



CITY OF MORRO BAY PLANNING COMMISSION AGENDA

The City of Morro Bay provides essential public services and infrastructure to maintain a safe, clean and healthy place for residents and visitors to live, work and play.

**Regular Meeting -Tuesday, December 20, 2022
Veteran's Memorial Building – 6:00 P.M.
209 Surf Street, Morro Bay, CA**

Chairperson – Susan Stewart

Vice-Chairperson William Roschen
Commissioner – Asia King

Commissioner Joseph Ingraffia
Commissioner Mike Rodriguez

Pursuant to Assembly Bill 361 (2021-22) and Government Code section 54953 this Meeting will be conducted in a hybrid format with both in person and virtual participation. Ways to participate, watch, and submit public comment for this meeting are provided below.

Public Participation:

Remote public participation is allowed in the following ways:

- *Community members may attend the meeting in person at the Morro Bay Veterans Hall*
- *Alternatively, members of the public may watch the meeting and speak during the general Public Comment or on a specific agenda item by logging in to the Zoom webinar using the information provided below. Please use the "raise hand" feature to indicate your desire to provide public comment.*

Please click the link below to join the webinar:

- <https://us02web.zoom.us/j/82722747698?pwd=aWZpTzcxTHlRTk9xaTlmWVNWRWFUQT09>
Password: 135692
- *Or Telephone Attendee: 1 (408) 638-0968 or 1 (669) 900 6833 or 1 (346) 248 7799;
Webinar ID: 827 2274 7698; Password: 135692; Press *9 to "Raise Hand" for Public Comment*

- *Alternatively, members of the public may watch the meeting either on cable Channel 20 or as streamed on the City [website](#).*
- *Community members are encouraged to submit agenda correspondence in advance of the meeting via email to the Planning Commission at planningcommission@morrobayca.gov prior to the meeting. Agenda correspondence received at planningcommission@morrobayca.gov by 10 a.m. on the meeting day will be posted on the City website.*

ESTABLISH QUORUM AND CALL TO ORDER
MOMENT OF SILENCE/PLEDGE OF ALLEGEANCE
PLANNING COMMISSIONER ANNOUNCEMENTS

PUBLIC COMMENT

Members of the audience wishing to address the Planning Commission on City business matters not on the agenda may do so at this time. For those desiring to speak on items on the agenda, but unable to stay for the item, may also address the Planning Commission at this time.

PRESENTATIONS

A. CONSENT CALENDAR

- A-1** Current and Advanced Planning Processing List
Staff Recommendation: Receive and file.

B. PUBLIC HEARINGS

- B-1 Case No.:** CDP 22-023
Site Location: 3009 Beachcomber Drive, Morro Bay, CA
Proposal: Application for a Coastal Development Permit (CDP22-023) for the proposed demo of the existing home and new construction repositioned on the parcel for a 3,335-sf home with a 715-sf garage. The home is single story with a central courtyard/entryway on an 8,100 square foot parcel adjacent to the sand dunes and ocean beyond. The existing home on the site is the Jim Maul designed home that was previously determined to have local historical significance. A structural review of the property has resulted in findings of severe structural damage in the existing home, which renders the home unsuitable for repair and restoration. The CEQA Historic Evaluation report has been updated to take into account the poor condition of the home. The report concurs with the conclusion to demo the existing home and requests photo documentation of the existing home prior to tear-down. The project zoning is R-1/S2.A and is located within the coastal appeals jurisdiction. The Coastal Land Use and proposed new zoning designation is Moderate Density Residential (RS-B).
CEQA Determination: Exempt under Section 15301, Class 1j(1) for demo of a single family home and Section 15303, Class 3a for a new single family home on a residentially zoned parcel.
Staff Recommendation: Conditionally Approve
Staff Contact: Nancy Hubbard, Contract Planner, (805) 772-6211

C. NEW BUSINESS

D. UNFINISHED BUSINESS

E. PLANNING COMMISSIONER COMMENTS/FUTURE AGENDA ITEMS

F. COMMUNITY DEVELOPMENT DIRECTOR COMMENTS

G. ADJOURNMENT

Adjourn to the next regular Planning Commission meeting at the Veteran's Memorial Building, 209 Surf Street, on January 3, 2023 at 6:00 p.m.

PLANNING COMMISSION MEETING PROCEDURES

This Agenda is subject to amendment up to 72 hours prior to the date and time set for the meeting. Please refer to the Agenda posted at the Community Development Department, 955 Shasta Avenue, for any revisions, or call the Department at 805-772-6264 for further information.

Written testimony is encouraged so it can be distributed in the Agenda packet to the Commission. Material submitted by the public for Commission review prior to a scheduled hearing should be received by the Planning Division at the Community Development Department, 955 Shasta Avenue, no later than 5:00

P.M. the Tuesday (eight days) prior to the scheduled public hearing. Written testimony provided after the Agenda packet is published will be distributed to the Commission but there may not be enough time to fully consider the information. Mail should be directed to the Community Development Department, Planning Division.

This Agenda may be found on the Internet at: www.morrobayca.gov/planningcommission or you can subscribe to Notify Me for email notification when the Agenda is posted on the City's website. To subscribe, go to www.morrobayca.gov/notifyme and follow the instructions.

The Brown Act forbids the Commission from taking action or discussing any item not appearing on the agenda, including those items raised at Public Comment. In response to Public Comment, the Commission is limited to:

1. Responding to statements made or questions posed by members of the public; or
2. Requesting staff to report back on a matter at a subsequent meeting; or
3. Directing staff to place the item on a future agenda. (Government Code Section 54954.2(a))

Commission meetings are conducted under the authority of the Chair who may modify the procedures outlined below. The Chair will announce each item. Thereafter, the hearing will be conducted as follows:

1. The Planning Division staff will present the staff report and recommendation on the proposal being heard and respond to questions from Commissioners.
2. The Chair will open the public hearing by first asking the project applicant/agent to present any points necessary for the Commission, as well as the public, to fully understand the proposal.
3. The Chair will then ask other interested persons to present testimony either in support of or in opposition to the proposal.
4. Finally, the Chair may invite the applicant/agent to respond to the public testimony. Thereafter, the Chair will close the public testimony portion of the hearing and limit further discussion to the Commission and staff prior to the Commission taking action on a decision.

APPEALS

If you are dissatisfied with an approval or denial of a project, you have the right to appeal this decision to the City Council up to 10 calendar days after the date of action. Pursuant to Government Code §65009, you may be limited to raising only those issues you or someone else raised at the public hearing described in this notice, or in written correspondence delivered to the Commission, at, or prior to, the public hearing. The appeal form is available at the Community Development Department and on the City's web site. If legitimate coastal resource issues related to our Local Coastal Program are raised in the appeal, there is no fee if the subject property is located within the Coastal Appeal Area. If the property is located outside the Coastal Appeal Area, the fee is a \$277 flat fee. If a fee is required, the appeal will not be considered complete if the fee is not paid. If the City decides in the appellant's favor then the fee will be refunded.

City Council decisions may also be appealed to the California Coastal Commission pursuant to the Coastal Act Section 30603 for those projects that are in their appeals jurisdiction. Exhaustion of appeals at the City is required prior to appealing the matter to the California Coastal Commission. The appeal to the City Council must be made to the City and the appeal to the California Coastal Commission must be made directly to the California Coastal Commission Office. These regulations provide the California Coastal Commission 10 working days following the expiration of the City appeal period to appeal the decision. This means that no construction permit shall be issued until both the City and Coastal Commission appeal period have expired without an appeal being filed. The Coastal Commission's Santa Cruz Office at (831) 427-4863 may be contacted for further information on appeal procedures.

In compliance with the Americans with Disabilities Act, if you need special assistance to participate in this meeting, please contact the Community Development Department at (805) 772-6264. Notification 24 hours prior to the meeting will enable the City to make reasonable arrangements to ensure accessibility to this meeting.



City of Morro Bay
 Community Development Department
 Current & Advanced Project Tracking Sheet
 This tracking sheet shows the status of the work being processed by the Planning & Building Divisions
 New Planning items or items recently updated are highlighted in yellow.
 Approved projects are deleted on next version of log.

Agenda No: A-1
 Meeting Date 12-20-2022

#	Applicant/ Property Owner			Application Date	Permit Numbers	Project Description/Status	Planning Comments and Notations	Building/Fire Comments and Notations	Engineering Comments and Notations	Harbor/Admin Comments and Notations	Project Planner
Hearing or Action Ready Projects:											
1	Orgill	3009	Beachcomber	7/19/22	CDP22-023	Demo of existing home that is structurally unsound, and rebuild new 3335 sf home with a 715 sf garage/trash area . Existing home was the Jim Maul residence.	Comments sent August 6, 2022, requires resubmittal and will require updated Architectural Historic Resource review based on the new plan and the structural report. Resubmittal received October 20, 2022, project was deemed complete November 2, 2022. Scheduled for Planning Commission hearing on December 20, 2022. Public notice to begin on December 9th, 2022.				nh
2	Perry	3202	Beachcomber	4/14/21	CDP21-014/ CUP/ VAR21-001 and PAR22-02	Demo existing home, build new 2063 sf home with subterranean garage and storage area of 2267 sf. Application approval is dependent on completion of LTM21-01. VAR request for height variance on roof top deck railing. Project requires lot line adjustment and lot merger to create 2 parcels from the three underlying parcels.	Submittal received, but not complete. Balance of submittal received 4/14/21, under review. Incomplete letter comments sent for LTM on 4/30/21 and CDP on 5/4/21. Resubmittal received 6/24/21 with VAR request, under review. Review comments sent 7/20/21. Resubmittal received 11/24/21, under review. Planning disapproved, comments sent 12/14/21, requires resubmittal. Resubmittal received 12/20/21, under review. Planning comments sent 1/11/22, requires resubmittal. Resubmittal received on March 10, 2022 - did not include resubmittal of LTM21-01 required to determine completeness. Comment letter sent 4/8/22, requires minor changes. Project not complete until resubmittal and approval of LTM. Partial submittal received June 7, 2022, is on hold until complete submittal documents and related submittal fees are received. Resubmittal July 11, 2022 with parcel map, review comments sent on August 6, 2022, requires a resubmittal. Resubmittal received 9-7-22, planning approved, PW disapproved, comment letter sent on 9/29/22. Resubmittal received and approved by PW 11/7/22. Project will be scheduled for Planning Commission hearing on January 3, 2023				nh
3	Perry	3230	Beachcomber	6/24/21	CDP21-024/ CUP/ VAR21-002	New 1537 sf sfh with attached 380 sf garage. VAR request for roof top deck railing height. Application approval is dependent on completion of LTM21-01	Review comments sent 7/20/21, requires resubmittal. Resubmittal received 11/24/21, under review. Planning disapproved, comments sent 12/10/21. Resubmittal received 12/20/21, under review. Planning comment letter sent 1/6/22, requires resubmittal. Resubmittal received Feb 1, 2022 - project deemed complete 2/16/22, but cannot be presented to PC until Parcel Map (shown with 3202 Beachcomber) is deemed complete. Companion project has been deemed complete and is ready to be scheduled for Planning Commission Hearing. This proposed home will be scheduled for the same PC hearing on January 3, 2023.				nh
30 -Day Review, Incomplete or Additional Submittal Review Projects:											
4	Bradley	2285	Emerald Circle	12/5/2022	CDP22-041 / CUP22-12	CDP and CUP for new construction of a 2,368sf one story single family home and 2 car garage on a vacant lot in the Cloisters subdivision.	Under review.				gc
5	Smartlink/ AT&T	590	Morro Ave	12/5/2022	M AJ22-001	Permit amendment for proposed modifications to existing AT&T rooftop cell site	Under review.				cj
6	State Parks	1	State Park Road	11/30/2022	MIN22-008	Minor Modification to CDP14-03R for four 500sf modular carports to be placed in the State Park campground woodlot.	Under review.				cj
7	Agular	351	Panay	11/2/2022	CDP22-036	Demo existing one story 849sf SFR to build a two story 1,926sf SFR with a 226sf garage and a 280sf roof deck.	Under Review, Incomplete letter sent on 12/7				gc
8	Naghsh	466	Bonita St	11/29/2022	CDP22-040	Admin CDP for 240sf garage conversion to ADU.	Under Review.				st
9	Patel	1050	Morro Ave	11/17/2022	CUP22-10/ CDP22-039	Remodel existing hotel and add second floor with kitchen and hotel dining area, plus other guest amenities. Increase from 16 rooms to 27 rooms.	Under Review. Comments provided Dec 12, 2022, requires a resubmittal.				
10	Lutschaunig	242	Surf St	10/31/2022	CDP22-035	New 380 sf ADU to be constructed over existing 340 sf garage - a portion of the garage will be used for ADU bathroom and stairway	Planning disapproved and comments sent on November 25, 2022. Required redesign and resubmittal. Meeting week of 12/12/22 with planning consultant to review comments.				nh
11	Novak	370	Bonita	10/14/2022	CDP22-033	Admin CDP for the new construction of a 554sq detached ADU.	Incomplete letter sent on 10/26/22, Resubmittal on 11/28, under review				gc
12	Gonzalez	590	Radcliff	10/25/2022	CDP22-034	Admin CDP for a new 1,956 two story SFR with a 522sf attached garage and 640sf second story deck.	Under review. Planning disapproved and incomplete letter sent on 11/22.				gc/st
13	Hsiao	205	Harbor St.	9/20/2022	LTM22-02	Lot merger application for underlying lot lines per approved planning permit for 6 unit hotel	Under review. Correction letter sent 11/21/22.				cj
14	Messer	550	Kern	8/11/2022	CDP22-027	New construction of a two story 2,411sf SFR with a 565sf garage and 1,000sf attached ADU.	Under Review, Incomplete letter sent 8/31, Resubmittal on 11/16, Under review				gc

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15	Crizer	420	Sicily St	9/8/22	CDP22-031	Admin CDP to add a 411sf second -story ADU with 329sf deck.	Incomplete letter sent on 9/27/22				gc/st
16	Hayes Castro	979	Las Tunas St.	8/22/2022	CDP22-028	Admin CDP to convert 642sf garage to an ADU	Incomplete letter sent on 9/9/22, resubmittal on 10/26, minor edits requested on 11/2, resubmit on 12/13, under review				gc
17	MSA Architects	2417	Greenwood Ave.	8/24/2022	CDP22-030	Admin CDP to develop a new 562 detached ADU	Incomplete letter sent on 9/12/22, resubmittal on 10/26, under review, minor edits request on 11/17				gc
18	Shepler	2181	Sumset Ave	8/24/2022	CDP22-029	CDP Application for a new third dwelling and one ADU on a property with two existing homes	Comment letter sent on 9-5-22. Resubmittal received 10/24/22, planning requires minor changes and sent letter November 10, 2022. Requires resubmittal.				nh
19	Kersten	1358	Prescott	7/27/2022	CDP22-024	Admin CDP for partial conversion of an exiting (522sf) attached garage into a single story 276sf ADU.	Incomplete letter sent on 08/09/22				gc
20	California Coastal Investments, LLC	801	Embarcadero	6/28/2022	CUP22-09	Concept/Precise Plan CUP for mixed-use redevelopment of the Libertine Brewing Co. building to convert existing second floor to 7 hotel units and first floor as mix of restaurant, coffee shop, outdoor dining, provision of new public access improvements including extension of Harborwalk	Under review. Incomplete letter sent 7/27/22.				gc
21	Gene	240	Bali St.	6/2/22	CDP22-020	Admin CDP to develop a 477sf attached ADU with a roof deck	Under Review, incomplete letter sent on 6/23, Resubmittal on 8/8/22, under review, request minor edits on 8/17, resub on 9/15, requested materials on 9/19.				gc
22	McDonald	471	Panay	6/1/2022	CDP22-019	Admin CDP for the new construction of a two story residence	Incomplete Letter Sent 6/14				gc
23	Birchell	2030	Main	5/4/2022	MIN22-005	Minor Mod to Convert existing 1478sf of 2nd story area from office space to living area.	Incomplete letter send 5/17/2022				gc
24	Vanderbyl	531	Yerba Buena	4/20/22	CDP22-015	Admin CDP for shed conversion into 468 sf ADU	Correction Letter send 5/12/22. Resubmittal received 7/21/22 - review comments sent on August 6, 2022, requires resubmittal. Resubmittal received and planning and building disapproved based on fire/life/safety issues. Resubmittal required.				nh
25	Hartman	320	Orcas St	4/14/22	CUP22-07/ CDP22-010	New SFR with attached garage to replace home destroyed in fire	Correction letter sent 5/1/22.				nh
26	Jasso	2515	Greenwood	2/22/22	CDP22-006	Admin CDP for new SFR with 2 car garage and detached ADU	Comment Letter Sent 3/17/22				nh
27	Luhr	1140	Allesandro Ave	1/20/22	CUP22-06 / CDP22-004/ TTM22-04	Live/work mixed use, new construction of 5 residential units and 2 commercial units	Comment letter provided 2/13/22. Project deemed complete - processing will continue once Vesting Tentative Map submittal is complete. Vesting map submittal received May 12, 2022. Planning sent comment letter on 5/28/22, requires resubmittal. Resubmittal received with tentative tract map submittal on August 9, 2022, under review. PW disapproved the VTM, comment sent to applicant on 9-17-22, requires a resubmittal of the VTM. Applicant working with Public Works on some design issues in the public right of way. Once resolved, resubmittal required with any changes.				nh
28	Morro 94 LLC	3300	Panorama	1/18/22	CUP 22-05/CDP22-003/TTM22-02	Submittal of combined concept and precise plan review for 61 unit subdivision.	Received and under review. Notify Me account set up to provide information and publically available documents on the project. Subdivision Review committee meeting scheduled. Project comment letter sent 2/18/22, requires resubmittal and environmental review. Planning consultant team is preparing to hold a neighborhood meeting April 20, 2022 at Del Mar Elementary School at 6pm. City working with selected environmental consultant on contract and owner reimbursement agreements. TTM resubmittal received October 10, 2022, under review. Tentative Tract Map disapproved on November 2, 2022. REquires resubmittal with the CUP/CDP plans in order to be processed together. Environmental review is under contract and work has commenced. Anticipate process to take 6-9 months to complete.				nh
29	Novell & Johnston	273	Main St.	1/9/22	MUP22-01/PKG22-02	Addition of 73 sf to the front of existing SFR to provide interior staircase access to the second floor and parking exception.	Under review. Correction letter sent 2/4/22.. Applicant submitted request to withdraw application on 12/5/22 due to adoption of new zoning code which would not require garage parking and would allow the 73sf addition to a non-conforming structure. . Application deemed withdrawn on 12/8/22.				gc
30	Romero	563	Zanzibar	12/6/21	CDP21-048	Admin CDP for new 1978sf 2 story SFR with 533 sf garage and 2nd level 128sf deck	Incomplete letter sent 12/22/2021, Resubmittal 7/28, under review				gc
31	Morro Bay LLC (Keller)	1108	Front Steet	11/8/21	MAJ21-007	Major Modification permit for Expansion and extensive remodel of second floor short term rental unit.	Planning comments sent 11/23/21, requires resubmittal. Applicant may put this application on hold until the adoption of the new zoning code (i.e. includes street setbacks closer to the actual placement of the building).				nh

