Character
- Simple or Minimalist Form
- Functional
  - Easy to Service
  - Limit Blowing Debris
  - Not Inviting to Birds
- Durable and maintainable materials
- Appropriate scale for the waterfront

Recycling containers should be provided in some locations to accommodate the level of activity for the space. Recycling containers can be a minor addition to a trash container in low intensity areas or may need to be separate containers for sorting of materials in higher use areas.



## Railings and Bullrail Edges

Railings and bullrails are both used along edges of pier aprons, wharves and the Harborwalk. Bullrails are often a preferred edge treatment for wharves and piers because of their minimal view blockage, ability to moor boats at them, and maintaining the waterfront character. Railings may be located in public access areas along non-maritime edges, or if determined necessary by the adjacent uses.

Consider the following criteria when selecting or designing railings:

- Top rail should be inviting to lean on;
- Create a rhythm established by a regular spacing of posts;
- Consider including a mid-rail slightly below the handrail for added interest;
- Consider using posts that break the line of the handrail to minimize the appearance of alignment imperfections;
- Maximize transparency;
- Durable and maintainable materials;
- Appropriate scale for the waterfront.

Bullrail edge



Cable Rail



**Metal Post/Panel Railing With Wood Top Rail.**

Top rail is inviting to lean on, it is not easy to climb, a rhythm is established by the posts and panels, and it appears transparent and durable.



**San Francisco's Pier 7 Railing.**

Top rail is inviting to lean on, it is not easily climbable, a rhythm is established through regularly spaced posts, ornamentation and mid-rail create interest, transparency is high, and the materials are durable and maintainable.



Design Criteria  
**Bicycle Racks**

Biking is increasingly becoming the number one choice for alternative transportation and it is important to provide secure bicycle parking. By providing bicycle parking, the waterfront will be encouraging a healthy community and environment. Bike parking should also be closer to the entryway than the nearest car parking stall. This makes it more desirable than car parking to encourage cycling. Increasing the visibility of the bike parking space also helps the cyclist easily locate bike parking as they approach the destination. This can be done with signage or by making the rack itself as visible as possible with bright colors.



## Design Criteria

### Furnishings and Umbrellas

Furnishings and umbrellas are encouraged to provide comfort for visitors of the waterfront. Wherever utilized, these devices should incorporate durable, high-quality materials such as cloth, aluminum, wrought iron, fabricated steel, or wood. Vinyl or plastic materials should be avoided. Umbrellas can add to the pedestrian scale and experience of the streetscape. Umbrellas are only allowed in the tenant's exterior leased premises and cannot overhang into the public right-of-way.

Seating and table furnishings provide a variety of arrangements using comfortable and durable materials that are accessible to all ages and abilities. Permanent seating should be located at the edge of spaces and along connecting pathways where desired. Locate seating to promote views and lines of sight across spaces. Consideration for movable furniture versus fixed furniture should be considered.

Consider the following criteria for the selection of umbrellas:

- Should umbrellas be small in scale, six feet in diameter, or are larger umbrellas acceptable? Limit umbrellas to nine feet high (9'-0") at the peak.
- Should umbrella stands be cast aluminum, wrought iron, fabricated steel, wood, or similar materials.
- Should insignias, graphics or text be permitted on the umbrella fabric.
- The umbrella fabric must be flame retardant material in an approved color
  - **Option 1:** Umbrellas could contain graphic identity – such as “Harbor Walk” in optional colors
  - **Option 2:** Alternative option is a color palate of acceptable color options (Morro Bay Blue, Maritime Yellow, White, etc.)

The following are examples that could be appropriate along the waterfront.



Design Criteria

**Paving & Decking**

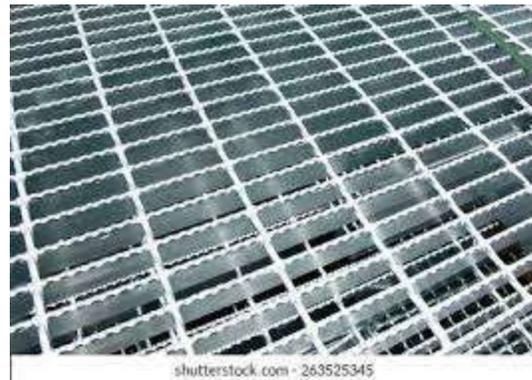
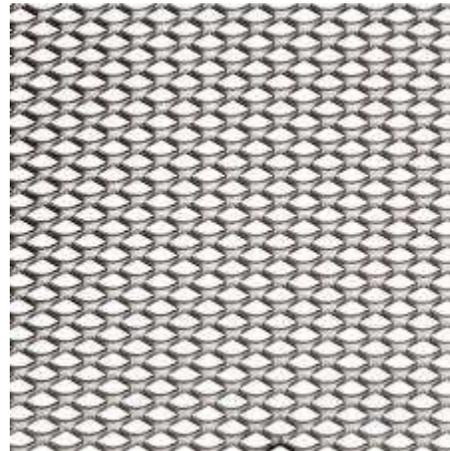
Continuing the paving of the heavily used waterfront onto other adjoining open spaces helps inform users that these areas are there for public use and they are invited to be there. Although not mandatory, this paving should always be considered as an option or as the dominant paving material in waterfront open spaces that are contiguous to the walkways. Accent paving of other colors or materials may also be used in combination with the dark concrete where appropriate, or the dark concrete may be selected as the unifying material in larger open spaces.