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32	T-Mobile/ Siegel	545	Shasta	10/12/21	CUP21-13/ CDP21-039	T-Mobile modification to existing facility approved under UP0-162/CP0-229. T-Mobile proposes to remove/replace and relocate existing wireless facility screened within existing church steeple and request height exception to construct new 29'0" faux bell tower for relocated wireless facility.	Under review. Project deemed incomplete 11-8-21. Resubmitted 8/25/22. Under review. Deemed incomplete and response letter sent 9/22/22.				cj
33	Guesno	220	Atascadero Rd	10/4/21	MIN21-012	Minor Amendment - Change temporary outdoor dining area to permanent outdoor dining	Application will apply for a TUP for outdoor dining. This application is on hold until 2022.				nh
34	Eisemann	541	Atascadero Road (at Hill St.)	7/9/21	CUP21-09/ CDP21-029	Four unit apartment complex with attached garages	Review comments provided on July 31, 2021. Project requires resubmittal and environmental analysis. Provided applicant estimate for environmental report on September 24, 2021. January 2022 - project is for sale. Applicant inactivity letter sent 7/22/25, no response from applicant yet. Applicant wants to keep project file open.				nh
35	Green	1175	Scott Street	6/28/21	CDP21-025 CUP21-07	New construction of 3 hotel units including one ADA unit and a residential security unit	Review comments provided on July 21, 2021. Requires a resubmittal for review. Discussed project with applicant, expected to have resubmittal ready in November 2021. Applicant is reviewing alternative designs for the project, staff provided input on 2/14/22. Resubmittal received October 25, 2022 - reviewing under both zoning codes. The project was redesigned to include only one hotel unit and one residential unit. Planning disapproved and letter was sent to applicant on November 18, 2022, requires a resubmittal. Meeting with applicant to review planning comments on Dec. 13, 2022.				nh
36	SR Development	545	Atascadero	Initial partial submittal on 3/31/2021. Submittal complete on 4/26/21	CDP21-013 / CUP21-04	New construction of 15 unit townhomes project	Comment letter sent 5/14/21, requires resubmittal with responses. Applicant inactivity letter sent 7/22/22, applicant responded that they would like to keep the application active.				nh
37	Tullis	404	Estero	3/17/21	CDP21-011	CDP to demo existing improvements & construct new SFR and site improvements.	Under review. Deemed incomplete, comment letter sent to applicant April 2, 2021				nh
38	Vistra	1290	Embarcadero	12/28/20	CDP20-026 & CUP20-14	Battery Energy Storage System (BESS) - New proposed project to construct 600MW BESS on old tank farm north of existing Morro Bay Power Plant. BESS to be constructed as 3 separate buildings, 30 feet in height plus 10 feet of screening for rooftop equipment.	Under initial review. Project deemed incomplete and incomplete letter sent 1-21-2021. Applicant resubmittal received 2-17-2021 and under review currently. Project deemed complete for processing on 2/23/2021. Project plans and documents being evaluated. Environmental review process in progress. NOP released and two scoping meetings held on 6/21/22 and 6/29/22. Master Plan community workshop scheduled for 9/14/22. Environmental review still in process.				cj
Projects Appealed to Planning Commission or PC Continued projects - none											
39	Morgan	101	Fig St	8/9/21	CDP21-035/CUP21-12/ VAR21-003	Coastal development permit, conditional use permit, and variance request for new construction of 1676sf single family home, 465sf garage, roof deck and patio area and request for variance to front setback for property to minimize alteration of bluff feature.	Under review and incomplete letter sent 9/7/21. Resubmittal received 1/19/22. Spoke with agent 2/18/22. Requested revised geological report and plans to delineate bluff face prior to hearing. Revised plans emailed with updated geological information. Under review. Discussed bluff policies with Coastal Commission staff. Updated geo report received 7/2022. Updated plans received 10-2022. Project deemed completed and noticed on 11-4-22 for PC action on 11-15-22. PC approved, and project appealed to City Council on 11-25-22. Appeal hearing set for 1-24-23.				cj
Projects Appealed or Forwarded to City Council											
40	Steiner	301-390	Seashell Cove	4/19/21	MAJ21-02	General Plan / LCP Land Use & Zoning Map Amendment application to change land use and zoning from R-A to R-4 designation / low density to high density	Under review. Response letter/ incomplete letter sent 5-6-21. Resubmittal received. Environmental review in process. MND document complete and routed to State Clearinghouse - public comment period closes May 4th. PC reviewed on June 7th, and voted to not forward a favorable recommendation to Council but instead that land use change request should be associated with a project. Applicant is determining next steps.				cj
Environmental Review - none											
Final Map Under Review Projects:											
41	Huber	2783	Coral Ave	8/30/22	TTM22-03	5 unit residential subdivision	Planning approved, forwarded to PW.				nh

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Projects going forward to Coastal Commission for review (Pending LCP Amendments) / or State Department of Housing: - none											
Grants											
42	California Coastal Commission, California Ocean Protection Council		City-wide	4/6/16		\$400,000 Grant for LCP update to address sea-level rise and climate change impacts. Round 3 Grant award of \$200,000 for Lateral Access Plan, and ESHA delineation. Round 6 funding of \$65,000 received Mar 2020.	Grant agreements for both the grants are in place and grant administration has been turned over to Michael Baker International, per terms of the GP/LCP update contract. Received signed grant agreement for \$200,000 LCP Planning grant by CCC for Round 3 awards 2-27-17. Additional LCP grant funding received in 2020 under Round 6 for \$65,000 to complete LCP update.	No review performed.	N/A		sg
43	City of Morro Bay		City-wide			Community Development Block Grant/HOME Program - Urban County Consortium	Staff has ongoing responsibilities for contract management in coordination with County staff administration. City Council approved Cooperation Agreement for 2021-2023 CDBG Program Years at 5/26/20 Council meeting. Notice of Funding Availability for 2022 Program Year released 9/27/21. Application funding deadline is 11/1/2021. Council public hearing to consider final funding recommendations to be on 3-8-2022. cj	No review performed.	N/R		cg
44	City of Morro Bay		City-wide			Climate Action Plan - Implementation	Staff has ongoing responsibilities for implementation of Climate Action Plan as adopted by City Council January 2014. Staff coordinating activities with other Cities and County of SLO via APCD.				cg
Projects in Building Plan Check:											
45	Castillo	1055	Allesandro St.	6/3/2021	B21-0097	250 sf addition to rear of existing SFR, addition creates two bedrooms and one full bath.	Planning disapproved 7/2/21. Resubmittal received 7/25/22. Resubmittal disapproved 8/01/22.	Bldg. - Disapproved 8/4/22			sg
46	Castillo	1055	Allesandro St.	7/25/2022	B22-0158	Jr. Accessory Dwelling Unit (JADU) - Existing bedroom in primary dwelling will be converted to JADU.	Planning disapproved 8/1/22	Bldg. - Disapproved 8/5/22			gc
47	Patel	295	Atascadero Rd.	7/18/2022	B22-0154	Installation of (2) illuminated wall signs & (1) branded directional (ground sign).	Sign permit previously approved by Planning.	Ready to issue			co
48	Goldstein	186	Bayshore Dr.	11/4/20	B20-0190	Remodel kitchen, dining & living area.	Planning disapproved 11-6-20	Bldg. - Approved 11/09/20			sg
49	Carter	2035	Bayview Ave.	8/5/21	B21-0135	New SFR, 1980 sf living, with 483 sf attached garage, 96 sf covered deck, 267 sf covered rear patio and 32 sf covered front porch.	Disapproved 8-26-21. am	Bldg. Disapproved 9/21/21			cg
50	Francis	2970	Beachcomber Dr.	10/6/22	B22-0225	Addendum to B22-0096 Remove and replace slab. Remove bedroom 3 - slab & replace foundation with raised stemwall & floor joist.		Ready to issue			
51	Auerbach	3200	Beachcomber Dr.	10/4/22	B22-0221	Addendum #1 to B21-0195 - Added drainage piping in rear yard, down drain to Orcas Street has been modified from approved plan.		Ready to issue			
52	Gray	429	Bernardo Ave	10/12/22	B22-0231	Build new 2 bedroom, 1 bath detached 742 sf ADU to rear of lot.		Bldg. - Disapproved 10/31/22			

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53	Segovia	2824	Birch Ave.	3/21/22	B22-0057	Cover patio, conversion to sunroom.	Disapproved 4/1/22	Bldg. - Approved 3/24/22			am
54	Dillard	1256	Bolton	3/30/22	B22-0072	Convert Unfinished Underfloor Space in 986 sf of conditioned livable space	Disapproved 4/7/22. Resubmittal approved 7/29/22.	Ready to issue			am
55	Berner	2750	Dogwood Ave.	12/6/22	B22-260	Add 235 sq of conditioned space, including a new bathroom, additions to bedroom and utility room, 297 sf, roof deck, spiral stair, ground floor deck (136 sf), less than 30" above existing adjacent grade.	Under Review				st
56	Robinson	2940	Dogwood Ave.	7/12/22	B22-0148	Install (2) bay windows, replacing (2) windows of smaller dimension on W facing front of house. Living Room: replace 5'x5' window w/ 50"x81" bay window. Bedroom: replace 32"x44" window w/ 50"x81" window.	Planning disapproved 7/19/22	Bldg. Conditionally Approved 7/18/22			ci
57	Gambrill	571	Embarcadero	2/22/22	B22-0035	Convert office space to commercial vacation rental.	Disapproved 3-8-21. Disapproved resubmittal 6-2-22. new resubmittal received 9/1/22 under review. Disapproved 10/3/22	Bldg. - Approved 6/14/22			ci
58	Redican	725	Embarcadero	3/14/22	B22-0049	The project consists of a 608 SF interior remodel of the existing arcade retail space into an extension of the commercial kitchen prep area. All work is exclusive to the interior of the lower level with no impacts to the site, exterior elevation or occupant circulation of the existing building.	Disapproved 3-17-22. Resubmittal received 6-23-22 and conditionally approved 8/25/22	Ready to issue			ci
59	TLC Family Enterprises	833	Embarcadero	3/16/22	B22-0052	Addendum #1 to B20-0220 - Removal of parapet wall which requires removing steel post below and show railing on upper level. Revert back to cantilevered floor joists for hotel access walkway upstairs.	Disapproved 3-21-22	Bldg. - Disapproved 4/18/22			ci
60	Mission Linen Supply	399	Errol St.	10/18/22	B22-0240	Project consists of installing a dissolved air flotation system to treat wastewater for the purpose of meeting the wastewater discharge limits in our new wastewater permit.		Bldg. - Approved 10/27/22			
61	Beale	2230	Greenwood Ave.	9/29/22	B22-0215	Conversion of 451sf of existing conditioned space into an accessory dwelling unit.		Bldg. - Disapproved 10/27/22			
62	McLain	2678-A	Greenwood Ave.	6/27/22	B22-0134	n interior remodel of an existing 480 sf detached garage into a detached ADU with a kitchen, laundry, & bathroom renovation.	Planning Disapproved 7/1/22	Bldg. - Approved 10/12/22			gc
63	Hsiao	205	Harbor St.	4/20/22	B22-0084	Demolition of three existing structures and their accessory structures. Construct new 6-room, 5042 sf hotel with 7 onsite parking spaces on a .40 acre lot, the hotel is designed as two story on the east elevation and steps down the bluff with single story on the west elevation.	Planning disapproved 4-28-22. Resubmittal disapproved 11-3-22. Comment letter sent to Building.	Bldg. - Approved 10/12/22			ci
64	Wilkie	476-A	Hill St.	3/26/20	B20-0057	ATTACHED ADU - Convert existing attached garage to 344 sf Accessory Dwelling Unit.	Correction letter sent 4/30/20.	Bldg. - Approved 4/8/22			nh
65	Duffy	2865	Ironwood Ave.	9/20/22	B22-0201	Renovation to an existing 2-story single family home. Improvements include reconfiguration of interior rooms and existing roof, and addition of fire sprinklers. No additional square footage, however, replacement of the existing exterior deck is included. No other site improvements are planned.	Planning disapproved 10-5-22. Waiting for resubmittal.	Bldg. - Approved 10/24/22			st
66	Johnston	2781	Juniper Ave.	6/2/21	B21-0094	New 463 sf 2nd story deck at rear of existing SFR, also replace five existing windows with three new sliding glass doors.	planning disapproved 6/3/21. Planning approved resubmittal 7-20-21.	Ready to issue			sg
67	Cook	2941	Juniper	10/26/22	B22-0243	Demo unpermitted studio at lowest level of existing SFR and convert that space with additional underfloor space to create new workout area, bathroom, theatre, storage, and stairs to access upper levels adding aprox. 906 sf to SFR.		Bldg. - Approved 11/28/22			

#	Applicant/ Property Owner			Application Date	Permit Numbers	Project Description/Status	Planning Comments and Notations	Building/Fire Comments and Notations	Engineering Comments and Notations	Harbor/Admin Comments and Notations	Project Planner
68	Melen	2540	Koa Ave.	8/18/22	B22-0179	Repair of existing outdoor stairway	Planning- Disapproved on 8/31/22	Ready to issue			gc
69	Cia	2551	Koa Ave.	2/23/22	B22-0038	New 3 bed 2.5 bath SFR w/attached 2-car garage.	Planning Approved resubmittal 6/28	Ready to issue			gc
70	Daniels	964	Las Tunas St.	8/3/21	B21-0133	Remodel the laundry room & add a bedroom, bathroom & hallway to the back of existing home in phase 1. Phase 2, build a detached garage	Planning approved 5-12-22	Bldg. - Approved 5/16/21			sg
71	Drenick	2530	Laurel Ave.	9/22/21	B21-0174	Reconstruction of 560 sf two-car garage, garage foundation and 560 sf rooftop deck over garage. See permit B21-0141 for separate demolition permit for these structures.	Disapproved and Correction Letter sent 10/5/21. Planning approved 7/27/22	Bldg. - Approved 8/4/22			am
72	Elliott	2620	Laurel Ave.	4/14/22	B22-0082	New SFR 2.5 story with attached garage.	Planning disapproved 4/16/22. Resubmittal disapproved 6/25/22. Planning approved 7/21/22	Ready to issue			nh
73	Peter	890	Main St.	2/13/19	B19-0026	ADA and parking lot improvements. ADA stall to be relocated closer to street and make van accessible.	Approved on 3/1/19 - sg	Bldg. - Approved 2/27/19	Disapproved on 4/15/19		sg
74	Sonic	1840	Main St.	10/17/17	B-31730	Sonic Drive-in Restaurant, 1395 sf building, 1020 sf covered patio, 2646 sf covered parking	Corrections sent 12-8-17. Resubmitted 3-2-18. Application incomplete and corrections sent 4-5-18. Resubmittal received and unaddressed corrections sent back 7-19-18. Project required to underground utilities. Utility plan and coordination with public utilities in process. cj. Requested permit extension. Awaiting resubmittal. Requested Permit Extension. Planning permit extension requested and granted to allow new permit expiration of April 2021. Emailed applicant 3-19-2021 advising them of permit expiration date and extension opportunities. No recent activity. Planning permit expires 4/18/2023.	BLDG - Disapproved by California Code Check (contract building inspection services (see memo) on 7-23-18. PB Permit extended to 4/18/23	Disapproved by jb on 11-21-17.	1-2-18 - Emailed BLDG (code ck) comments to architect. PB	cj
75	CenCal Enterprise, INC	2030	Main St.	9/21/22	B22-0232	Install new drive approach to existing parking area, restripe parking areas, handicap stall, access isle new handicap ramp.		Bldg. - Disapproved 11/15/22			
76	Timothy and Allyson Cleath Family Trust	2790	Main St	11/8/22	B22-0248	Addendum to B22-0106, Modification to drain collection for parking lot. Sheets C-3 and C-4 revised. No change in flow to the bioswale per attached statement from civil engineer.		Bldg - Approved 11/8/22			
77	Peterson	390	Morro Bay Blvd.	8/8/22	B22-0171	Commercial T.I., Former BotA office building converted to coffee roasting facility, bakery and coffee shop. Includes indoor guest seating areas, four restrooms, outdoor seating, parking lot refinishing/stripping with four additional stalls, new ADA parking stalls & path of travel, new storefront doors and steele awnings at each entry.	Planning approved 8/18/22	Bldg. - Approved 11/14/22			sg

#	Applicant/ Property Owner			Application Date	Permit Numbers	Project Description/Status	Planning Comments and Notations	Building/Fire Comments and Notations	Engineering Comments and Notations	Harbor/Admin Comments and Notations	Project Planner
78	JP Morgan Chase Bank	595	Morro Bay Blvd.	3/31/22	B22-0060	Installation of one solar carport, 99' 3 1/16" X 16' 7 3/8", with 15 modules, wall mounted PV equipment and four carport mounted lights, located in the existing Chase Bank parking lot.	disapproved 4/7/22	Bldg. - Disapproved 5/17/22			am
79	Erb	2630	Nutmeg Ave	2/14/19	B19-0029	Demo 195 sf third story deck at front of home and rebuild with 80 sf extension to allow for deck beam and column support. Remove 152 sf deck on south side of home, misc. construction to repair water damage.	Dissapproved 3/6/19. Disapproved 4/9. Variance application approved. Awaiting building permit resubmittal, resub 8/24. planning disapproved 7/2/19.	Bldg. - Approved 3/27/19			gc
80	Mollaghaffari & Hawes	427	Oahu St.	5/5/22	B22-0087	New 2nd floor single family residence, 1048 sf living, with a 258 sf 2nd story deck, and 255 sf single car garage. (The garage and an ADU make up the 1st floor level, see permit B22-0088 for attached ADU).	Planning disapproved 5-12-22	Bldg. - Disapproved 9/26/22			nh
81	Mollaghaffari & Hawes	427-A	Oahu St.	5/5/22	B22-0088	Attached ADU - 702 sf Accessory Dwelling Unit.	Planning disapproved 5-12-22	Bldg. - Disapproved 9/26/22			nh
82	Currey	154	Orcas St.	3/23/22	B22-0062	Remodel & additions to kitchen, entry, & masterbedroom.	Disapproved 4/11/22	Bldg. - Disapproved 4/4/22			gc
83	Currey	154-A	Orcas St	3/23/22	B22-0063	171 sf addition as an ADU	Disapproved 4-11-22	Bldg. - Disapproved 4/4/22			sg
84	Appel	400-A	Pico St	8/18/21	B21-0149	Convert existing garage to an ADU without changing the footprint of the garage.	Approved 8/25/21	Bldg. Disapproved 9/10/21			am
85	Lee	684	Piney Way	9/10/20	B20-0168	Demo existing detached 416 sf work shed with bathroom & reconstruct new 416 sf garage/shop with electrical, keeping existing bathroom on existing slab/foundation.	Planning disapproved 9/15/20. Requires a Admin CDP and Parking Exception prior to review and approval of the building permit. Planning disapproved resubmittal 2/24/21.	Bldg. - Disapproved 3/1/21			nh
86	Reyneveld	1060	Quintana Rd.	9/21/22	B22-0203	Install new drive approach to existing parking area, restripe parking areas, handicap stall, access isle new handicap ramp.		Bldg. - Disapproved 10/25/22			
87	Giannini	750	Radcliff Ave.	7/22/19	B19-0156	Remove three existing panel antennas, three radio and replace with three radio intergrated antennas and assoicated cabling. Install equipment expansions to the top of existing cabinets (approx 1'2') with associated electrical wiring.	Approved 9/26/19.	Ready to issue			cj
88	Macias/Mudge	153	Rennell	11/9/22	B22-0249	Construct new 1-story SF residence with 1,478 sf living area and 441 sf attached 2-car garage. There will be a 225 sf covered porch and 295 sf roof deck.		Bldg - Plancheck			
89	Tedd Stuckmeyer	3081	Sandalwood Ave	9/20/22	B22-0200	Construction of a new ADU.	Under Review	Ready to issue			gc
90	Crumpler	3013	Sandalwood Ave	6/22/22	B22-0131	288 sf single story residential bathroom addition.	Dissapproved 7/6/22	Bldg. - Approved 10/27/22			gc
91	Nagy	646	Sequoia Ct.	4/20/22	B22-0085	New 2-story SFR, 3513 sf living, 1220 attached basement level garage, and 1156 sf covered patio.	Planning disapproved - project needs resubmittal to include conditions of approval and more detailed lanscape plan. Planning approved July 5, 2022.	Ready to issue			nh

#	Applicant/ Property Owner			Application Date	Permit Numbers	Project Description/Status	Planning Comments and Notations	Building/Fire Comments and Notations	Engineering Comments and Notations	Harbor/Admin Comments and Notations	Project Planner
92	Marston	221	Shasta Ave.	9/27/22	B22-0205	DIGEPLAN - Remodel 1st floor primary bedroom, bath and closet.		Ready to issue			
93	Parker	580	Shasta Ave	8/31/20	B20-0159	Add new detached garage	Planning under review. Planning disapproved 9/8/20. Need resubmittal	Bldg. - Disapproved 9/14/20			nh
94	Morro Rock	311-A	Tahiti	10/26/22	B22-0245	Addendum #1 to B22-0125 - Replace existing framed roof with pre-fab trusses.	Ready to issue	Ready to issue			
95	Buswell & Chen	166	Trinidad St.	10/5/22	B22-0223	Remodel bathrooms and kitchen and replace 626 sf of roof, roof deck.	Planning Approved 12/10/22	Bldg. - Disapproved 11/01/22			nh
96	Stanton	351	Trinidad	3/26/19	B19-0054	Repairs to existing 200 sf rooftop deck. Replace all dry-rot structural members, install new waterproof membrane., new copper drip edge flashing, replace plaster, replace guardrail if needed.	Disapproved 4/11/19. Awaiting resubmittal. Permit application expired	Bldg. - Approved 3/27/19			wu
97	Regan	429	Tulare Ave.	5/27/22	B22-0106	531 sf second floor addition that includes a study and bathroom, stairwell and a 200 sf second story deck.	Planning Approved 6/7	Ready to issue			gc
98	Leonard	550	Zanzibar St.	1/12/22	B22-0008	New 1855 SFR w/482 sf garage and 144 sf balcony deck.	Planning disapproved 2/1/22. Resubmittal approved 4/21/22.	Ready to issue			nh
Planning Projects & Permits with Final Action:											
90	City of Morro Bay		Citywide		-	Plan Morro Bay: General Plan / Local Coastal Program / Zoning Code Update project - Zoning Code/ Coastal Implementation Update - Amendment of Title 17 of Morro Bay Municipal Code	Comprehensive overall update to the City's 1988 General Plan, 1984 Local Coastal Program, and 1997 Zoning Code. Public draft of combined General Plan/ LCP released May 2018 for review. Worked with Coastal staff on CCC input received during 2019. Adoption Draft to be reviewed by Planning Commission at 10/20/20 hearing. Admin Draft of EIR received and to be circulated. Reviewed by PC at the 11/4/2020 & 11/17/20, 12/1/20, & 12/15/20 PC meetings. 3-16-2021 meeting is for review of the EIR and make recommendations to City Council for adoption. Council review of adoption draft held on 4/27/21. Hearing continued to the 5/11 and then 5/25/21 Council meetings. Plan adopted by Council on 5/25/21. LCP Amendment application submitted to Coastal Commission for certification. Coastal Commission LCP certified Coastal Land Use Plan (LUP) on August 12, 2021. Zoning Code Update in progress, reviewed by PC in 12/2021 and Adoption Hearing Draft reviewed on 8/16/22, 9/6/22, and 9/20/22. PC adopted Resolution 08-22 forwarding recommendation for adoption to City Council which held adoption hearing on 10/25/22, with second reading of Ordinance 654 to be at Council meeting on 11/22/22.. LCP amendment application submitted to Coastal Commission on 12/12/2022.				
91	Phil and Susan Dowty	580	Olive	9/20/22	CDP22-032	Admin CDP for conversion of an existing 1,051 garage into an ADU.	Incomplete letter sent 10/13, resubmittal 10/27, completeness letter sent on 11/2, noticing for pending administrative action on 11/28.				gc/st
92	Bean	197	Main Street (formerly known as 199 Sandpiper)	12/19/19	CUP19-20, CDP19-04, VAR20-001	CUP/CDP for new home on triangular small parcel on the bluff. Proposed home is 526 sf 2-stories with access easement to Main Street	Project deemed incomplete, comment letter sent January 7, 2020. Resubmittal received 10/26/20 adding a variance request, under review. Incomplete, need resubmittal. Resubmittal received September 14, 2021, under review. Incomplete letter sent on Oct 4, 2021. Resubmittal received 10/29/21. Planning comment letter sent November 10, 2021, requires resubmittal. Project deemed complete and scheduled for planning commission on May 17, 2022. Planning Commission denied the project, and the owner has appealed. Scheduled for City Council, August 23, 2022 at the request of the applicant. City council upheld the appeal and approved the project. Project appealed to California Coastal Commission, pending review.				nh
93	Murphy	2440	Laurel Ave	8/1/22	CDP22-025	Demo existing home and new construction of a new 3037 sf home with a 1198 sf garage/shop on a 4000 sf parcel. Admin CDP with CEQA Historic Evaluation report required.	Incomplete letter sent on 8/23/22. Project resubmittal received on 10/24/22 and comment letter sent on 11/2/22 with minor corrections required. Project deemed complete, public notice period from November 22, 2022 to December 5, 2022. Administrative decision on permit on December 6, 2022. Permit issued Dec 10, 2022.				nh

#	Applicant/ Property Owner			Application Date	Permit Numbers	Project Description/Status	Planning Comments and Notations	Building/Fire Comments and Notations	Engineering Comments and Notations	Harbor/Admin Comments and Notations	Project Planner
94	Tarcon	350	Sicity St	5/4/22	CDP22-016	Admin CDP for 240 sf addition to existing home. Conversion of first floor to ADU.	Correction Letter sent 5/19/22. Resubmittal received on July 13, 2022, planning disapproved and sent comment letter on July 22, 2022. Requires resubmittal. Project architect has submitted a draft plan for informal review/ comments before submittal. Plan reflects significant changes and will require new review by all departments. Resubmittal received September 13, 2022, planning disapproved 9-25-22 - requires a resubmittal. Resubmittal received and disapproved on October 20, 2022. Minor changes required - with a resubmittal. Resubmittal received November 8, 2022, project deemed complete. Public notice period from November 22, 2022 to December 5, 2022, followed by Administrative decision on permit. Permit issued December 6, 2022.				nh
Staff Directory: Scot Graham - sg Chad Quimet - co Cindy Jacinth - cj Pam Newman - pn Nancy Hubbard - nh Gabby Cortez - gc Susana Toner - st											



AGENDA NO: B-1

MEETING DATE: December 20, 2022

Staff Report

TO: Planning Commissioners

DATE: December 20, 2022

FROM: Nancy Hubbard, Contract Planner

SUBJECT: Application for a Coastal Development Permit (CDP22-023) for the proposed demo of an existing home and construction of a new home on the parcel providing 3,335-sf of conditioned living space with a 715-sf garage. The home is single story with a side yard courtyard/entryway on an 8,100 square foot parcel adjacent to the sand dunes and ocean beyond. The project zoning is R-1/S2.A and is located within the coastal appeals jurisdiction. The Coastal Land Use and proposed new zoning designation is Moderate Density Residential (RS-B).

RECOMMENDATION:

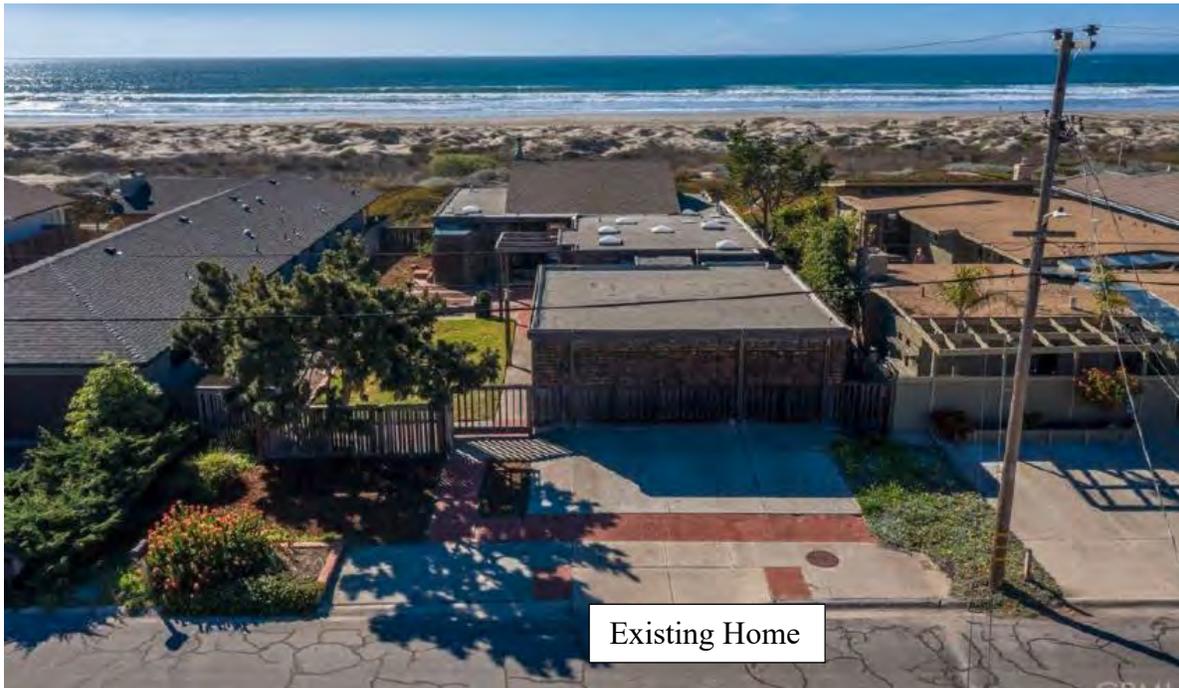
APPROVE THE PROJECT by approving Planning Commission **Resolution 10-22** that includes Findings and conditions of approval for the project, as depicted on site development plans submitted to the City on November 1, 2022



LEGAL DESCRIPTION/APN:
ATASCADERO BEACH TRACK
065-233-039

PROJECT DESCRIPTION:

The Applicant is requesting approval of a Coastal Development Permit for the demo of the existing home, which was an architecturally significant, but aging 1971 home designed by James Maul as his personal residence. A recent structural review of the home (See Exhibit D) discovered that there is severe structural damage to the home that renders it unsuitable for repair and restoration. The CEQA historic evaluation update letter concurs with the findings of the structural review and requests photo documentation of the home prior to tear-down. The proposed project is to build a new single-story home that will be 3,335 sf of living space with a 715-sf garage. The proposed new home is a modern design with a flat roof.



PERMITS/STUDIES REQUIRED:

The Project requires a Coastal Development Permit for the demo of the existing home and construction of a new home. Because of the age of the home and the local notoriety of the architect, Jim Maul who designed and lived in the existing home, the project required an update letter to the previously provided CEQA historic evaluation of the home to consider the new information from the structural review. The project also required an updated Biologic study of the dunes natural area and related buffer and a Geology report on the Coastal Hazards based on the location of the site. See below for discussions on each report and attached exhibits for the reports.

PROJECT HISTORY:

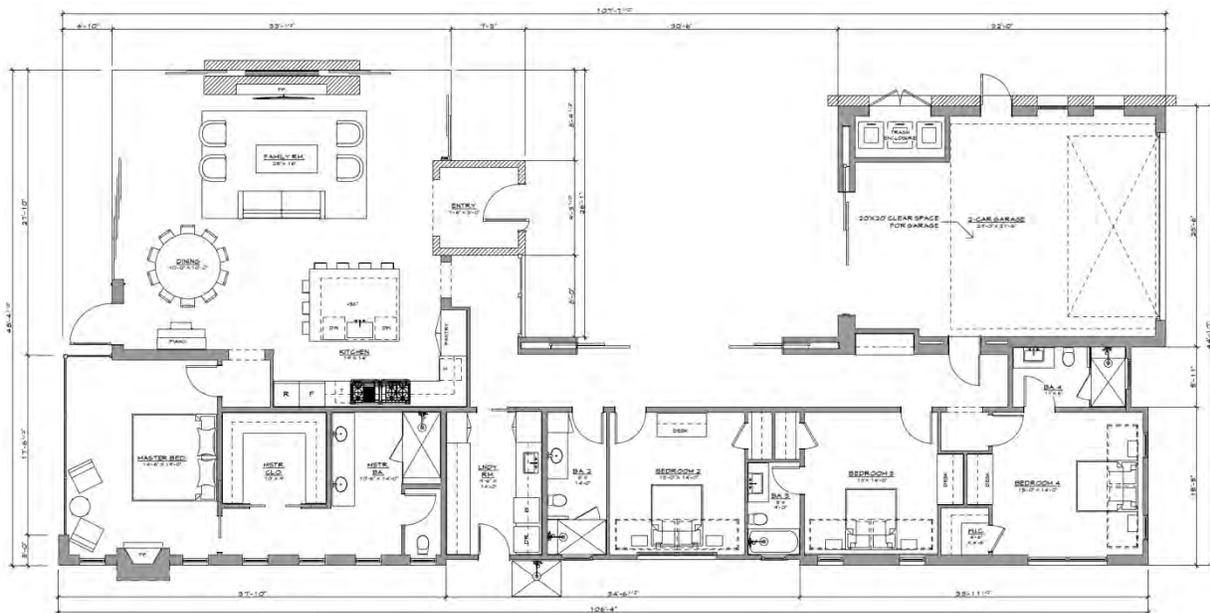
The existing home was designed by James Maul as his private residence in 1971. The owners of this home in 2018 wanted to repair and modernize the home with the intent on retaining the character and most of the unique characteristic of the Jim Maul design. That project was approved by Planning Commission in 2019, followed by issuance of a building permit, but the work never commenced. The property was sold in early 2021



and upon a structural review of the existing conditions, it was determined that the aging home had significant structural damage and could not be restored as a habitable space. The new owners have submitted a proposal to demolish the existing home and build a new modern home.

SUMMARY OF CURRENT PROPOSED PROJECT:

The proposed home is designed like other homes in the area, with a focus on indoor and outdoor spaces oriented towards the views to the west. The street appeal is primarily landscaping to soften the driveway, garage, and either a front entry door or a fenced courtyard with an entry gate that leads visitors to the front door of the home. This home has the front entry at the center of the home on the north side, also through a courtyard area. The proposed home is a single-family home with 4 bedrooms and 4 bathrooms. The common area spaces and the master bedroom are on the west side of the home with the view of the dunes and ocean beyond.



PROJECT ANALYSIS:

DEVELOPMENT STANDARDS/DESIGN GUIDELINES:

The proposed project meets the development standards of the zoning district.

	R-1/S.2A Standards	Proposed Project
Front Setback	15 feet	20 feet
Side-Yard Setback	5 feet	5 feet minimum
Rear Setback	5 feet	8 feet
Height (from ANG)	14 feet, or up to 17 feet if 4/12 peaked roof design	14 feet (flat roof design)
Lot Coverage	50%	50%

PROJECT ZONING/LAND USE DESIGNATION:

The project site is zoned R-1 with a S.2 A overlay. The R-1 zoning designation has the purpose of stabilizing and maintaining the residential character of these areas. The S.2A overlay allows lesser setbacks and higher lot coverage but imposes a single-story height restriction of 14 feet (up to 17-foot heights allowed for 4/12 or steeper peaked roofs or other architectural features). The proposed new home meets the development standards of the zoning district and complies with the Land Use Designation for moderate density residential.

Adjacent Zoning			
North:	R-1/S.2A Single Family Residential	South:	R-1/S.2A Single Family Residential
East:	R-1/S.2A Single Family Residential	West:	Open Area – protected ESH (Dunes) and beach

Site Characteristics	
Site Area	8100 square feet
Existing Use	Existing single-family home (circa 1971)
Terrain	Primarily Flat
Vegetation/Wildlife	Typical residential vegetation, adjacent to Dunes
Archaeological Resources	N/A
Access	Beachcomber Drive

General Plan, Zoning Ordinance, & Local Coastal Plan Designations	
General Plan/Coastal Plan Land Use Designation	Residential Moderate Density
Base Zone District	R-1
Zoning Overlay District	none
Special Treatment Area	S.2A
Combining District	n/a
Specific Plan Area	North Morro Bay
Coastal Zone	Within the Coastal Commission Appeal Jurisdiction

MATERIALS BOARD:

Below is a photo simulation of the proposed home showing perspective with neighboring homes. Also included are the proposed exterior colors and materials to be used.