As stated in Policy LU-7.1, i. In the form of open or enclosed unobstructed walkways, a minimum of 10 feet wide across the bayward side of the proposed development. Decking and/or boardwalks must contain an open and unobstructed exterior extending bayward a minimum of 10 feet clear exclusive of railings, signage etc. Design development on piers to encourage public access and celebrate the uniqueness of being over water, (e.g. openings within waterfront decks, transparent or movable exterior walls, views from the interior of large piers to the edge).



## Paving and Decking continued

### Fiber Glass Grating and Composite Decking



### Metal Grating options



## Planting

Planting may be used to accent entries, create a more intimate scale, add color or shield the wind or sun. Historically plants were not commonly found on Morro Bay's industrial piers. While proper use of plants may enhance an open space, plantings should be used carefully so as not to detract from historic character or from a pier or waterfront's unique construction of being a structure over the water, rather than on solid land.

Consider the following criteria when including planting on pier or wharf open space areas:

- Planting should be minimal on pier aprons, wharves, or near historic structures;
- Planting should be used primarily for up-close accent of entrances, café areas or other similar uses;
- Plants should be placed in pots or planters above the pier deck;
- Planting located along the pier apron should not be obvious from afar;
- Greater amounts of planting may be considered away from pier edges and inland from the seawall; and
- Planting should not obstruct pedestrian movement along pier aprons.
- Plantings should be outside required public access ways

### Wood Planters



### Metal & Concrete Planters





## Lighting

True to the concept of a maritime-rich community, the exterior lighting is required to be subtle yet supportive of the waterfront's characteristics. In general, the exterior lighting of the Waterfront is already in place and has been designed to be the minimum required for public safety. However, light fixtures can contribute to the human scale of the storefront and add detail to the facades. Light fixtures should be incorporated into the overall design of the facade and contribute to the natural character of public space. Consider the following criteria when lighting the waterfront:

- Lighting along the apron adjacent to the waterfront should be attached to the building or be low level lighting directed downward to light the walking surface;
- Lights should be shielded so that distant views of the waterfront, although noticeable, do not compete with City and Bay views;
- Additional lighting for entrances or other uses along pier and Harbor Walk edges should be shielded so as not to create bright spots or detract from the larger City and Bay views;
- Select fixtures and locations for lights that are not attractive as bird perches;
- All light fixtures must be screened
- No exposed light sources are allowed
- Neon lighting, spotlights, flood lights, wall washers, landscape lighting and tree lighting are not allowed
- Lighting should identify a kelvin range in the warm tone (approx. 3000 to 4000 range) with no bright white or blue hues.

## Design Criteria



## Interpretive Signage

Working maritime activities and rich history of the waterfront are interesting stories just waiting to be told. Interpretive signage exists along the Embarcadero and throughout Morro Bay. Therefore, new public access areas and sections of the Waterfront should continue to include interpretive signage to enhance the enjoyment of the waterfront. Consider the following criteria when developing content for interpretive programs:

- Include interpretive information in all major open spaces and other areas that have significant cultural, historic or educational interest and where possible
- Coordinate content of interpretive information with that of nearby programs and signage
- Message content should appeal to a broad range of ages, interests, and ability to understand interpretive information

Sign supports should have the following architectural characteristics:

- Simple or Minimalist Form
- Durable and Maintainable Materials
- Appropriate Scale for the Waterfront



## **CONCLUSION**

The information provided above is to be utilized in the preparation of a Planning Commission policy memo that will provide direction for future development of improvements along the waterfront/Embarcadero. The intent in developing such a memo is to ensure public spaces along the waterfront remain public in feel and function and that new development serves to promote a continuous and cohesive experience along the Harbor Walk. The PC should review the background section of the staff report to provide context for the design section that follows. The PC will be asked to provide input on the desired design components to be included in the memo and staff will return at the following PC meeting with a draft memo and resolution for adoption.

## **LINKS**

1. **General** **Plan:**  
<https://www.morrobayca.gov/DocumentCenter/View/15424/Plan-Morro-Bay-GP-LCP-Final>
2. **Downtown and Waterfront Strategic Plan:** <http://www.morrobay.ca.us/DocumentCenter/View/11592/City-Council-Adopted-DWSP-2018>
3. **Waterfront** **Master** **Plan:**  
<http://www.morrobayca.gov/DocumentCenter/View/1061/Waterfront-Master-Plan?bidId=>



AGENDA NO: C-3  
MEETING DATE: October 19, 2021

## Staff Report

**TO:** Planning Commissioners **DATE:** October 12, 2021

**FROM:** Scot Graham, Community Development Director

**SUBJECT:** Planning Commission Requested Discussion Item Regarding Potential Future Removal/Demolition of the Vistra Power Plant Stacks.

### **RECOMMENDATION**

*Review the staff report take public comment and provide input.*

### **BACKGROUND**

On September 8, 2021, the City held a Community Forum/information session regarding the Vistra Power Plant Stacks. The objective of the Forum was to provide timely information and opportunities for public to gain insights from which to develop informed points of view about the future of the stacks. The YouTube video from the meeting can be found at the following link: <https://www.youtube.com/watch?v=jCVBfm-xedo> and the power point presentation from the meeting can be found at this link: <https://www.morro-bay.ca.us/DocumentCenter/View/15913/Community-Forum-Facts-about-the-Stacks-2021>.