RESIDENTIAL DESIGN GUIDELINES AND NEIGHBORHOOD COMPATIBILITY:

The project meets the residential design standards and neighborhood compatibility. Most of the homes are oriented to the west, with courtyard spaces behind a front fence that aligns with the garage frontage. This style has been predominating in the neighborhood for decades (the Jim Maul House has the same layout).

1. **Relationship to homes in the neighborhood**
 The subject home has the same frontage layout as most homes in the neighborhood, but with a bold interest and articulation due to the modern design.
2. **Scale and Mass**

The home is designed in a similar scale and mass of most of the homes in the neighborhood.

3. **Surface Articulation**

With the large roof overhangs and updated modern frontage, the home has more than adequate articulation in the design.

4. **Building Orientation**

The home is appropriately placed on the site.

5. **Garage and Driveway**

The garage and driveway are updated and modern and with the landscaping provide a very appealing street scape.

6. **Building materials**

Nice blend of material and colors in a neutral pallet.

7. **Architectural Elements**

Like most newer homes in the neighborhood, they have unique features to highlight the design aesthetic for the limited amount of house that is visible from the street.

SENSITIVE DUNES DELINEATIONS: This neighborhood has larger lots than residential lots east of Highway 1. The subject lot is 8100 square feet and is immediately adjacent to Open Space on the west, specifically the coastal dunes which are an environmentally protected area (Environmentally Sensitive Habitat Area “ESHA”). The applicants obtained an updated ESHA Delineation report prepared by Sage Institute in July 2022 (See Exhibit F) that indicates that the boundary of the residentially zoned portion of the site is 15 feet from the sensitive ESHA boundary.



CEQA HISTORIC BUILDING EVALUATION:

The previous owner engaged a firm to provide a CEQA historic building assessment of

the home, which concluded that the existing structure, although not listed on the National Register of Historic Places or either California registries, does meet three of the criteria that appear to make it eligible as a local historic resource. The update letter to the previously provided Historic Evaluation prepared by Cultural Resource Services is provided in Exhibit E with the original report. The update letter was prepared following the structural evaluation that determined that the home was too damaged and deteriorated to remodel and modernize. The update letter concurs with the findings in the structural report, but requests that prior to demolition of the home, it should be professionally photographed, in black and white archival quality images of each elevation of the exterior. These photos should be retained by the City of Morro Bay, the Morro Bay Historic Society and the History Center of San Luis Obispo County.

COASTAL HAZARD AREA:

The 2021 General Plan and Local Coastal Land Use Plan identify only a small portion of this parcel (only in the 2100-year modeling) as being in an area of higher potential Coastal Hazard related to Sea Level Rise. See Exhibit C GeoSolutions Geology Report. The project has planning conditions in the attached resolution that are specifically required by the California Coastal Commission to protect the coast and make the property owners aware of the risks.



PUBLIC NOTICE:

Notice of this item was published in the San Luis Obispo Tribune newspaper on December 9, 2022, and all property owners and occupants of record within 500 feet of the subject site were notified of this evening’s public hearing and invited to voice any concerns on this application.

ENVIRONMENTAL DETERMINATION:

Environmental review was performed for this project and staff determined it meets the requirements for a Categorical Exemption under CEQA Guidelines Section 15301, Class

1j, for demo of existing structure and Section 15303, Class 3a for new construction of a residential home in a residential zone. Additionally, none of the Categorical Exemption Exceptions, noted under Section 15300.2, apply to the project. See also ESHA determination discussion above in “Project Zoning and Land Use Designation”.

CONCLUSION:

The project as proposed is consistent with all required development standards of the Zoning Ordinance and all applicable provisions of the General Plan and Local Coastal Plan with incorporation of the recommended conditions of approval.

RECOMMENDATION:

Staff recommends the Planning Commission conditionally approve Coastal Development Permit #CDP22-023 for the proposal for the project at 3009 Beachcomber Drive, as shown on plans submitted to the City on November 1, 2022, by adopting Planning Commission **Resolution 10-22** which includes the findings and conditions of approval of the project.

EXHIBITS:

- Exhibit A – Planning Commission Resolution 10-22
- Exhibit B – Graphics/Plans
- Exhibit C – Geo Solutions Engineering Geology Investigation (October 2022)
- Exhibit D – Structural Review report- Existing Home
- Exhibit E – Architectural Historic Evaluation (original) and update letter
- Exhibit F – Sage Institute – Dune ESHA Setback Verification
- Exhibit G – PowerPoint Presentation

RESOLUTION NO. PC 10-22

A RESOLUTION OF THE MORRO BAY PLANNING COMMISSION
APPROVING COASTAL DEVELOPMENT PERMIT (CDP22-023) TO APPROVE DEMO
OF AN EXISTING HOME AND CONSTRUCTION OF A NEW SINGLE-FAMILY HOME
LOCATED AT 3009 BEACHCOMBER DRIVE LOCATED WITHIN THE COASTAL
COMMISSION APPEAL JURISDICTION

WHEREAS, the Planning Commission of the City of Morro Bay (the “City”) conducted a public hearing December 20, 2022, conducted in a hybrid format with both an in-person meeting at the Morro Bay Veterans Memorial Building, 209 Surf Street, Morro Bay, CA 93442 as well as through virtual public participation provided telephonically through Zoom, for the purpose of considering the approval of the CDP22-023 for a demo of an existing home and new construction of a single-family home; and

WHEREAS, notice of the public hearing was provided at the time and in the manner required by law; and

WHEREAS, the Planning Commission has duly considered all evidence, including the testimony of the appellant, applicant, interested parties, and the evaluation and recommendations by staff, presented at said hearing.

NOW, THEREFORE, BE IT RESOLVED by the Planning Commission of the City of Morro Bay as follows:

Section 1: Findings. Based upon all the evidence, the Commission makes the following findings:

California Environmental Quality Act (CEQA) Finding

1. Pursuant to the California Environmental Quality Act, the project is categorically exempt under Section 15301, Class 1j for demo of an existing single-family home and Section 15303 Class 3a for new construction of a single-family home on a residentially zoned parcel. Additionally, none of the Categorical Exemption Exceptions, noted under Section 15300.2, apply to the project.

Coastal Development Findings:

1. The Planning Commission finds that the project is consistent with applicable provisions of the Local Coastal Program and Chapter 3 of the California Coastal Act for demo of an existing single-family home and new construction of a new single-family home.
2. The Planning Commission finds the project, as conditioned, is consistent with the character of the neighborhood in which it is located. It is surrounded by compatible uses of moderate density residential development; and is a design, size and scale similar to nearby structures.

3. The Planning Commission finds that the project has complied with the requirements of Policy PS 3.7 and has provided the necessary supporting studies to indicate that the project can be built in a manner consistent to the Local Coastal Program coastal hazards policies.
4. The Planning Commission finds that the project has complied with the requirements of Policy C 1.1 to ensure that the proposed development meets the criteria necessary to protect the coastal dune ESHA.

Section 2. Action. The Planning Commission does hereby approve Coastal Development Permit CDP22-023 for the property located at 3009 Beachcomber Drive subject to the following conditions:

STANDARD CONDITIONS

1. This permit is granted for the proposed demo of an existing home and construction of a new home on the parcel providing 3,335-sf of conditioned living space with a 715-sf garage. The home is single story with a side yard courtyard/entryway on an 8,100 square foot parcel adjacent to the sand dunes and ocean beyond. The project zoning is R-1/S2.A and is located within the coastal appeals jurisdiction. The Coastal Land Use and proposed new zoning designation is Moderate Density Residential (RS-B).
2. Inaugurate Within Two Years: Unless the construction or operation of the structure, facility, or use is commenced not later than two (2) years after the effective date of this Resolution and is diligently pursued, thereafter, this approval will automatically become null and void; provided, however, that upon the written request of the applicant, prior to the expiration of this approval, the applicant may request up to two extensions for not more than one (1) additional year each. Any extension may be granted by the City's Community Development Director (the "Director"), upon finding the project complies with all applicable provisions of the Morro Bay Municipal Code (the "MBMC"), General Plan and certified Local Coastal Program Land Use Plan (LCP) in effect at the time of the extension request.
3. Changes: Minor changes to the project description and/or conditions of approval shall be subject to review and approval by the Community Development Director. Any changes to this approved permit determined, by the Director, not to be minor shall require the filing of an application for a permit amendment subject to Planning Commission review.
4. Compliance with the Law: (a) All requirements of any law, ordinance or regulation of the State of California, the City, and any other governmental entity shall be complied with in the exercise of this approval, (b) This project shall meet all applicable requirements under the MBMC and shall be

consistent with all programs and policies contained in the LCP and General Plan for the City.

5. Hold Harmless: The applicant, as a condition of approval, hereby agrees to defend, indemnify, and hold harmless the City, its agents, officers, and employees, from any claim, action, or proceeding against the City as a result of the action or inaction by the City, or from any claim to attack, set aside, void, or annul this approval by the City of the applicant's project; or applicants' failure to comply with conditions of approval. Applicant understands and acknowledges the City is under no obligation to defend any legal actions challenging the City's actions with respect to the project. This condition and agreement shall be binding on all successors and assigns.
6. Compliance with Conditions: The applicant's establishment of the use or development of the subject property constitutes acknowledgement and acceptance of all Conditions of Approval. Compliance with and execution of all conditions listed hereon shall be required prior to obtaining final building inspection clearance. Deviation from this requirement shall be permitted only by written consent of the Director or as authorized by the Planning Commission. Failure to comply with any of these conditions shall render this entitlement, at the discretion of the Director, null and void. Continuation of the use without a valid entitlement will constitute a violation of the MBMC and is a misdemeanor.
7. Compliance with Morro Bay Standards: This project shall meet all applicable requirements under the MBMC and shall be consistent with all programs and policies contained in the LCP and General Plan of the City.

PLANNING CONDITIONS

1. Archaeology: In the event of the unforeseen encounter of subsurface materials suspected to be of an archaeological or paleontological nature, all grading or excavation shall immediately cease in the immediate area, and the find should be left untouched until a qualified professional archaeologist or paleontologist, whichever is appropriate, is contacted and called in to evaluate and make recommendations as to disposition, mitigation and/or salvage. The developer shall be liable for costs associated with the professional investigation.
2. Construction Hours: Pursuant to MBMC subsection 9.28.030.I, Construction or Repairing of Buildings, the erection (including excavating), demolition, alteration or repair of any building or general land grading and contour activity using equipment in such a manner as to be plainly audible at a distance of fifty feet from the building other than between the hours of seven a.m. and seven p.m. on weekdays and eight a.m. and seven p.m. on weekends except in case of urgent necessity in the interest of public health

- and safety, and then only with a permit from the Community Development Department, which permit may be granted for a period not to exceed three days or less while the emergency continues and which permit may be renewed for a period of three days or less while the emergency continues.
3. Dust Control: That prior to issuance of a grading permit, a method of control to prevent dust and wind blow earth problems shall be submitted for review and approval by the Building Official.
 4. Conditions of Approval on Building Plans: Prior to the issuance of a Building Permit, the final Conditions of Approval shall be attached to the set of approved plans. The sheet containing Conditions of Approval shall be the same size as other plan sheets and shall be the last sheet in the set of Building Plans.
 5. Architecture: Building color and materials shall be as shown on plans approved by the Planning Commission and specifically called out on the plans submitted for a Building Permit to the satisfaction of the Community Development Director.
 6. Boundaries and Setbacks: The property owner is responsible for verification of lot boundaries. A licensed land surveyor shall verify lot boundaries and building setbacks to the satisfaction of the Community Development Director. A copy of the surveyor's *Form Certification* based on a boundary survey shall be submitted with the request for foundation inspection.
 7. Landscaping/Existing Tree Removal: Efforts should be made to retain the large existing tree in the SE portion of the parcel. Other existing trees removed as part of the development of the property shall be mitigated by adding 2 new trees to the landscape plan for every tree removed that exceeds a trunk diameter of 6 inches. The mitigation trees shall be native and drought resistant and shall be 15-gallon containers or larger. All plants specified on the approved landscape plans shall provide coverage all bare earth areas using drought tolerant, native plants and trees that will reach a 90% coverage within 5 years.
 8. Construction during nesting season: If construction will occur between February 1 and June 30 of any given year, a biologist or arborist shall confirm that there are no nesting birds in the trees within 250 feet of the construction work and will confirm that no habitat will be disturbed for other trees to be removed. The biologist or arborist can also provide construction period protection methods to insure healthy survival of the retained tree.
 9. Soil Engineering Report The construction methods and recommendations included in conclusions and recommendations in the GeoSolutions, Inc. report dated October 13, 2022, shall be included in the building permit plan submittal. Changes in the foundation system or structural design of the project will require an update letter from Geo Solutions, or a supplemental report from another qualified registered professional engineering firm with a specialty in geotechnical analysis of proposed developments.

10. Grass Pavers: The lawn area identified on the landscape plan to the south of the driveway that has an underlying grass paver system cannot be used for parking vehicles.
11. Improvements in OA zone: The applicant shall remove all existing pavers/non-native materials previously installed in the OA zone and is prohibited from making any improvements or alterations beyond the westerly edge of the residentially zoned portion of the property. The OA Zoned land area must be preserved or re naturalized to its native condition.
12. Shoreline Armoring Prohibited. Future shoreline armoring (including but not limited to seawalls, revetments, retaining walls, gabion baskets, tie backs, piers, groins, caissons/grade beam systems, etc.) that is intended to protect or would have the effect of protecting the house and related development shall be prohibited. Shoreline protective devices (including replacement, augmentation, addition, and expansion associated with an existing device) shall not be allowed except where required to serve a coastal-dependent use consistent with Morro Bay General Plan/Coastal Land Use Plan Policy PS-3.3
13. Section 30235 Waiver. Any rights that the Permittees may have to construct and/or maintain shoreline armoring to protect the house and related development, including rights that may exist under Coastal Act Section 30235, the City of Morro Bay Local Coastal Program, or any other applicable laws, are waived.

BUILDING DIVISION CONDITIONS

A. CONDITIONS PRIOR TO THE ISSUANCE OF A BUILDING PERMIT:

- 1.) Building permit plans shall be submitted by a California licensed architect or engineer when required by the Business & Professions Code, except when otherwise approved by the Chief Building Official.
- 2.) The owner shall designate on the building permit application a registered design professional who shall act as the Registered Design Professional in Responsible Charge. The Registered Design Professional in Responsible Charge shall be responsible for reviewing and coordinating submittal documents prepared by others including phased and staggered submittal items, for compatibility with design of the building.
- 3.) The owner shall comply with the City's Structural Observation Program. The owner shall employ the engineer or architect responsible for the structural design, or another engineer or architect designated by the engineer of record or architect responsible for the structural design, to perform structural observation as defined in Section 220. Observed deficiencies shall be reported in writing to the owner's representative, special inspector, contractor and the building official. The structural observer shall submit to the building official a written statement that the site visits have been made and identify any reported deficiencies that, to the best of the structural observer's knowledge, have not been resolved.

- 4.) The owner shall comply with the City Special Inspection Program. Special inspections will be required by Section 1704 of the California Building Code. All Special Inspectors shall first be approved by the Building Official to work in the jurisdiction. All field reports shall be provided to the City Building Inspector when requested at specified increments for the construction to proceed. All final reports from Special Inspectors shall be provided to the Building Official when they are complete and prior to final inspection.
- 5.) A soils investigation performed by a qualified professional shall be required for this project. All cut and fill slopes shall be provided with subsurface drainage as necessary for stability; details shall be provided. Alternatively, submit a completed City of Morro Bay soils report waiver request.
- 6.) Mitigation measures for natural occurring asbestos require approval from San Luis Obispo County Air Pollution Control District.
- 7.) BUILDING PERMIT APPLICATION: To apply for building permits, submit three (3) sets of construction plans, fire sprinkler plans, if applicable, and supplemental documents to the Building Division.
- 8.) The Title sheet of the plans shall include, but not limited to:
 - Street address, lot, block, track, and Assessor Parcel Number
 - Occupancy Classification(s)
 - Construction Type
 - Maximum height of the building allowed and proposed
 - Floor area of the building(s)
 - Fire sprinklers proposed or existing
 - Minimum building setback allowed and proposed

All construction will conform to the 2019 California Building Code (CBC), 2019 California Residential Code (CRC), 2019 California Fire Code (IFC), 2019 California Mechanical Code (CMC), 2019 California Plumbing Code (CPC), 2019 California Electrical Code (CEC), 2019 California Energy Code, 2019 California Green Building Code (CGBC), Title 14 and 17 of the Morro Bay Municipal Code.

(Code adoption dates are subject to change. The code adoption year is established by application date of plans submitted to the Building Division for plan review.)

B. CONDITIONS TO BE MET DURING CONSTRUCTION:

- 1.) SITE MAINTENANCE: During construction, the site shall be maintained to not infringe on neighboring property, such as debris and dust. A storm water management plan shall be maintained through the duration of the project. The

storm water management measures such as fiber rolls, silt fencing, etc. will be enforced by City staff by random site visits.

- 2.) **ARCHAEOLOGICAL MATERIALS:** In the event unforeseen archaeological resources are unearthed during any construction activities, all grading and or excavation shall cease in the immediate area and the find left untouched. The Building Official shall be notified so that the extent and location of discovered materials may be recorded by a qualified archaeologist, Native American, or paleontologist, whichever is appropriate. The qualified professional shall evaluate the find and make reservations related to the preservation or disposition of artifacts in accordance with applicable laws and ordinances. If discovered archaeological resources are found to include human remains, or in any other case when human remains are discovered during construction, the Building Official shall notify to county coroner. If human remains are found to be of ancient age and of archaeological and spiritual significance, the Building Official shall notify the Native American Heritage Commission. The developer shall be liable for costs associated with the professional investigation.

- 3.) **FOUNDATION SETBACK VERIFICATION:** Prior to the placement of concrete and upon completed form installation, a licensed surveyor is required to measure and record the distance from the proposed foundation walls to the established lot lines. The contractor shall submit these findings in letter format to the building inspector upon the request for a foundation inspection. Letter shall specify the findings of front, sides and rear yard setbacks as defined in Title 17 of the MBMC. The Building Official shall have discretion on a case-by-case basis for some lot types.

- 4.) **BUILDING HEIGHT VERIFICATION:** Prior to roof sheathing or shear wall inspection, a licensed surveyor is required to measure and record the height of the structure. The contractor shall submit this finding in letter format to the building inspector upon the request for roof sheathing/shear wall inspection. Letter shall specify the recorded height of structure as defined in Title 17 of the MBMC. The Building Official shall have discretion on a case-by-case basis for some site-specific projects.

- 5.) **EXISTING BUILDINGS:** Where windows are required to provide emergency escape and rescue openings, replacement windows shall comply with the maximum sill height requirements of section R310.2.2 and the minimum opening area requirements of section R310.2.1 of the 2019 California Residential Code.