On October 5, 2021, the Planning Commission (PC) requested that staff agendize the topic at their next PC meeting for discussion and input and to provide an additional opportunity for the public to provide comment on the future of the stacks. Given the short turnaround time for this item, staff will only be providing a brief introduction to the topic and then turning it over to the PC for discussion. The Planning Commission should therefore review the video and power point presentation in preparation for discussion on the item.

The September 8, 2021, information session included discussion on the following topics:

- June 9, 2021 Memorandum of Understanding (MOU) between Vistra and the City of Morro Bay. MOU includes clause that Vistra is responsible for demolition of the stacks and turbine building unless the City requests, by December 31, 2020, that the stacks remain.

- Origin, uses, and current conditions of the stacks – SLO County Air Pollution Control District (APCD), CA Dept. of Toxic Subject Control (DTSC)
- Considerations for the future of the stacks – Vistra, APCD, DTSC, and Coastal Commission comments
- Questions and answers
- Next steps

Presenters for the information session included:

**Vistra Corporation**

Claudia Morrow, SVP, Corporate Development & Strategy  
 Dianna Tickner, P.E., PMP, Director, Decommissioning & Demolition

**San Luis Obispo County Air Pollution Control District**

Gary Willey, Executive Director  
 Dora Drexler, Engineering and Compliance Manager  
 Tim Fuhs, Compliance Supervisor

**CA Department of Toxic Substances Control**

John Bystra, Project Manager, Military and Corrective Action Unit, Site Mitigation and Restoration Program  
 Kerry Rasmussen, Public Participation and Community Relations

**California Coastal Commission** (participating via comments)

Kevin Kahn, District Supervisor, Central Coast District

**CONCLUSION**

Input received from the public and Planning Commission will be conveyed to the City Manager to assist in the preparation of a staff report that is tentatively schedule for City Council review on October 26, 2021 on the same topic.

**ATTACHMENTS:**

- September 8, 2021 power point for Community Forum/Info session on the Stacks

**LINKS**

1. September 9, 2021 YouTube video of the Stacks Forum/Info session: <https://www.youtube.com/watch?v=jCVBfm-xedo>
2. Power point presentation from the September 8, 2021 Stacks Forum/Info Session: <https://www.morrobay.ca.us/DocumentCenter/View/15913/Community-Forum-Facts-about-the-Stacks-2021>.

# Community Forum Facts about the Stacks

September 8, 2021



# Memorandum of Understanding overview

1. Gains easements City needs to complete Water Reclamation Facility project
2. Removes obstacles stymying reuse of Morro Bay Power Plant parcel
3. Creates opportunity to position City as a leader in battery storage and benefits
4. Provides pathway to remove shuttered Morro Bay Power Plant structures
5. Offers multiple opportunities for public input and discussion in planning process

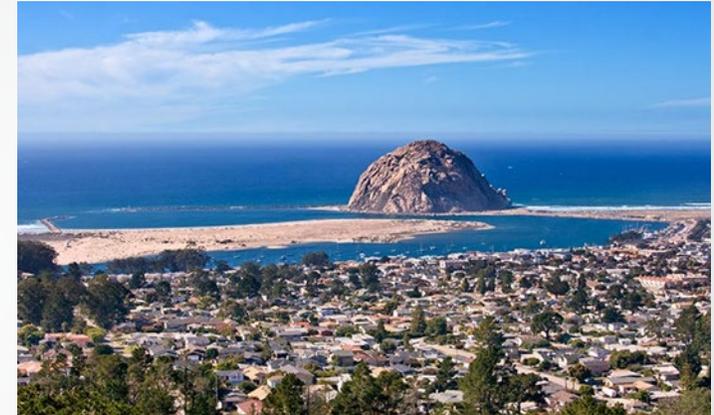
# Memorandum of Understanding with Vistra regarding the Stacks

The Memorandum of Understanding as approved by the City of Morro Bay on June 9, 2021, includes the following:

- Vistra is responsible for the demolition of the turbine building as well as the stacks (unless the City requests by December 31, 2022, that the stacks remain) no later than December 31, 2027.
- If not completed by December 31, 2027, Vistra must pay the City \$3 million.

# Some key criteria for community outreach

- Community safety
- Community quality of life
- Support for a vibrant and diverse local economy
- Contribution to City's financial sustainability
- Contribution to environmental sustainability
- Overall balance of benefits and impacts, including tradeoffs
- Consideration of local Native American heritage and cultural resources
- Meaningful public engagement for information and input



from June 9, 2021, staff report

# Key objective for this Community Forum

Provide timely information and opportunities for public to gain insights from which to develop informed points of view about the future of the stacks.

- Note: This session does not address the proposed battery storage project, which will have other opportunities for public information and comment.