C. CONDITIONS TO BE MET PRIOR TO FINAL INSPECTION AND ISSUANCE OF THE CERTIFICATE OF OCCUPANCY:

- 1.) Prior to building division final approval and request for final inspection, all required inspections from the other various divisions and departments must be completed and verified by a city inspector. All required final inspection

approvals must be obtained from the various departments and documented on the permit card. This permit card shall then be turned into the building division for scheduling of the final building inspection.

- 2.) Any as-built drawings that were required by the building inspector or plans examiner must be submitted for approval prior to the request for final inspection.
- 3.) If structural observations were required, the final structural observation report shall be submitted to the building division prior to issuance of the certificate of occupancy or final inspection approval.
- 4.) If special inspections were required, the final special inspection report shall be submitted to the building division prior to the issuance of the certificate of occupancy or final inspection approval.
- 5.) Final soils summary report from the geotechnical representative indicating compliance with the required conditions set forth in the soils report.
- 6.) Final T-24 energy reports (Certificates of Installation).

PUBLIC WORKS CONDITIONS

1. Stormwater Management: The City has adopted Low Impact Development (LID) and Post Construction requirements. All proposed projects must complete the "Performance Requirement Determination Form" to determine if any requirements should be submitted. The requirements can be found in the Stormwater management guidance manual on the City's website <https://www.morrobayca.gov/DocumentCenter/View/11114/MB-StormwaterManagement-EZ-manual>
2. Frontage Improvements: The installation of frontage improvements is required. Show the installation of a driveway approach (per City detail B-6 without sidewalk), concrete mountable curb & gutter (per City detail B-1) and a street tree. (MBMC 14.44.020)
3. Sewer Lateral: Indicate and label if private sewer lateral pipe will be replaced or to remain in place. If the existing sewer lateral is proposed to remain in place, then perform a video inspection of the lateral (from the clean-out at structure to the connection at the sewer mainline pipe) and submit to Public Works via flash drive, prior to building permit plan approval. Requirements for the sewer video inspection can be located on the City's website at the following location:
<https://www.morrobay.ca.us/DocumentCenter/View/13500/Private-Sewer-Line-Video-Requirements>
Lateral shall be upgraded, repaired or replaced as required to prohibit inflow/infiltration. All repairs or replacements identified from sewer video,

shall be noted on approved set of plans, prior to plan approval. (MBMC 14.07.030)

4. Sewer Backwater Valve: Indicate and label sewer backwater valve on plan. A backwater valve, extended to and accessible from grade for maintenance, shall be installed on every Building sewer. Exception: Installation of backwater valve shall not be required when, to the satisfaction of Building Official, it is determined that the intent and purpose of this section is otherwise met. (MBMC 14.07.010.C). Page 2 of 2
5. Erosion and Sediment Control Plan: For small projects less than 1/2 acre and less than 15% slope, provide a standard erosion and sediment control plan. Show on plans the control measures to provide protection against erosion of adjacent property and prevent sediment or debris from entering the City right of way, adjacent properties, any harbor, waterway, or ecologically sensitive area.
6. Water Meter: Indicate on plans location and sizes of both water meter and water lateral. Coordinate sizes with Fire Sprinkler plans. (MBMC 13.04.010 & 14.04.010.C)
8. Grading and Drainage: Indicate on plans the existing and updated contours, drainage patterns, spot elevations, finish floor elevation and all existing and proposed drainage pipes and structures.
7. Utilities: Show all existing and proposed locations of the sewer lateral, water service, and water and sewer mains on the building plans. Include sizes where appropriate. Note the location of all overhead utilities and construction underground service entrances per the CBC. See attached utility maps.

Add the following Notes to the Plans:

1. Any damage, as a result of construction operations for this project, to City facilities, i.e., curb/berm, street, sewer line, water line, or any public improvements shall be repaired at no cost to the City of Morro Bay.
2. No work shall occur within (or use of) the City's Right of Way without an encroachment permit. Encroachment permit application and requirements are available on the City's website at the following location:
<https://www.morrobay.ca.us/197/Public-Works>
 - A standard encroachment permit shall be required for the proposed driveway; the driveway shall comply with B-9 (Driveway Ramps: Size & Location).

- A sewer encroachment permit shall be required for any repairs or installation of a sewer lateral within the City right-of-way or within a utility easement.
- If a construction dumpster is used, the dumpster location shall be on private property, unless allowed by a temporary encroachment permit within the City right-of-way.

FIRE DEPARTMENT CONDITIONS:

1. Fire Safety during Construction and Demolition shall be in accordance with 2019 California Fire Code, Chapter 33. This chapter prescribes minimum safeguards for construction, alteration, and demolition operations to provide reasonable safety to life and property from fire during such operations.
2. Automatic fire sprinklers. An automatic fire sprinkler system, in accordance with NFPA 13-D, California Fire Code (Section 903) and Morro Bay Municipal Code (Section 14.08.090). Submit all plans and specification sheets for the required automatic fire sprinkler system to the Fire Departments for review and approval prior to installation.
3. Carbon monoxide alarms in new dwellings and sleeping units. An approved carbon monoxide alarm shall be installed in dwellings having a fossil fuel-burning heater or appliance, fireplace or an attached garage. Carbon monoxide alarms shall be listed as complying with UL 2034 and be installed and maintained in accordance with NFPA 720 and the manufacturer's instructions. (CRC R315.2)

PASSED AND ADOPTED by the Morro Bay Planning Commission at a regular meeting thereof held on 20th day of December 2022 on the following vote:

AYES:

NOES:

ABSENT:

ABSTAIN:

Chairperson Stewart

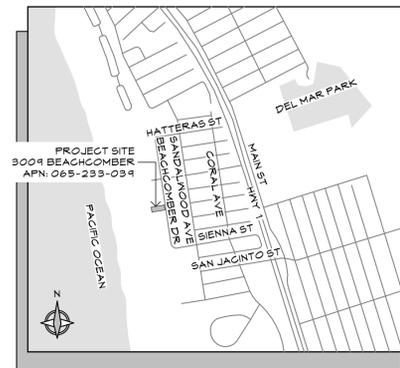
ATTEST

Scot Graham, Community Development Director

The foregoing resolution was passed and adopted this 20th day of December 2022.



VICINITY MAP



PROJECT DIRECTORY

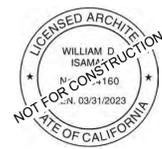
OWNER:
STUART & NATALIE ORGILL
CASTLE WALLS 2
1321 UPLAND DR, #6462
HOUSTON, TX 77043
PHONE: (801) 472-4444
EMAIL: stuartorgill@gmail.com
natalieorgill@gmail.com

ARCHITECT:
ISAMAN DESIGN, INC.
2420 BROAD STREET
SAN LUIS OBISPO, CA 93401
CONTACT: BILL ISAMAN
PHONE: (805) 544-5672
EMAIL: bill@isamandesign.com

SURVEYOR:
MBS LAND SURVEYS
3559 SOUTH HIGUERA STREET
SAN LUIS OBISPO, CA 93401
CONTACT: MIKE STANTON
PHONE: (805) 544-1960
CELL: (805) 440-4215
EMAIL: mike@mbslandsurveys.com

SOILS ENGINEER:
GEO SOLUTIONS
440 HIGH STREET
SAN LUIS OBISPO, CA 93401
CONTACT: KRAIG GROZIER
PHONE: (805) 543-8539
FAX:
EMAIL: info@geosolutions.net

LANDSCAPE:
JGS DESIGNS
1320 VAN BEURDEN DRIVE,
SUITE 202
LOS OSOS, CA 93402
CONTACT: JEFFREY G. SMITH
PHONE: (805) 805-440-0355
EMAIL: Jeffrey@jgsdesigns.com



PROJECT DATA

A.P.N.: 065-233-039
PROJECT DESCRIPTION: DEMO OF THE SEVERELY DAMAGED EXISTING RESIDENCE BUILT IN 1971 (SEE STRUCTURAL INVESTIGATION REPORT DATED JULY 6 2022). CONSTRUCTION OF NEW 3,300 SF 4 BED, 4 BATH SINGLE FAMILY RESIDENCE WITH 690 SF 2-CAR GARAGE LOCATED AT 3009 BEACHCOMBER, MORRO BAY, CA.

SITE STATISTICS:
PROJECT ADDRESS: 3009 BEACHCOMBER DR MORRO BAY, CA 93442

ZONING: R-1/92.A
17.40.050-D.S.2.A OVERLAY ZONE STANDARDS:

LOT AREA: 8,100 SF
LOT WIDTH: 60.0'

FRONT SETBACK: 15'-0"
SIDE YARD SETBACK: 5'-0"
REAR SETBACK: 5'-0"

AVERAGE EXISTING GRADING (AEG.): 25.0'+23.0'+48.0'
48.0'+2+24.0'
(AEG)

HEIGHT LIMIT:
14' FROM AVERAGE EXISTING GRADE FOR FLAT ROOFS.
PEAKED (1:4:12) ROOFS OR OTHER ARCHITECTURAL FEATURES UP TO 17'

ALLOWABLE MAX HT: 24.0' (AEG) + 14' = 38.0' FLAT ROOF
24.0' (AEG) + 17' = 41.0' ARCHITECTURAL FEATURES

PROPOSED BUILDING HEIGHT FROM AEG: 14'-0" (38.0')

LANDSCAPED AREAS: 2,219 SF (27.4%)
PERVIOUS HARDSCAPE AREA: 285 SF (3.3%)
IMPERVIOUS HARDSCAPE AREA: 450 SF (11.7%)

BUILDING STATISTICS:

RESIDENCE (CONDITIONED): 3,300 SF
TOTAL CONDITIONED: 3,300 SF

2-CAR GARAGE (UNCONDITIONED): 690 SF
TRASH ENCLOSURE (UNCONDITIONED): 60 SF

PROPOSED ROOMS: 4 BED + 4 BATH

CONSTRUCTION TYPE: TYPE V-B
NUMBER OF STORIES: 1
FIRE SPRINKLERS REQ'D: YES

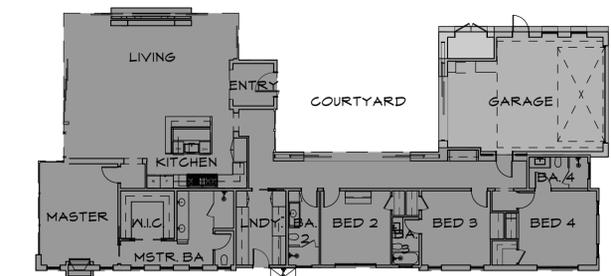
PROPOSED SITE ZONING STATISTICS:

MAX LOT COVERAGE PERMITTED: 4,050 SF (50%)
(8,100).50

PROPOSED LOT COVERAGE PERMITTED: 4,050 SF (50%)

LOT COVERAGE DEFINED AS THE OUTER-MOST WALLS OF THE STRUCTURE

PROPOSED LOT COVERAGE DIAGRAM:
SCALE: 1/16" = 1'-0"



CONDITIONED= 3,300 SF+
GARAGE= 690 SF+
TRASH ENCLOSURE= 60 = 4,050

SHEET INDEX

T.1.0 TITLE SHEET
C.1.0 EXISTING SITE PLAN/SURVEY (BY OTHERS)
A.1.0 COLOR & MATERIALS BOARD
A.2.0 SITE PLAN
A.3.0 FLOOR PLAN
A.4.0 ELEVATIONS
A.4.1 ELEVATIONS
L.1.0 CONCEPTUAL LANDSCAPE PLAN (BY OTHERS)
L.2.0 LANDSCAPE MWELO (BY OTHERS)

T 1.0 TITLE SHEET

ORGILL RESIDENCE

Isaman design, Inc.
ARCHITECTURE
2420 Broad Street
San Luis Obispo, CA 93401
Phone: 805.544.5672
Fax: 805.544.5642
www.isamandesign.com





ORGILL RESIDENCE



BLACKENED STEEL
BEAMS, COLUMNS &
DETAILING



ITALIAN SLATE
NEOLITH PANELING



SMOOTH TROWEL FINISH
STUCCO "FOSSIL" BY KELLY
MOORE



CLEAR CEDAR EAVES & SIDING



RAMMED EARTH WALLS

A 1.0 COLOR & MATERIALS BOARD

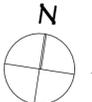
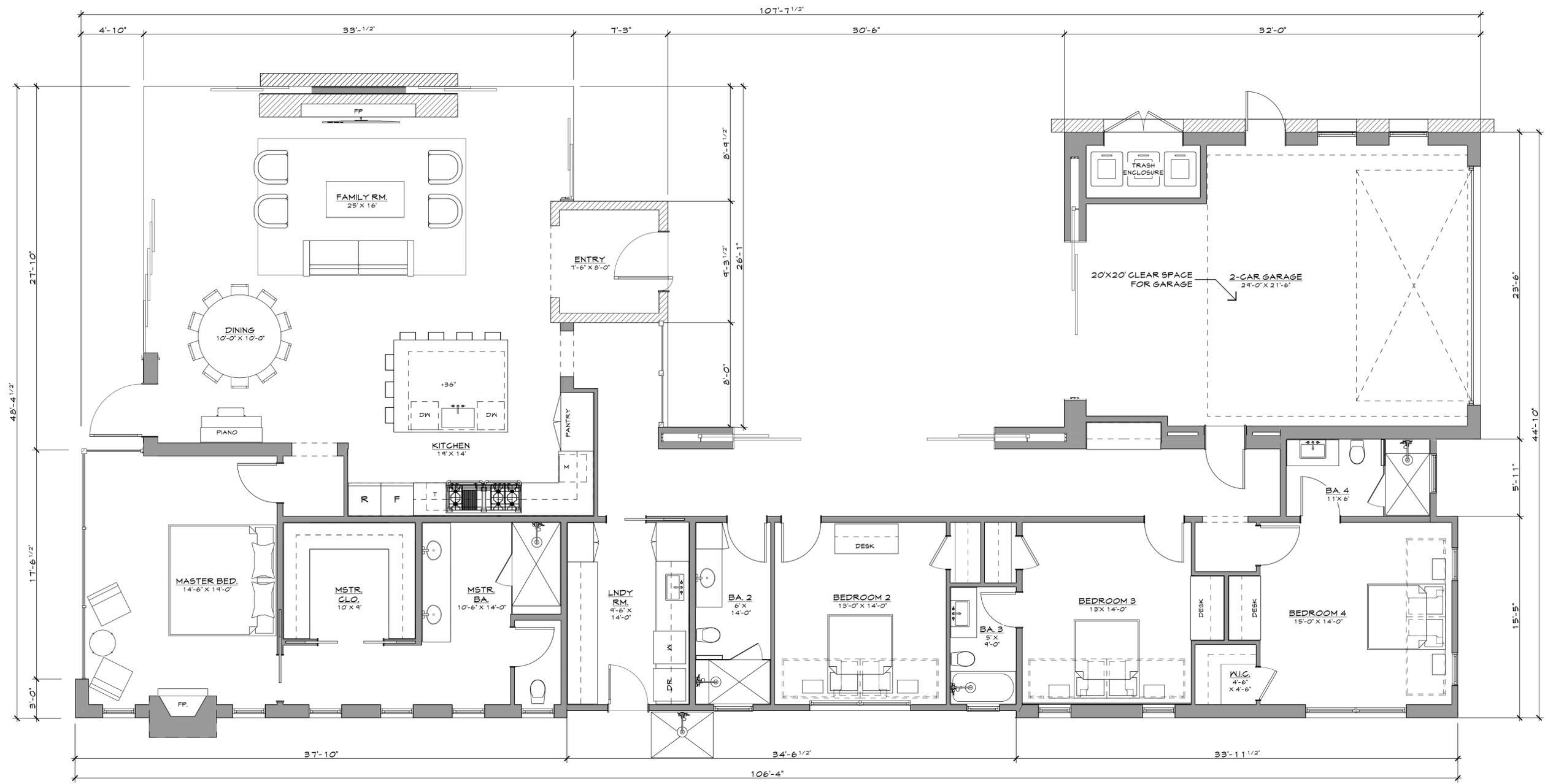
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WALL LEGEND

- WOOD FRAMED WALLS
- CONCRETE RAMMED EARTH WALLS



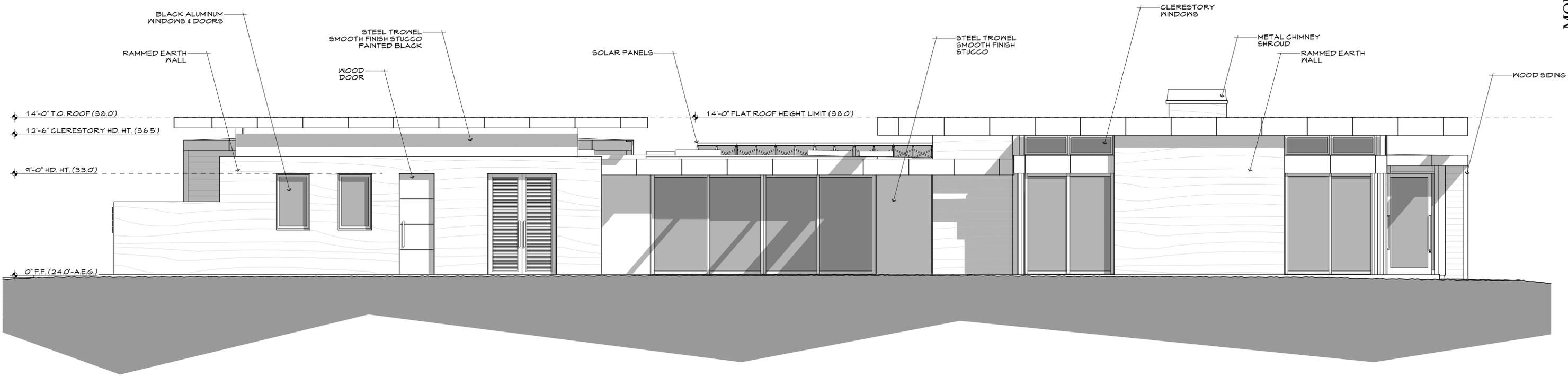
FLOOR PLAN
SCALE: 1/4" = 1'-0"