# Agenda

6:00-7:30 p.m., Wednesday, September 8, 2021

**Welcome** – Mayor Headding

**Origin, uses, and current condition of the Stacks** – Vistra, SLO County Air Pollution Control District (APCD), CA Dept. of Toxic Substances Control (DTSC)

**Considerations for the future of the Stacks** – Vistra, APCD, DTSC, and Coastal Commission comments

**Additional questions and answers**

**Next steps** – Council member Addis

# Presenters

## **Vistra Corporation**

- Claudia Morrow, SVP, Corporate Development & Strategy
- Dianna Tickner, P.E., PMP, Director, Decommissioning & Demolition

## **San Luis Obispo County Air Pollution Control District**

- Gary Willey, Executive Director
- Dora Drexler, Engineering and Compliance Manager
- Tim Fuhs, Compliance Supervisor

## **CA Department of Toxic Substances Control**

- John Bystra, Project Manager, Military and Corrective Action Unit, Site Mitigation and Restoration Program
- Kerry Rasmussen, Public Participation and Community Relations

## **California Coastal Commission** (participating via comments)

- Kevin Kahn, District Supervisor, Central Coast District

# Multiple opportunities for you to participate

- ***Listen and learn***
- ***Ask questions through moderator*** who will organize them for discussion
  - If viewing via Zoom – send via “Chat” to Don Maruska
  - If viewing via TV -- send via email to [Don@DonMaruska.com](mailto:Don@DonMaruska.com)
- ***Offer digital comments*** that you enter through the “Chat”
- ***Offer public comments verbally*** at the end of the session via “Raise Hand” or telephone.

Note: As the City Council deliberates for its decision on the future of the stacks, there will be opportunities for the public to provide additional comments and advocate directly.

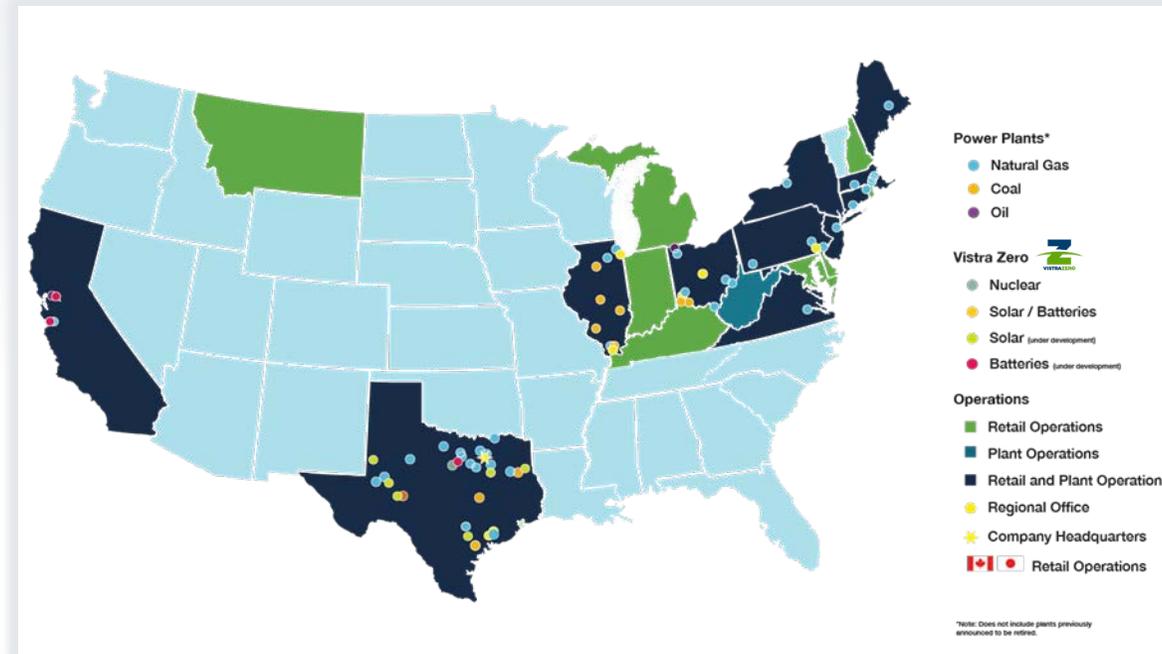
**Vistra is a leading integrated retail electricity and power generation company operating in 20 states and the District of Columbia, including six of the seven competitive wholesale markets in the U.S. and retail markets in Canada and Japan**

## RETAIL

- ▶ Serves ~4.3 million residential, commercial, and industrial customers via multiple brands in 19 states and the District of Columbia
- ▶ ~100 TWh<sup>1</sup> of load delivered annually
- ▶ Offers over 50 renewable energy and conservation-focused plans

## GENERATION

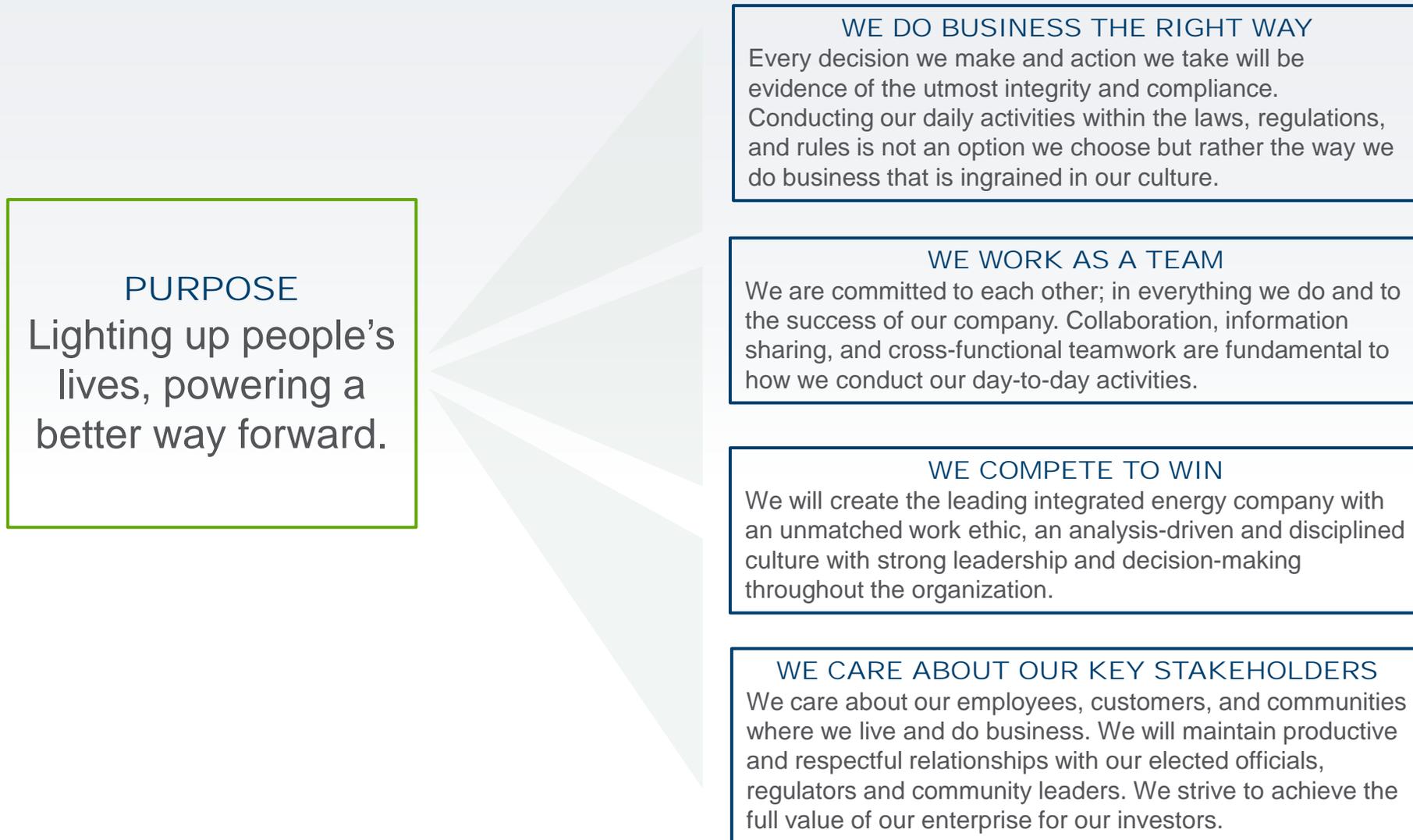
- ▶ Largest competitive power generator in the US with a capacity of ~39,000 megawatts
- ▶ Diverse portfolio of assets, including natural gas, nuclear, solar, coal, and battery energy storage facilities
- ▶ Targeting ~90% of generation from low-to-no carbon emitting resources by 2030 and net-zero emissions by 2050<sup>2</sup>



<sup>1</sup> 2021E.

<sup>2</sup> Assuming necessary advancements in technology and supportive market constructs and public policy.

## VISTRA PURPOSE AND CORE PRINCIPLES



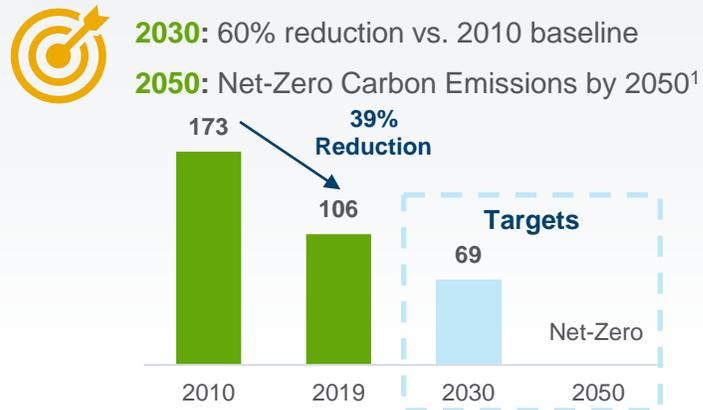
# VISTRA: ENVIRONMENTAL STEWARDSHIP



Vistra is committed to lead in the global effort to reduce greenhouse gas emissions, promoting change through both action and advocacy while prioritizing transparent disclosures

## COMMITMENT TO CLIMATE CHANGE

### GHG Emissions Reduction Targets



### Transition to Zero-Carbon Generation

~4,000 MW of zero-carbon generation online or under development; ~9,000 MWs by 2030

~7,500 MW of coal fueled power plants expected to retire by 2027 for a total of ~20,000 MW of retirements since 2010



### Green Products



Vistra Retail offers more than 50 renewable electricity plans

## ADVOCACY

- Advocates for action in response to climate change, supporting an economy-wide, **adequately priced carbon fee and dividend plan** with a border carbon adjustment
- Supports legislation to facilitate **transition of coal to renewables and storage**



## TRANSPARENCY

- 2019 [Sustainability Report](#) (GRI, SASB, UN SDGs)
- [Climate Report](#) (TCFD)
- 2020 [CDP](#) questionnaire