A3.0 FLOOR PLAN

ORGILL RESIDENCE

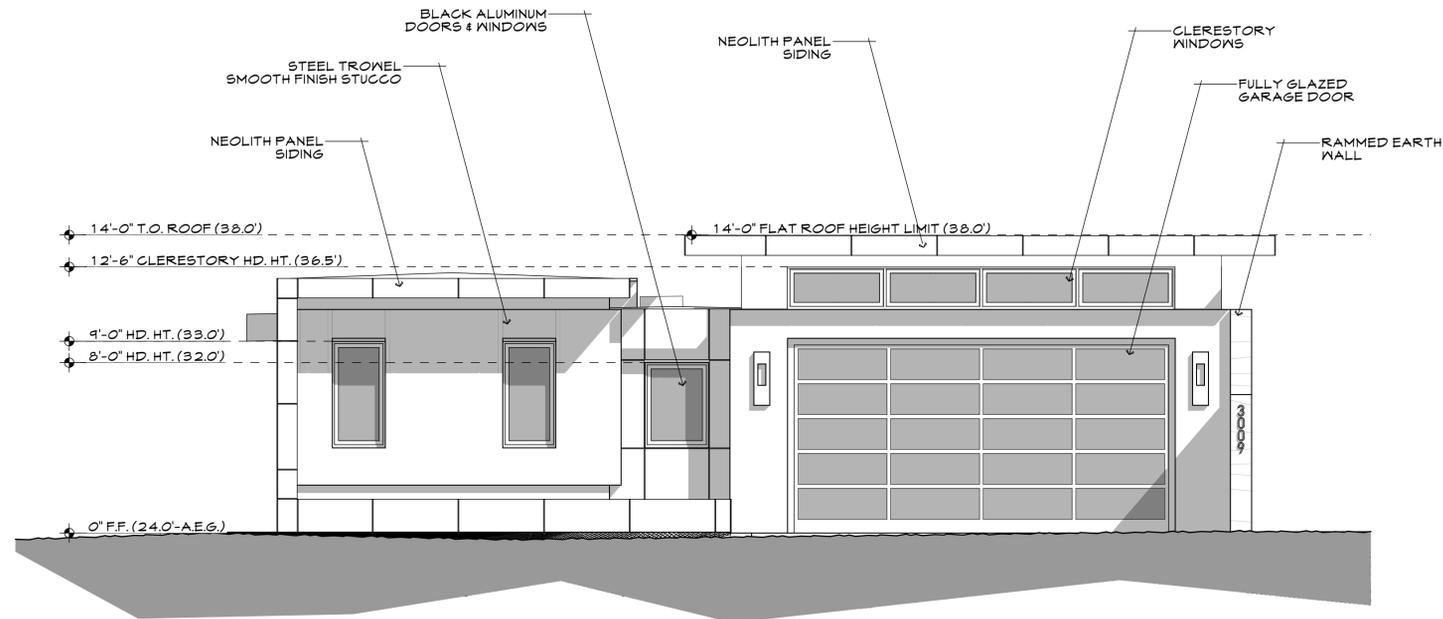
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COURTYARD ELEVATION

SCALE: 1/4" = 1'-0"



FRONT ELEVATION

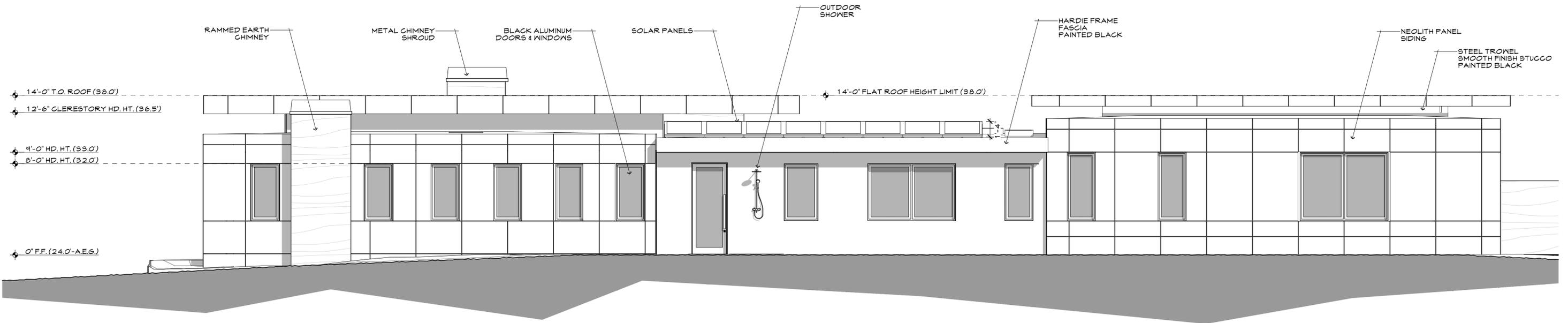
SCALE: 1/4" = 1'-0"

A4.0 ELEVATIONS

Isaman design, Inc.

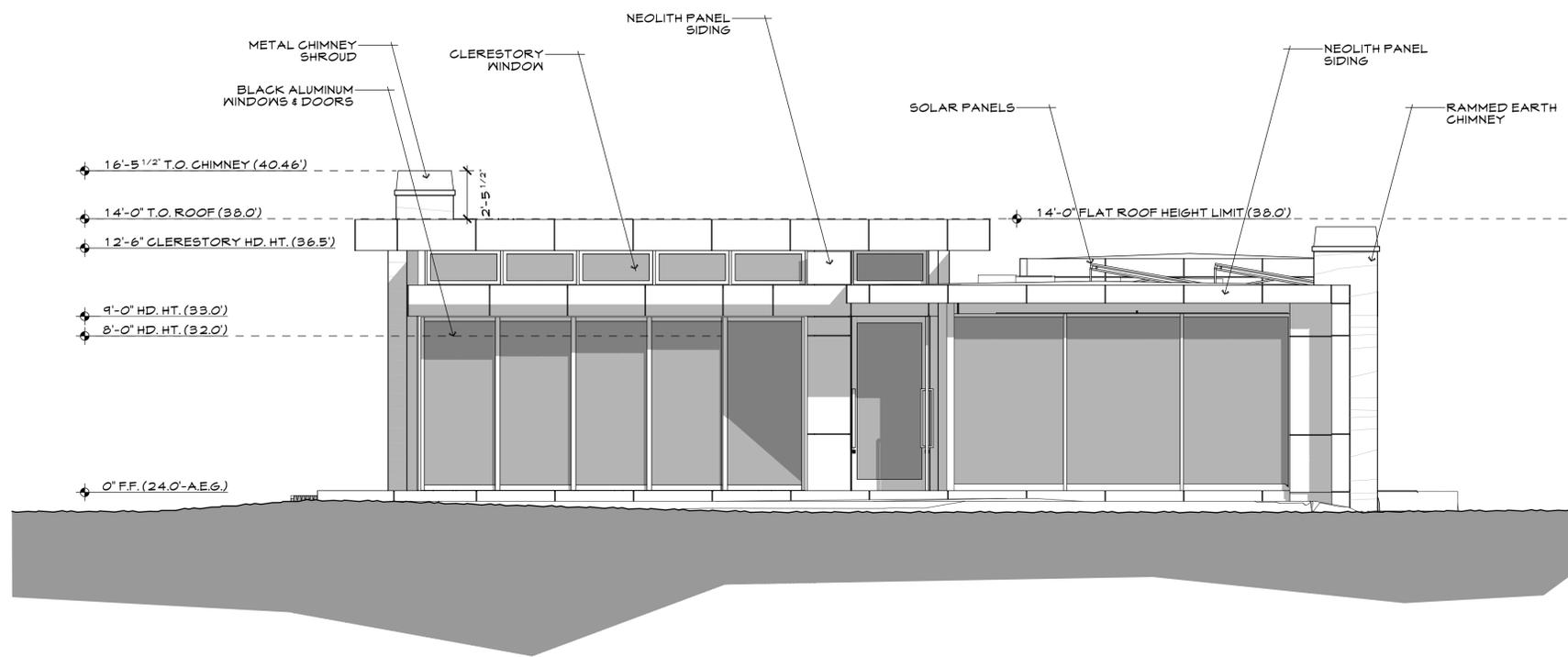
ARCHITECTURE
 2420 Broad Street
 San Luis Obispo, CA 93401
 Phone: 805.544.5672
 Fax: 805.544.5642
 www.isamandesign.com





SIDE ELEVATION

SCALE: 1/4" = 1'-0"



REAR ELEVATION

SCALE: 1/4" = 1'-0"

A4.1 ELEVATIONS

Isaman design, Inc.

ARCHITECTURE
 2420 Broad Street
 San Luis Obispo, CA 93401
 Phone: 805.544.5672
 Fax: 805.544.5642
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PLANTING PLAN

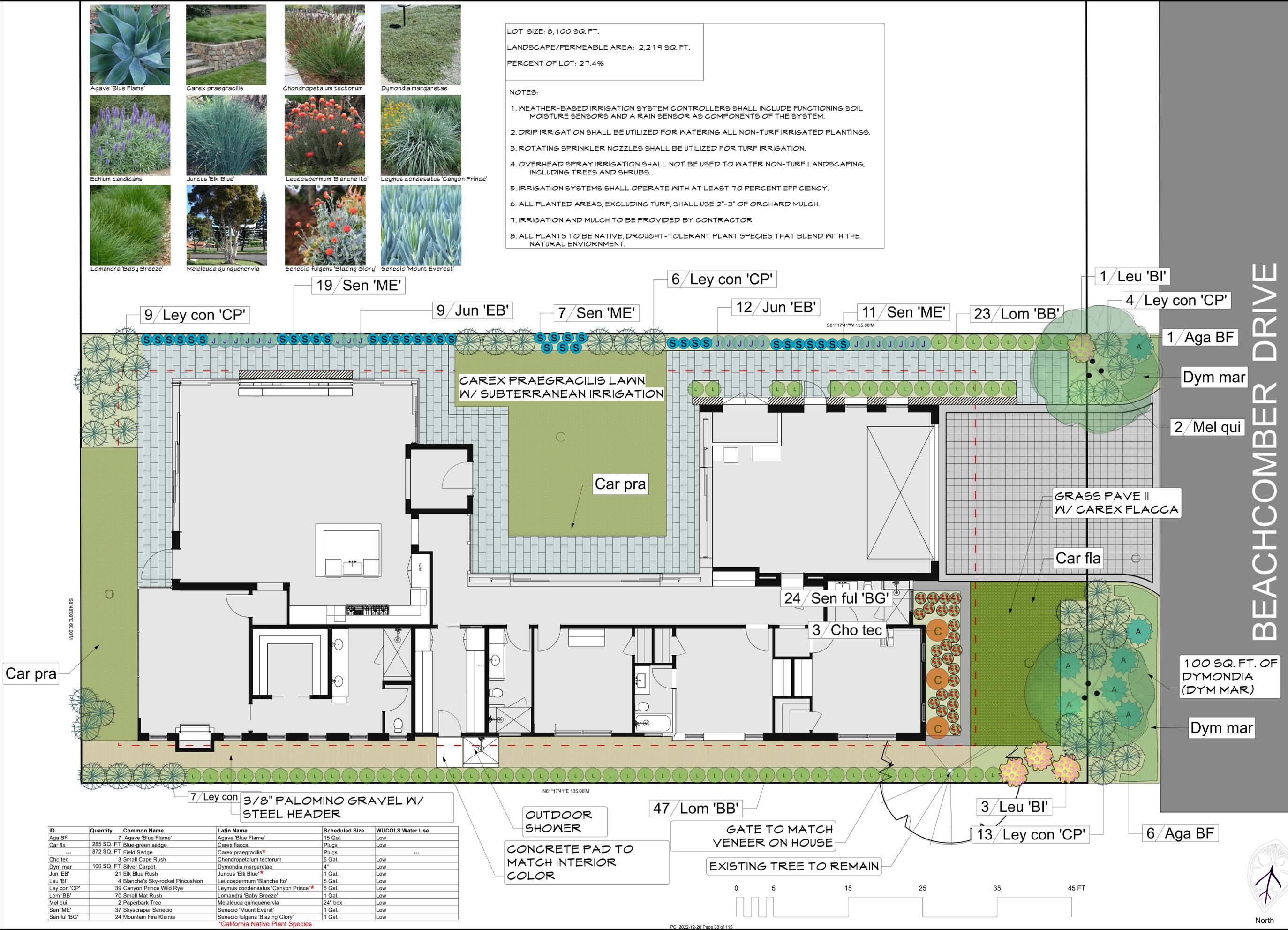
ORGILL RESIDENCE
3009 BEACHCOMBER DR.
MORRO BAY, CA 93442

Scale: 3/16"=1'-0"
Date: 10/17/22
Sheet: L-1



LOT SIZE: 8,100 SQ. FT.
LANDSCAPE/PERMEABLE AREA: 2,219 SQ. FT.
PERCENT OF LOT: 27.4%

- NOTES:
1. WEATHER-BASED IRRIGATION SYSTEM CONTROLLERS SHALL INCLUDE FUNCTIONING SOIL MOISTURE SENSORS AND A RAIN SENSOR AS COMPONENTS OF THE SYSTEM.
 2. DRIP IRRIGATION SHALL BE UTILIZED FOR WATERING ALL NON-TURF IRRIGATED PLANTINGS.
 3. ROTATING SPRINKLER NOZZLES SHALL BE UTILIZED FOR TURF IRRIGATION.
 4. OVERHEAD SPRAY IRRIGATION SHALL NOT BE USED TO WATER NON-TURF LANDSCAPING, INCLUDING TREES AND SHRUBS.
 5. IRRIGATION SYSTEMS SHALL OPERATE WITH AT LEAST 70 PERCENT EFFICIENCY.
 6. ALL PLANTED AREAS, EXCLUDING TURF, SHALL USE 2"-3" OF ORCHARD MULCH.
 7. IRRIGATION AND MULCH TO BE PROVIDED BY CONTRACTOR.
 8. ALL PLANTS TO BE NATIVE, DROUGHT-TOLERANT PLANT SPECIES THAT BLEND WITH THE NATURAL ENVIRONMENT.



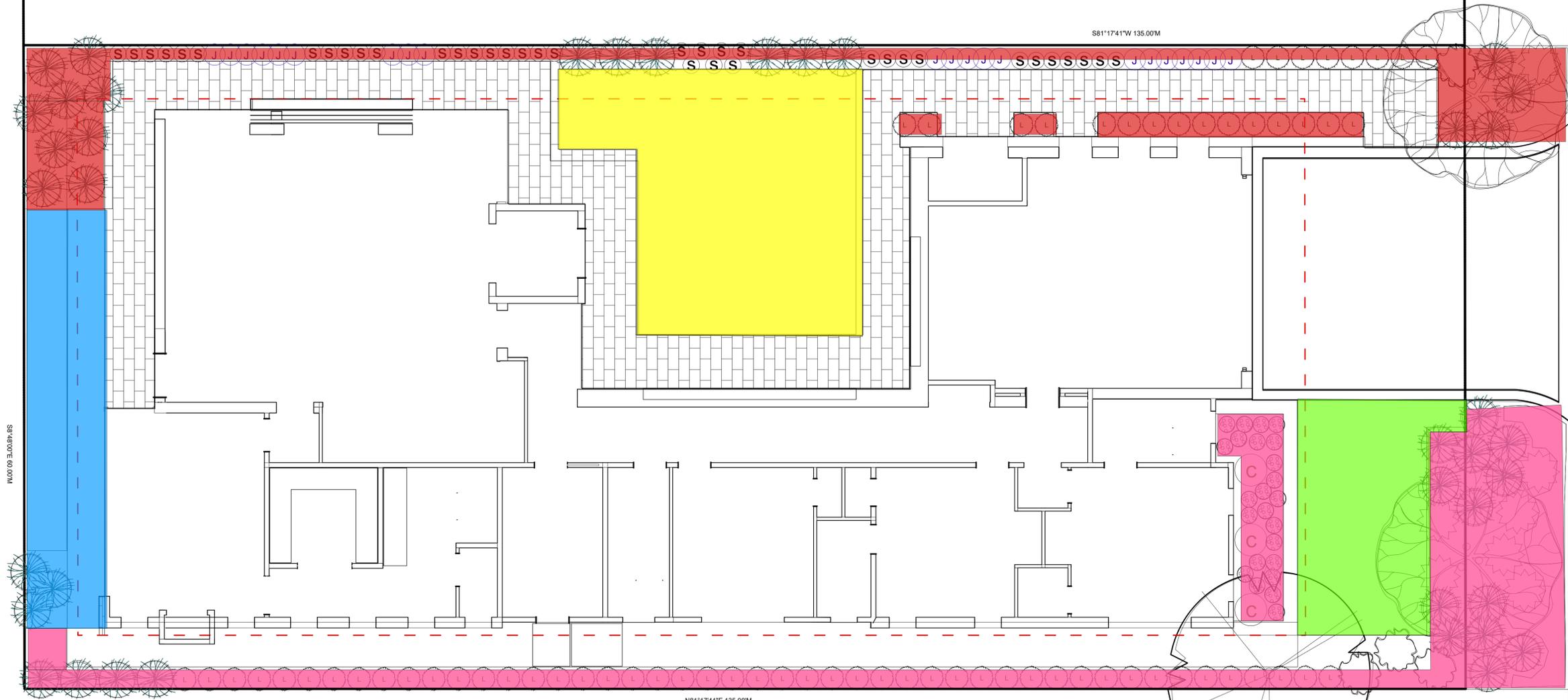
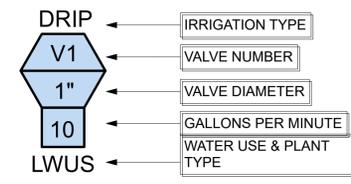
ID	Quantity	Common Name	Latin Name	Scheduled Size	WUCOLS Water Use
Aga BF	7	Agave 'Blue Flame'	Agave 'Blue Flame'	15 Gal.	Low
Car fla	285 SQ. FT.	Blue-green sedge	Carex flacca	Plugs	Low
---	872 SQ. FT.	Field Sedge	Carex praeegracilis*	Plugs	---
Cho tec	3	Small Cape Rush	Chondropetalum tectorum	5 Gal.	Low
Dym mar	100 SQ. FT.	Silver Carpet	Dymondia margaretae	4"	Low
Jun 'EB'	21	Elk Blue Rush	Juncus 'Elk Blue'*	1 Gal.	Low
Leu 'BI'	4	Blanche's Sky-rocket Pincushion	Leucospermum 'Blanche Ito'	5 Gal.	Low
Ley con 'CP'	39	Canyon Prince Wild Rye	Leymus condensatus 'Canyon Prince'*	5 Gal.	Low
Lom 'BB'	70	Small Mat Rush	Lomandra 'Baby Breeze'	1 Gal.	Low
Mel qui	2	Paperbark Tree	Melaleuca quinquenervia	24" box	Low
Sen 'ME'	37	Skyscraper Senecio	Senecio 'Mount Everest'	1 Gal.	Low
Sen ful 'BG'	24	Mountain Fire Kleinia	Senecio fulgens 'Blazing Glory'	1 Gal.	Low

*California Native Plant Species

California MWELO Water Budget

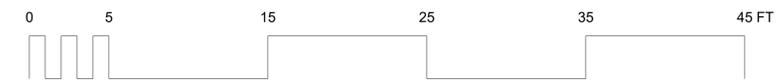
Zone Name / Number	Plant / Feature Type	Plant Factor (PF)	Irrigation Method	Irrigation Efficiency (IE)	ETAF (PF/IE)	Landscape Area (sq ft)	ETAF x Area	Estimated Total Water Usage (ETWU)
Regular Landscape Areas								
ZONE 1	Shrubs	0.2	Drip	0.81	0.247	8	2	47
ZONE 1	Shrubs	0.2	Drip	0.81	0.247	73	18	447
ZONE 1	Shrubs	0.2	Drip	0.81	0.247	8	2	47
ZONE 1	Shrubs	0.2	Drip	0.81	0.247	273	67	1,669
ZONE 1	Shrubs	0.2	Drip	0.81	0.247	58	14	353
ZONE 2	Groundcover	0.5	Drip	0.81	0.617	579	358	8,845
ZONE 3	Shrubs	0.2	Drip	0.81	0.247	14	3	84
ZONE 3	Shrubs	0.2	Drip	0.81	0.247	95	21	521
ZONE 3	Shrubs	0.2	Drip	0.81	0.247	549	135	3,333
ZONE 4	Groundcover	0.5	Drip	0.81	0.617	292	181	4,467
ZONE 5	Groundcover	0.2	Drip	0.81	0.247	283	70	1,731
Totals:						2,219	871	21,542
Special Landscape Areas*								
* = Includes public recreational areas, water features using recycled water, areas dedicated to edible plants, and areas irrigated with recycled water.						Totals:	0	0
							ETWU Total:	21,542 gal/yr
							Maximum Applied Water Allowance (MAWA):	38,429 gal/yr
ETAF Calculations								
Regular Landscape Areas								
Total ETAF x Area:	871							
Total Area:	2,219							
Average ETAF*:	0.39							
All Landscape Areas								
Total ETAF x Area:	871							
Total Area:	2,219							
Sitewide ETAF:	0.39							
* = Average ETAF for Regular Landscape Areas must be 0.55 or below for residential areas, and 0.45 or below for non-residential areas.								
This budget is a tool to assist in the completion of the Water Efficient Landscape Worksheet required by the State of California.								