## AWARDS



2020 TxN 20 Honoree by [Texan by Nature](#)

# VISTRA: SOCIAL RESPONSIBILITY



## CORPORATE ACTION



Helping an average of 20,000 customers each year with electricity bill-payment assistance, **TXU Energy Aid** has provided more than **\$120 million** over 35 years in assistance to over 520,000 Texans



Driven by a mission to change the lives of people in need by fighting hunger in America, **Ambit Cares** is a supporting partner of Feeding America®, the nation's largest organization dedicated to fighting domestic hunger through a network of food banks



Vistra Retail brand, **4Change Energy** was founded on the idea that electricity should be affordable and contribute to where its customers live contributing **4% of its profits** to Texas charities

## COMMUNITY GIVING

- Committed **\$10 million** over the next five years to support the advancement of business and education in diverse communities
- Donated **>\$2.1 million** to non-profit organizations in 2020, including funds allocated to our >50 power plants across the U.S., empowering our employees to direct funding in local communities
- Raised nearly **\$2 million** in annual 2020 United Way and TXU Energy Aid giving campaign
- Volunteered nearly **1,000 hours** in 2020

## PEOPLE

### Pursue a Just Transition

- Minimize the social impacts from closures of power plants
  - For local communities:** Propose tax plans to cushion near-term impact and support legislation to redevelop sites into renewable and battery facilities
  - For employees:** Provide robust severance, outplacement services, and job skills training

### Employee and Contractor Safety



**BEST DEFENSE**

To protect **Vistra's No. 1 asset – our people** – our Company-wide safety program, Best Defense, focuses on high-risk activities and adds defenses to ensure that if we fail, we do so safely

## AWARDS



Hopewell Power Plant recognized as Voluntary Protection Program (VPP) Star facility by the Virginia Department of Labor and Industry; **12 facilities with VPP Star Rating**



Sentinels of Safety awarded to Kosse Mine



Dallas/Fort Worth Minority Supplier Development Council (DFWMSDC) **2020 Corporation of the Year**

# Origin and uses of the Stacks

# Morro Bay Power Plant Stack Information



Dianna Tickner, PE, PMP  
Director, Decom & Demolition  
September 8, 2021

# History of the Morro Bay Stacks

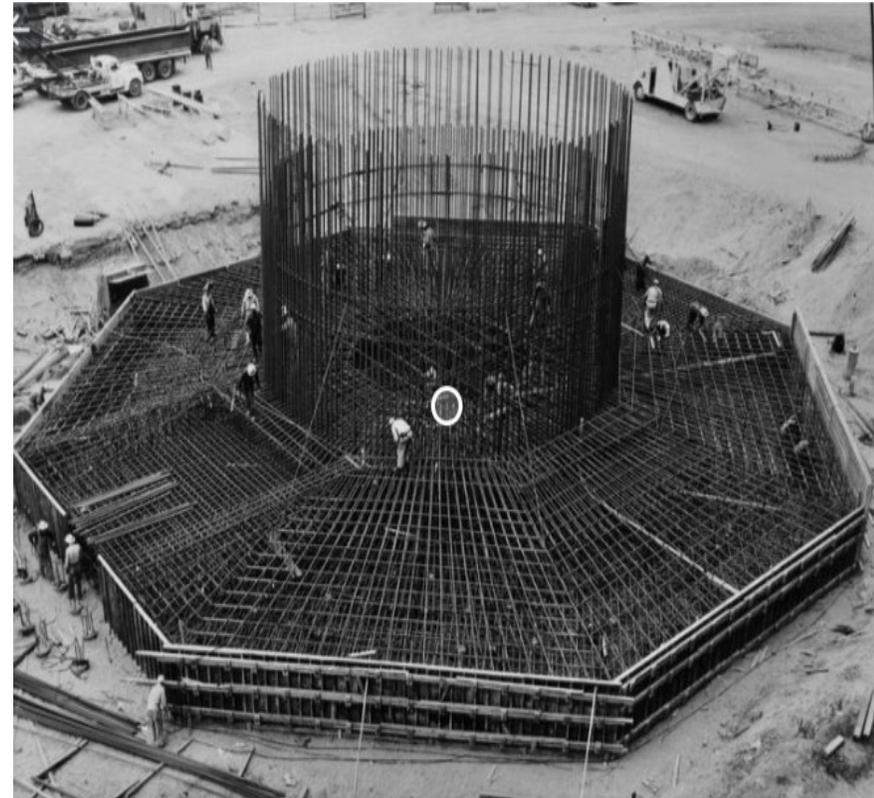
---

- The stacks were necessary for the operation of the power plant to vent exhaust flow above ground level and were constructed contemporaneously with the plant.
- The first stack was constructed between the years 1953 – 1955. The stack is formed concrete with a brick liner and served units 1 and 2.
- The second and third stacks serving units 3 and 4 separately were constructed in the early 1960's to serve the new power units and became operational in 1962. These stacks are also concrete and have steel liners, an advancement in technology from the original.
- All three stacks currently serve no use other than for support of PG&E communications equipment installed at the top of stack 3. This equipment will need to be relocated if the stacks are demolished.
- The lighting on the stacks is required by the Federal Aviation Administration including the number, type, color and flashing frequency to protect aircraft from a possible collision with the stacks.