LEGEND:



ID	Quantity	Common Name	Latin Name	Scheduled Size	WUCOLS Water Use
Aga BF	7	Agave 'Blue Flame'	Agave 'Blue Flame'	15 Gal.	Low
Car fla	285 SQ. FT.	Blue-green sedge	Carex flacca	Plugs	Low
---	872 SQ. FT.	Field Sedge	Carex praegracilis *	Plugs	---
Cho tec	3	Small Cape Rush	Chondropetalum tectorum	5 Gal.	Low
Dym mar	100 SQ. FT.	Silver Carpet	Dymondia margaritae	4"	Low
Jun 'EB'	21	Elk Blue Rush	Juncus 'Elk Blue' *	1 Gal.	Low
Leu 'B1'	4	Blanche's Sky-rocket Pincushion	Leucospermum 'Blanche lto'	5 Gal.	Low
Ley con 'CP'	39	Canyon Prince Wild Rye	Leymus condensatus 'Canyon Prince' *	5 Gal.	Low
Lom 'BB'	70	Small Mat Rush	Lomandra 'Baby Breeze'	1 Gal.	Low
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Sen ful 'BG'	24	Mountain Fire Kleinia	Senecio fulgens 'Blazing Glory'	1 Gal.	Low

*California Native Plant Species



THESE DRAWINGS ARE INSTRUMENTS OF SERVICE AND SHALL NOT BE USED FOR ANY OTHER PROJECT WITHOUT THE EXPRESS WRITTEN PERMISSION OF JEFFREY GORDON SMITH LANDSCAPE ARCHITECTURE. ALL DESIGNS AND OTHER DRAWINGS ARE FOR THE USE OF THE CLIENT. © 2008

MWELO

ORGILL RESIDENCE
 3009 BEACHCOMBER DR.
 MORRO BAY, CA 93442

Sheet: **L-2**
 Scale: 3/16"=1'-0"
 Date: 10/17/22

ENGINEERING GEOLOGY INVESTIGATION

DATE:
October 13, 2022 (rev1)

PROJECT NUMBER:
SL12943-2

CLIENT:
Stuart and Natalie Orgill
1321 Upham Drive, #6962
Houston, TX 77043

PROJECT NAME:
3009 Beachcomber Drive
APN: 065-233-039
Morro Bay,
California

1.0 INTRODUCTION

This report presents the results of the geologic investigation for the proposed new single-family residence to be located at 3009 Beachcomber Drive, APN: 065-233-039, Morro Bay, California. Figure 1: Area Location Map depicts the general area of the Site (USGS, 2022).

1.1 Site Description

3009 Beachcomber Drive is located at 35.395270 degrees north latitude and -120.864757 degrees west longitude at a general elevation of 25 feet above mean sea level. The property is approximately rectangular in shape and 8,100 square feet in size. Beachcomber Drive forms the eastern property boundary. The project property will hereafter be referred to as the "Site."

The Site is approximately level with a slight gradient which slopes toward the west. Surface drainage follows the topography to the west, towards the Pacific Ocean. A single-family residence currently occupies the site and is to be demolished.

1.2 Project Description

The proposed project is to consist of a new single-story single-family residence with 2-car garage (see Figure 2). At the time of the preparation of this report, the proposed single-family residence is to be constructed using light wood framing. Grading quantities are not known. It is anticipated that the foundations will be excavated into over excavated engineered fill. Retaining wall are not anticipated at this time.

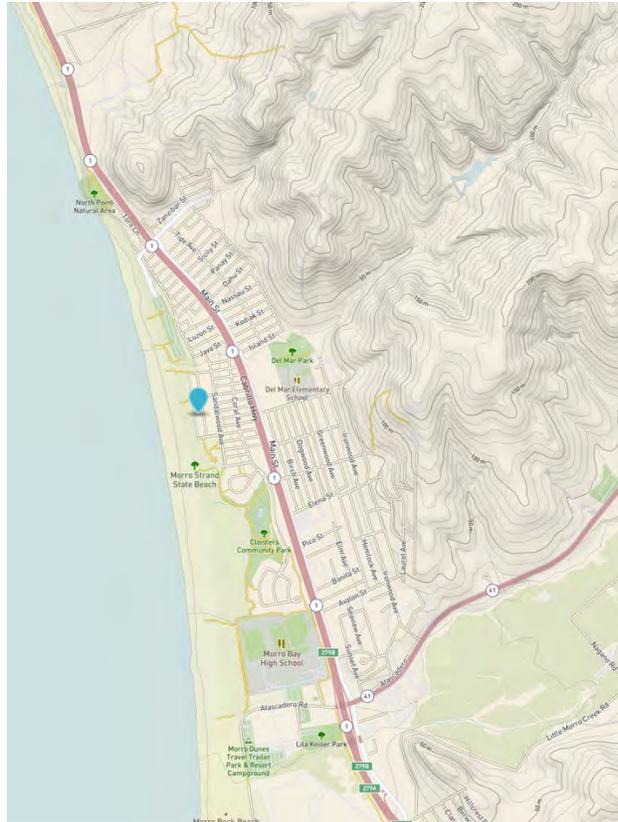
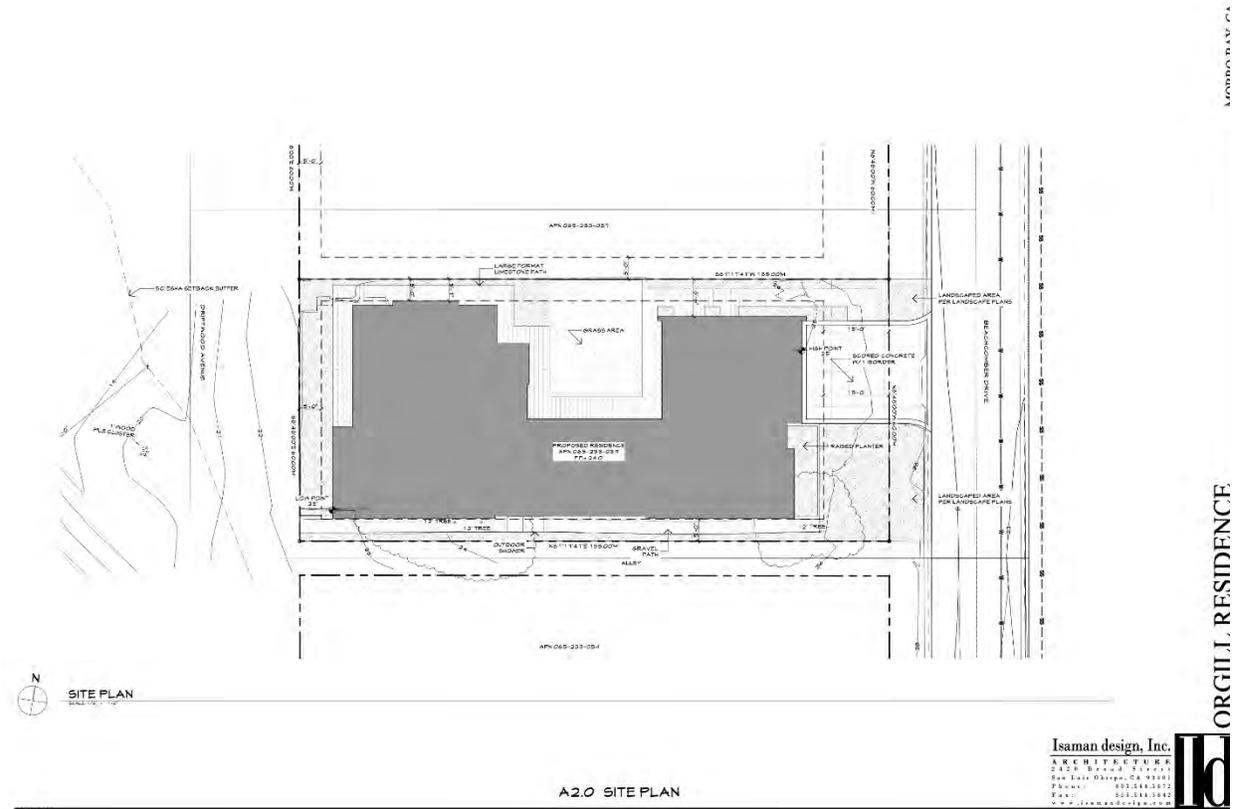


Figure 1: Area Location Map



10/11/2022
Figure 2: Site Plan (Isaman Design, Inc. 2022)

2.0 PURPOSE AND SCOPE

The purpose of this investigation was to evaluate engineering geologic hazards at the Site and to develop conclusions and recommendations regarding site development. The scope of this investigation consisted of:

1. Review of historical aerial photographs, pertinent published and unpublished geotechnical studies and literature, and geologic maps for the subject project area.
2. A field study consisting of site reconnaissance and subsurface exploration including exploratory borings for the Soils Engineering Report by this firm in order to formulate a description of the subsurface conditions at the Site.
3. A review of regional faulting and seismicity hazards.
4. A review of landslide potential, surface and groundwater conditions, and liquefaction hazards.
5. Evaluation the potential of future sea level rise.
6. Development of recommendations for site preparation.
7. Preparation of this report that summarizes our findings, conclusions, and recommendations regarding engineering geology aspects of the project.

3.0 GEOLOGIC RECOMMENDATIONS

The proposed development is geologically suitable provided that the recommendations provided herein are implemented. The following are recommended for implementation at the Site.

1. It is anticipated that foundations will be founded within engineered fill. The Soils Engineering Report provides additional foundation and construction recommendations.
2. It is recommended that numerical slope stability analyses be conducted on cut and fill slopes constructed steeper than 2-to-1 (horizontal to vertical). Locally steeper slopes may be allowed depending on the results of a slope stability analysis. It is recommended that erosion control measures and revegetation of slopes be implemented immediately after the completion of grading.
3. Isolated seepage within formational units should be anticipated. Surface drainage facilities (graded swales, gutters, positive grades, etc.) are recommended at the base of cut slopes that allow surfacing water to be transferred away from the base of the slope. The project designer is recommended to offer specific design criteria for mitigation of water drainage behind walls and other areas of the site. This is especially imperative upslope of retaining walls for residences. Subsurface drainage systems should not be connected into conduit from surface drains and should not connect to downspout drainage pipes.
4. Surface drainage should be controlled to prevent concentrated water-flow discharge onto either natural or constructed slopes. Surface drainage gradients should be planned to prevent ponding and promote drainage of surface water away from building foundations, edges of pavements and sidewalks or natural or man-made slopes. For soil areas we recommend that a minimum of two (2) percent gradient be maintained.
5. Excavation, fill, and construction activities should be in accordance with appropriate codes and ordinances of the City of Morro Bay. In addition, unusual subsurface conditions encountered during grading such as springs or fill material should be brought to the attention of the Engineering Geologist and Soils Engineer.
6. Rock rip-rap is recommended for concentrated drainage outfall locations that do not discharge onto paved or exposed rock surfaces. It is recommended that geotextile fabric (Enkamat 7010 or similar) be placed underneath the rip-rap and installed per the manufacturer's recommendations.
7. Gutters are recommended to be installed along all sloped rooflines. Gutter downspouts should not allow concentrated drainage to discharge near the residence foundations but rather should convey the water in solid piping away from the residence and toward drainage facilities.

4.0 ENGINEERING GEOLOGY

4.1 Regional Geology

The Site is located in the vicinity of the San Luis Range of the Coast Range Geomorphic Province of California. The Coast Ranges lie between the Pacific Ocean and the Sacramento-San Joaquin Valley and trend northwesterly along the California Coast for approximately 600 miles between Santa Maria and the Oregon border.

Regionally, the Site is located on the Cambrian Slab composed of a large, thick block of Cretaceous age sediments that are surrounded by Franciscan Formation rocks. The Cambrian Slab extends from the Los Osos fault south of the property and northward to San Simeon Creek.

4.2 Local Geology

Locally, the site is located within Alluvial Deposits as depicted on Plate 1A, Site Engineering Geology Map. Hall and Prior, 1975, Dibblee, 2006 and Wieggers, 2016 mapped the Site as underlain by Holocene to Pleistocene age Alluvial Deposits (QalQa/Qya) units. Information derived from the subsurface exploration from the Soils Engineering Report by this firm and surface mapping was used to classify subsurface soil and formational units and to supplement geologic mapping.

4.2.1 Alluvial Deposits

Wieggers, 2016 maps the Site as within Young Alluvial Flood-Plain Deposits (Qya). Wieggers, 2009 describes the Young Alluvial Flood-Plain Deposits as “Unconsolidated sand, silt and clay-bearing alluvium deposited on flood-plains and along valley floors.” The Alluvial Deposits were mapped throughout the site and are interpreted to be encountered within both borings. The Alluvial Deposits at the site were observed to consist of dark brown poorly graded SAND with Silt (SP-SM) encountered in a slightly moist and loose condition underlain by sandy lean CLAY (CL) encountered in a moist and very stiff condition. Plate 1A depicts the Alluvial Deposits (Qya) throughout the property. The boring log are presented in Appendix A.

4.3 Surface and Ground Water Conditions

Surface drainage follows the topography west toward the Pacific Ocean. Surface drainage should be directed away from proposed structures and slopes. No springs or seeps were observed at the project. Groundwater was not encountered in the boring. It should be expected that groundwater elevations are at sea level may vary seasonally and with tidal swings.

4.4 Active Faulting and Coseismic Deformation

Many faults are mapped of varying types, lengths, and age. An active fault is one that shows evidence of displacement within the last 11,000 years (Recent epoch). A fault which displaces deposits of late Pleistocene age (500,000 to 11,000 years) but with no evidence of Recent movement is termed potentially active. Inactive fault is one that displace rocks of early Pleistocene or older (500,000 years or older).

Similar to the general area, the Site can be affected by moderate to major earthquakes centered on one of the known large, Holocene active faults listed in Table No. 1. Moment magnitudes are expressed, although any event on these faults could result in moderate to severe ground shaking at the subject property.

Table 1: Distance and Moment Magnitude of Closest Faults

Closest Active Faults to Site	Approximate Distance (miles)	Moment Magnitude (Mw)
Hosgri Fault	7.5	7.3
Los Osos Fault	10.5	6.8
San Andreas	40.0	6.9

The closest known active portion of a Holocene age fault is an active portion of the Hosgri Fault Zone that is located approximately 7.5 miles southwest of the Site (Jennings, 2010). Plate 3 is a Regional

Fault Map for the area. The San Andreas fault is the most likely active fault to produce ground shaking at the Site although it is not expected to generate the highest ground accelerations because of its distance from the Site.

4.4.1 Cambria Fault

The Cambria fault is in the vicinity of the Site and can be considered part of the Oceanic fault at its southern end near the City of San Luis Obispo, California. Plate 3 depicts the location of the Cambria fault (Jennings, 1994). The Cambria fault becomes indistinct north of San Simeon Creek. Splays of the Cambria fault break Pliocene (5 to 2 million years before present) strata east of the town of Cambria, but there is no known breakage of Holocene rocks by the Cambria fault. The Cambria fault is complicated by the intersection of many older shear zones from the Franciscan mélange with the fault zone.

Jennings, 2010 classifies the majority of this fault as Quaternary active, showing evidence of displacement during late Quaternary time (between 700,000 years before present to 10,000 years before present). The most northerly extent of Quaternary faulting on the Cambria fault depicted on Jennings's map is present only to the town of Cambria. North of the town of Cambria, the Cambria fault is depicted as a concealed fault without recognized Quaternary displacement.

Hart et al., 1985 describes the Cambria fault as a vertical to steeply dipping, southwest-dipping, normal fault in Cretaceous sedimentary units. Additionally, the fault is poorly defined and may offset late Pleistocene terrace deposits (more than 125,000 years old) and may be concealed locally by younger terrace deposits, Quaternary landslides, and Holocene alluvium. Wieggers, 2016 mapped a splay of the Cambria fault approximately 3,000 feet northeast of the site (Plate 2A). Jennings, 2010 mapped a splay of the Cambria fault approximately 0.5 miles east of the property (Plate 3).

4.5 Landslides

The City of Morro Bay's Plan Morro Bay maps the property within a low potential landslide hazard zone. Hall, 1973, Dibblee, 2006 and Wieggers, 2009 did not map landslides in the immediate vicinity. The closest mapped landslides are located along the hillside east of Highway 1. An airphoto analysis of current and historical photographs (1937, 1963, 1969) did not show an indication of landslides at the Site. Figure 3 depicts a historical (1969) aerial photograph of the site and the vicinity. Plate 4 depicts a current aerial photograph in the vicinity of the Site (2022). The landslide potential at the site is low.