# Stack Photos



**Inside stack 1&2  
Note brick liner**



**Stack 1&2 Foundation  
15' thick concrete base**

## Stack Condition

---

- All three stacks are currently in good condition. There are no known hazardous materials in the stacks.
- Vistra completes an annual inspection of Stack 1-2 for the San Luis Obispo County Air Pollution Control District as a conditional exemption, 113-10. These annual reports are publicly available.
- The stacks withstood the 2003 San Simeon earthquake that registered 6.5 Richter and caused very strong shaking in Morro Bay. We currently have no data on the stacks' structural limitations in stronger seismic events.
- Concrete stack lives can be generally in excess of 100 years if well maintained.

## Stack Maintenance

---

- In accordance with good engineering practice, the stacks undergo a Class I or Class II structural inspection on a biennial basis.
- Inspections range in cost from \$15,000 for Class I to \$50,000 for Class II.
- Over the last five years maintenance has consisted of stack light replacement, bolt replacements on ladders and platforms, and other minor worker safety items. Costs ranged from \$5,000 to \$30,000.
- The next inspection, a Class II which includes internal liner and external inspection, will occur later this year.
- We cannot predict what future maintenance costs might be. If the decision is made to retain the stacks long term, it is recommended that caps be placed on each stack to protect the interiors. Costs for the caps are estimated to be \$275,000 per stack.

# The Asbestos NESHAP

National Emission Standards for  
Hazardous Air Pollutants

Gary Willey, Executive Director

Dora Drexler, Engineering and Compliance Manager

Tim Fuhs, Compliance Supervisor

SLO County Air Pollution Control District



Air Pollution Control District  
San Luis Obispo County

# Who is the SLO County APCD?

## Mission & Mandates

- Mission: *As stewards of healthful air supporting a healthy environment, our mission is to realize and preserve clean air for all, to promote community and individual responsibility for air quality, and to provide quality and cost-effective service.*
- Governing Regulations
  - Federal: *Clean Air Act*
  - State: *California Health & Safety Code*
  - Local: *Rules & Regulations, Clean Air Plan, PM Plan*

# Attachment 1

Date of Inspection: 06/04/2021

Time of Inspection: 09:30 HRS

Inspected By: Kathy Hurst, NAES ES

Signature: \_\_\_\_\_

## APCD Conditional Exemption 113-10



Item	Observation
Weather Conditions	Foggy and cool (54 deg. F)
Unit 1/2 West Stack Opening Condition – Upper Entry	Metal frame continues to rust; but the opening is clear and free of debris.
Unit 1/2 West Stack Opening Condition – Lower Entry	Metal frame continues to rust; but the opening is clear and free of debris.
Unit 1/2 East Stack Opening Condition – Upper Entry	Metal frame continues to rust; but the opening is clear and free of debris.
Unit 1/2 East Stack Opening Condition – Lower Entry	Metal frame continues to rust; but the opening is clear and free of debris.
Particulate Fallout Present – Stack Internal Walls & Floor	The stack doors are normally locked closed. When opened, a good layer of dirt and bird feces was observed on the floor inside the Unit 1/2 Stack. Unit 3 Stack was similar. Unit 4 stack is sealed closed. No particulate fallout was observed on the walls or floor inside of the stacks. However, there was some rusted metal chunks from the metal door frame and stack openings on the ground. The walls were clean and in good condition.
Area/Ground Surrounding Base of Stack	There were no signs of particulate fallout coming from the stack openings or depositing on the stack concrete foundations and/or the areas surrounding the base of the stacks. Bird feces is accumulating around the stacks, and there was some rusted metal chunks from other dilapidated equipment in the area observed around the stacks.
Corrective Action	None required.

# Current Information & Next Steps

No notification has been received

Asbestos survey report submitted for preliminary review. Asbestos in stacks appears very limited to door/hatch gaskets/caulking, although full review pending.

Once notification received, will review the asbestos survey report in more detail

If the stacks are demolished, the project will include District staff inspections, engineering controls, and general demolition/renovation oversight pursuant to the federal asbestos regulation.





# Federal Regulation for Asbestos



40 CFR 61, Subpart M

San Luis Obispo County APCD is delegated to administer and enforce this regulation

Protection of the public and the environment

# Compliance



- Thorough inspection for asbestos
- Notification of demolition/renovation to APCD
- Specific description of demolition/renovation project and methods used to eliminate public exposure to asbestos emissions

# Compliance

All Regulated Asbestos-Containing Material must be removed by a licensed asbestos abatement contractor with no visible emissions

Wet at all times and sealed in special labeled bags

Asbestos is placed in lined, labeled waste containers and disposed of at a licensed landfill



# Additional APCD Oversight

Rule 202, Permits



Conditional Exemption 113-10

Rule 401, Visible Emissions



20% Opacity

Rule 402, Nuisance



No discharge of air contaminants that cause a public nuisance



## *Reminder...*

# Multiple opportunities for you to participate

- ***Listen and learn***
- ***Ask questions through moderator*** who will organize them for discussion
  - If viewing via Zoom – send via “Chat” to Don Maruska
  - If viewing via TV -- send via email to [Don@DonMaruska.com](mailto:Don@DonMaruska.com)
- ***Offer digital comments*** that you enter through the “Chat”
- ***Offer public comments verbally*** at the end of the session via “Raise Hand” or telephone.

Note: As the City Council deliberates for its decision on the future of the stacks, there will be opportunities for the public to provide additional comments and advocate directly.

# Considerations for the future of the Stacks

## Options

- Retain the stacks
- Remove the stacks

# Department of Toxic Substances Control Regulatory Authority and actions at Morro Bay

---

DTSC only becomes involved on property where hazardous wastes or hazardous substances are known or suspected to be present.

---

The stacks at the Morro Bay Power Plant have not yet been investigated.

---

If the stacks are kept - San Luis Obispo County Air Pollution Control District is the lead agency for associated maintenance activities

---

If the stacks are removed – Dynegy will evaluate for appropriate action

# LUP UPDATE GOALS



- Provide for walkable infill development
- Protect greenbelt and natural resources
- Address climate change and sea level rise

# POWER PLANT SITE



Land Use Designation: Visitor-Serving Commercial/Mixed- Use Residential Overlay

Requires a Master Plan and LUP Amendment Prior to Development

Full Analysis of Kinds, Locations, Intensities of Allowable Development and Applicable Coastal Resource Protection Requirements

Chapter 3 of the Coastal Act as the Standard of Review

# Rough cost estimates to City for options

Attachment 1

[prepared by moderator for discussion]

## A. Retain the stacks

Secure for future (install caps)	~\$275,000/stack
Inspections	\$15,000-50,000/year
Maintenance	\$5,000-30,000/year
Insurance for stacks	~\$10,000/year
Insurance for uses of stacks	?
Reserve for ultimate removal of stacks	\$2-5 million

## B. Remove the stacks (and turbine building) and remediate property to extent required by DTSC and other government agencies

Performed at Vistra's expense	\$0
Redevelopment of site	?

Removal of turbine building/stacks completed by 12/31/2027 or \$3 million paid to City

# Examples from elsewhere – planned retention

Attachment 1



Potrero Power Plant, San Francisco

# Proposed redevelopment at Potrero



Graphic rendering of proposal, <https://sfplanning.org/potrero-power-station#info>

# Examples from elsewhere -- removal

## Work continues on demolition of Carlsbad power plant

1970s-era Encina smokestack already gone  
from the skyline

Julia Shapero



Demolition of the retired Encina Power Station along Carlsbad Boulevard, pictured April 10, is expected to be complete within about a year. (Photo by Jen Acosta)

**North Coast Current** Founded in 2002  
Encinitas, California  
NorthCoastCurrent.com

June 26, 2021

# Stack Demolition



**Stacks being deconstructed from the top down. Note screens to control dust.**

# Sample illustration of Morro Bay without the Stacks



from photo in local business which has stacks  
airbrushed out

# Public comments

Via Zoom – use the “Raise Hand” feature to indicate your desire to provide Public Comment.

Via telephone -- 1 (408) 638-0968 or 1 (669) 900 6833 or 1 (346) 248 7799;  
Webinar ID: 827 2274 7698; Password: 135692; Press \* 9 to “Raise Hand” for Public Comment.

# Polling question

How was this Community Forum useful to you? [click all that apply]

- a. Learning about the Stacks from knowledgeable sources
- b. Understanding the role of agencies in protecting health and safety
- c. Hearing about community interests and concerns
- d. Addressing questions about the Stacks
- e. Other (send via "Chat")

*Thanks for participating!*

# Presenters

## **Vistra Corporation**

- Claudia Morrow, SVP, Corporate Development & Strategy [Claudia.Morrow@luminant.com](mailto:Claudia.Morrow@luminant.com)
- Dianna Tickner, P.E., PMP, Director, Decommissioning & Demolition [Dianna.Tickner@vistracorp.com](mailto:Dianna.Tickner@vistracorp.com)

## **San Luis Obispo County Air Pollution Control District**

- Gary Willey, Executive Director [gwilley@co.slo.ca.us](mailto:gwilley@co.slo.ca.us)
- Dora Drexler, Engineering and Compliance Manager [ddrexler@co.slo.ca.us](mailto:ddrexler@co.slo.ca.us)
- Tim Fuhs, Compliance Supervisor [tfuhs@co.slo.ca.us](mailto:tfuhs@co.slo.ca.us)

## **CA Department of Toxic Substances Control**

- John Bystra, Project Manager, Military and Corrective Action Unit, Site Mitigation and Restoration Program [john.bystra@dtsc.ca.gov](mailto:john.bystra@dtsc.ca.gov)
- Kerry Rasmussen, Public Participation and Community Relations [Kerry.Rasmussen@dtsc.ca.gov](mailto:Kerry.Rasmussen@dtsc.ca.gov)

## **California Coastal Commission** (participating via comments)

- Kevin Kahn, District Supervisor, Central Coast District [kevin.kahn@coastal.ca.gov](mailto:kevin.kahn@coastal.ca.gov)

Comments to Council: [Council@morrobayca.gov](mailto:Council@morrobayca.gov)

# Next steps

City Council will review results of this forum and consider how to proceed with resolution of the Stacks issue (for example, whether there is a need for further information, what opportunities are desirable for public comment and discussion of the options for the Stacks, etc.).

***Thank you for participating!***

For copies of these materials go to <https://morrobayca.gov> and see “Hot Topics.” You can also subscribe to “Notify me” at <https://www.morrobay.ca.us/list.aspx>