Figure 3: Historical Aerial Photograph (1969)

4.6 Flooding and Severe Erosion

The site is not located within or near the 100-year or 500-year flood zone based on Federal Emergency Management Agency flood zone maps (FEMA, 2017).

The surficial and formational deposits are subject to erosion where not covered with vegetation or hardscape. The potential for severe erosion is considered low provided that vegetation and erosion control measures are implemented immediately after the completion of grading.

4.7 On-site Septic Systems

No septic system is proposed. The project will utilize a community sewer system.

4.8 Hydrocollapse of Alluvial Fan Soils

The potential for hydrocollapse of subsurface materials is considered low due to the absence of alluvial fan material at the Site.

5.0 SEA LEVEL RISE

Sea Level Rise

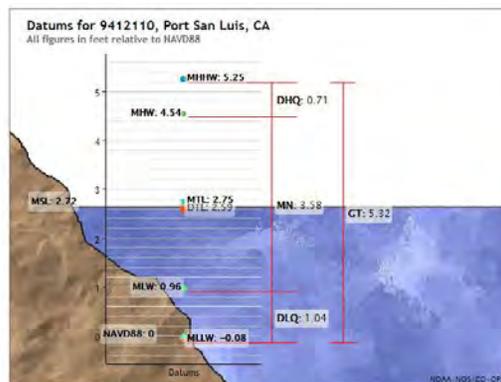
To incorporate the changes in sea level rise anticipated to occur over the next 100 years, the State of California Sea-Level Rise Guidance (2018 update) was utilized. Table 20 on p.64 of this document (a portion of this document is contained within this letter) shows Port San Luis having a 2-foot sea-level rise by the year 2100 with a probability of 56% with a high emission category. Higher sea-level rise in that year has a lower probability. A probabilistic projection on Table 19 shows a low risk aversion sea level rise of 2.4 to

3.7 feet, medium risk of 7.0 and high risk of 8.2 feet by 2120. The high-risk aversion elevation was utilized for the 100-year projection.

100-Year Design Stillwater Elevation

The design water level in this analysis is the maximum Stillwater level under a typical 100-year recurrence condition. Water level is dependent upon several factors including tide, storm surge, wind set up, inverse barometer, and climatic events (El Nino). For this study, the maximum highest observed water level in the area was on 1-18-1973 with a highest tide of 7.57 feet. This water level takes into account an El Nino storm surge condition. This data is relative to NAVD88 as published by NOAA datums for 9412110, Port San Luis (see Figure 4).

Elevations on NAVD88		
Station:	9412110, Port San Luis, CA	T.M.: 0
Status:	Accepted (Apr 17 2003)	Epoch: 1983-2001
Units:	Feet	Datum: NAVD88
Control Station:		
Datum	Value	Description
MHHW	5.25	Mean Higher-High Water
MHW	4.54	Mean High Water
MTL	2.75	Mean Tide Level
MGL	2.72	Mean Sea Level
DTL	2.59	Mean Diurnal Tide Level
MLW	0.96	Mean Low Water
MLLW	-0.08	Mean Lower-Low Water
NAVD88	0.00	North American Vertical Datum of 1988
STND	-4.33	Station Datum
GT	5.32	Great Diurnal Range
MN	3.58	Mean Range of Tide
DHQ	0.71	Mean Diurnal High Water Inequality
DLQ	1.04	Mean Diurnal Low Water Inequality
HWI	5.92	Greenwich High Water Interval (in hours)
LWI	11.98	Greenwich Low Water Interval (in hours)
Max Tide	7.57	Highest Observed Tide
Max Tide Date & Time	01/18/1973 09:00	Highest Observed Tide Date & Time
Min Tide	-2.48	Lowest Observed Tide
Min Tide Date & Time	01/07/1951 00:00	Lowest Observed Tide Date & Time
HAT	7.02	Highest Astronomical Tide
HAT Date & Time	12/31/1986 17:06	HAT Date and Time
LAT	-2.07	Lowest Astronomical Tide
LAT Date & Time	05/25/1990 12:42	LAT Date and Time



Showing datums for: 9412110 Port San Luis, CA

Datum: NAVD88

Data Units: Foot Meters

Epoch: Present (1983-2001) Superseded (1960-1978)

Tidal Datum Analysis Periods

Figure 4: Port San Luis Elevations

Based upon the highest tide information, the 100-year design Stillwater elevation in NAVD 88 datum would be as follows:

$$100\text{-year design Stillwater elevation} = 7.57 \text{ feet (highest water level observed, 1973)} + 8.2 \text{ feet (sea level change)} = 15.77 \text{ feet (NAVD 88)}.$$

100-Year Design Stillwater Depth (Ds)

To establish the 100-year Design Stillwater Depth (Ds) along the shoreline, the maximum scour depth must first be determined. At the subject site, it is anticipated that the elevation of Beachcomber Drive would control the design Stillwater depth. Beachcomber Drive is approximately 20 feet elevation. Subtracting a design still water elevation of 15.77 (100-year) from the Beachcomber Drive 20-foot elevation, would yield a scour depth of 0 feet for 100-year period. Therefore, the design Stillwater depth (100-year design Stillwater elevation is equal to 0 feet (Ds).

100-Year Maximum Breaking Wave Height (Hb)

Data regarding storms along the Southern California coast during the winter of 1982-1983 (Denison and Robertson, 1985) were used as a guideline for determining the maximum breaking wave height at the site. These storms data are considered to be comparable to the 100-year storm events. In January, 1983, wave

heights from 6 to 15 feet with 4-6-second periods were recorded; these waves were considered to be the most severe of that winter. For this analysis, the breaking wave height used was 15 feet with a 6-second period ($H_b = 15$ feet). During a storm event similar to those experienced in 1982-1983, the wave would likely break offshore and run up along the scoured beach surface.

100-Year Wave Run-up Elevation (R)

Wave run-up is the vertical height above the Stillwater level to which a sea wave will rise up on a broad beach, a bluff face, or a bluff protection structure. At the subject site, the wave run-up elevation is estimated at the Site. Determination of wave run-up height was based upon the Naval Facilities Engineering Command manual (see Figure 5, NAVFAC, 1982), a 15-foot breaking wave height (H_b), and a 6-second period (t), a scoured beach surface of -2 feet below the existing beach surface, and a beach slope angle of 2.0 degrees ($\cot \theta = 28.6$ degrees).

$R = H_b \times R/H_b$

$D_s/H_b = 0/15 = 0.0$; therefore Figure 72 was used to get R/H_b

$H_b/gt^2 = 15/32.2(6)^2 = 0.0129$

$R/H_b =$ (from graph) 0.14

$R = H_b \times 0.14 = 2.1$ feet

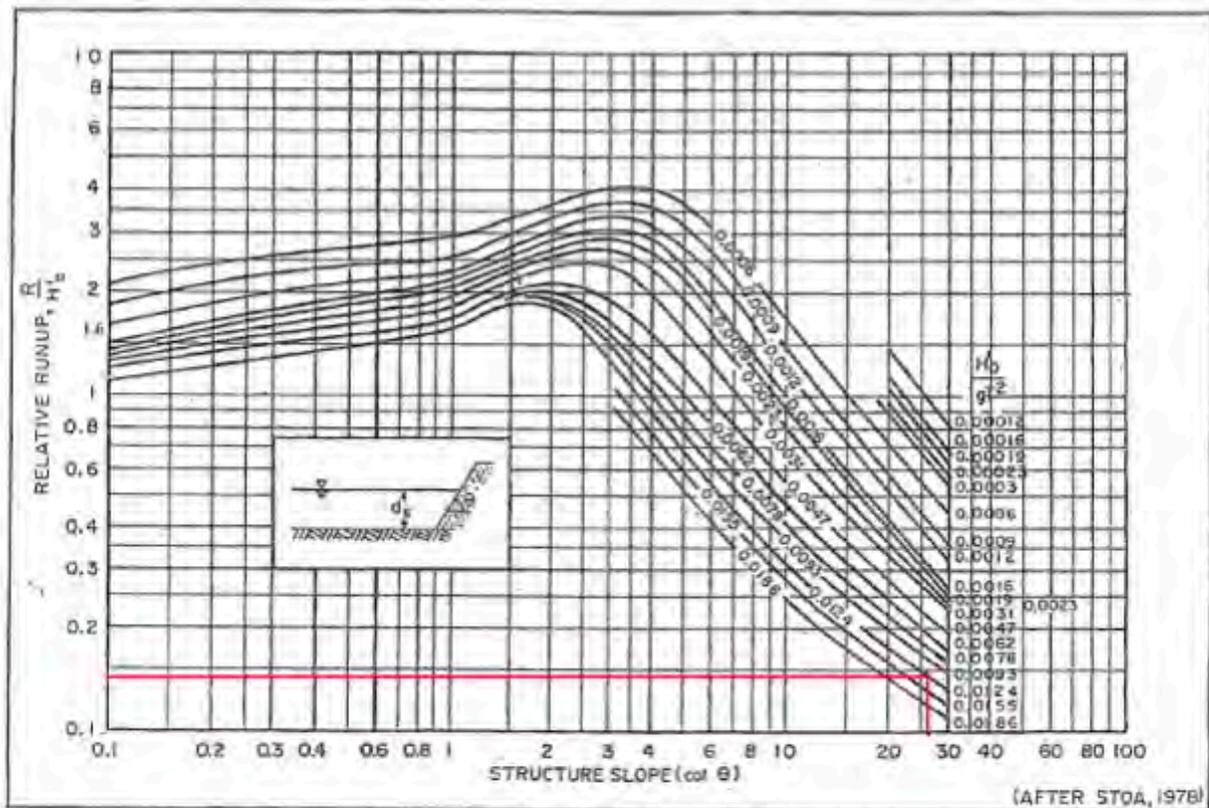


FIGURE 72
Relative Runup, R/H_b , on a Smooth Embankment or Revetment for Relative Depth, $d_s/H_b \leq 3.0$

Figure 5: NAVFAC Wave Height Chart

The addition of the 100-year wave run-up height of 2.1 feet to the 100-year stillwater elevation of 15.77 feet yields a total 100-year wave run-up elevation of 17.87 feet (NAVD88).

Wave Run-Up Discussion

The determined 100-year wave run-up analysis indicated the highest elevation that a sea wave run-up would reach is elevation 17.87 feet (NAVD 88). As the existing property elevation is 25 feet elevation, the potential for sea-level rise and wave run-up to affect the proposed development is low.

6.0 SISMOLOGY AND CALCULATION OF EARTHQUAKE GROUND MOTION

6.1 Seismic Hazard Analysis and Structural Building Design Parameters

Estimating the design ground motions at the Site depends on many factors including the distance from the Site to known active faults; the expected magnitude and rate of recurrence of seismic events produced on such faults; the source-to-site ground motion attenuation characteristics; and the Site soil profile characteristics. According to section 1613 of the 2019 CBC (CBSC, 2019), all structures and portions of structures should be designed to resist the effects of seismic loadings caused by earthquake ground motions in accordance with the ASCE 7: Minimum Design Loads for Buildings and Other Structures, hereafter referred to as ASCE 7-16 (ASCE, 2016). The Site soil profile classification (Site Class) can be determined by the average soil properties in the upper 100 feet of the Site profile and the criteria provided in Table 20.3-1 of ASCE 7-16.

Spectral response accelerations and peak ground accelerations, provided in this report were obtained using the computer-based Seismic Design Maps tool available from the Structural Engineers Association of California (SEAOC, 2022). This program utilizes the methods developed in ASCE 7-16 in conjunction with user-inputted Site location to calculate seismic design parameters and response spectra (both for period and displacement) for soil profile Site Classes A through E.

Site coordinates of 35.395270 degrees north latitude and -120.864757 degrees west longitude were used in the web-based probabilistic seismic hazard analysis (SEAOC, 2022). Based on the results from the in-situ tests performed during the field investigation, the Site was defined as **Site Class D**, "Stiff Soil" profile per ASCE7-16, Chapter 20. Relevant seismic design parameters obtained from the program area summarized in Table 2: Seismic Design Parameters.

Table 2: Seismic Design Parameters

Site Class	D "Stiff Soil"
Seismic Design Category	D
1-Second Period Design Spectral Response Acceleration, S_{D1}	(See Note 1)
Short-Period Design Spectral Response Acceleration, S_{Ds}	0.716g
Site Specific MCE Peak Ground Acceleration, PGA_M	0.502g

Note 1: It is assumed that this design-period acceleration will not be required for the project.

7.0 LIQUEFACTION

Liquefaction occurs when saturated cohesionless soils lose shear strength due to earthquake shaking. Ground motion from an earthquake may induce cyclic reversals of shear stresses of large amplitude. Lateral and vertical movement of the soil mass combined with the loss of bearing strength can result from this phenomenon. Liquefaction potential of soil deposits during earthquake activity depends on soil type, void ratio, groundwater conditions, the duration of shaking, and confining pressures on the potentially liquefiable

soil unit. Fine, poorly graded loose sand, shallow groundwater, high intensity earthquakes, and long duration of ground shaking are the principal factors leading to liquefaction.

Based on the consistency and relative density of the in-situ soils the potential for seismic liquefaction of soils at the Site is low. Assuming that the recommendations of the Soils Engineering Report are implemented, the potential for seismically induced settlement and differential settlement at the Site is considered to be low.

8.0 TSUNAMIS AND SEICHES

Tsunamis and seiches are two types of water waves that are generated by earthquake events. Tsunamis are broad-wavelength ocean waves and seiches are standing waves within confined bodies of water, typically reservoirs. Based on elevation and location, the potential for a tsunami to affect the Site is moderate to high. The site is located within the tsunami inundation area (see Figure 6).

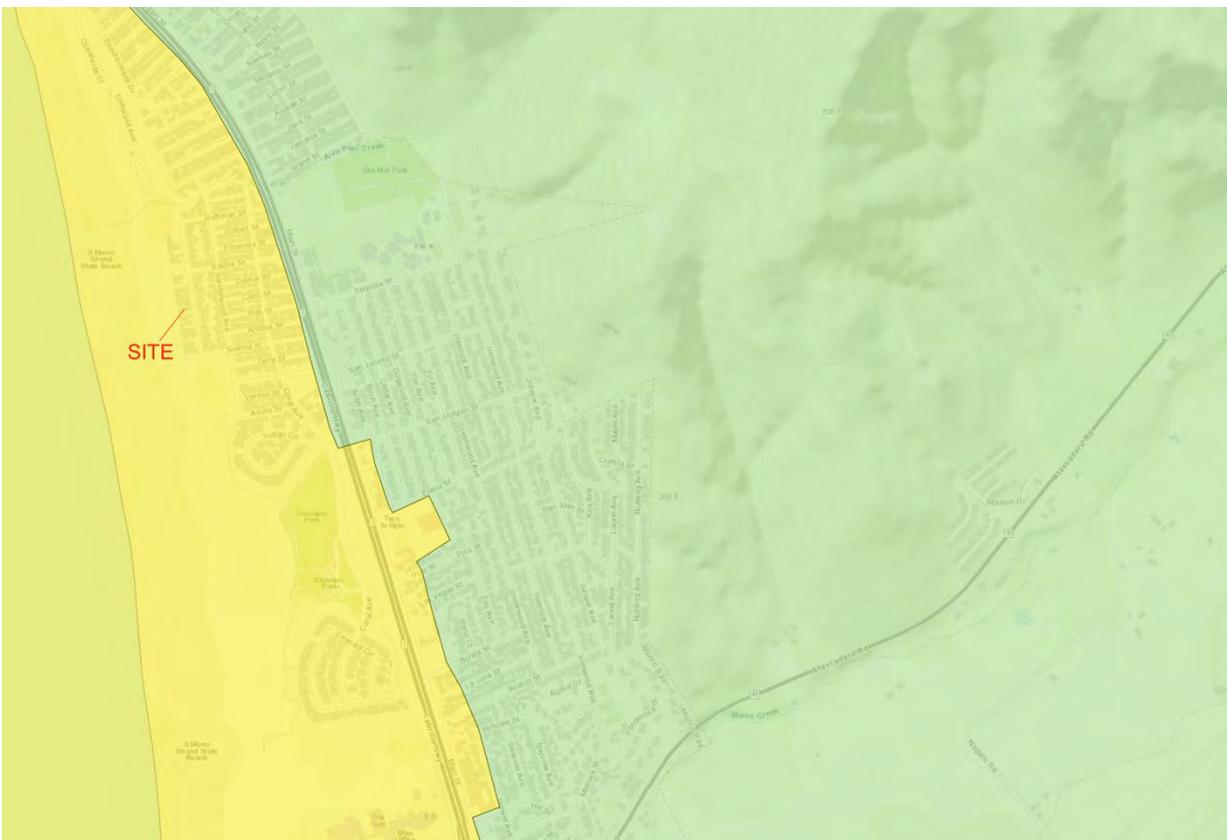


Figure 6: Tsunami Inundation Map (California Geological Survey, 2021)

Flooding associated with a seismic event (seiche) is considered low due to the absence of a body of water upslope of the property.

9.0 HAZARDS FROM GEOLOGIC MATERIALS

9.1 Expansive Soils

The potential for expansive soil at the Site is very low based on laboratory testing from the Soils Engineering Report by this firm.

9.2 Naturally Occurring Asbestos

Naturally occurring asbestos is associated with serpentinite rock units within the Franciscan Complex. There is a low to moderate potential for natural occurring asbestos to be present at the property due to the presence of alluvial deposits derived from Franciscan Complex units.

9.3 Radon and Other Hazardous Gases

The potential for radon or other hazardous gases is low due to the absence of Monterey Formation formational units and other identified radon producing formations.

10.0 GRADING OPERATIONS, CUT AND FULL, SUBDRAINS

Based on Alluvial Deposits encountered at the site, it is anticipated that the foundations will be excavated into engineered fill. Conventional grading equipment may be used for excavations. The Soils Engineering Report provides additional foundation and construction recommendations.

Construction inspections and testing during all grading and excavating operations should be performed by the project Soils Engineer/Engineering Geologist. Section 1705.6 of the 2019 CBC (CBSC, 2019) requires the following inspections by the Soils Engineer/Engineering Geologist as shown in Table 3: Required Verification and Inspections of Soils:

Table 3: Required Verification and Inspections of Soils

Verification and Inspection Task	Continuous During Task Listed	Periodically During Task Listed
1. Verify materials below footings are adequate to achieve the design bearing capacity.	-	X
2. Verify excavations are extended to proper depth and have reached proper material.	-	X
3. Perform classification and testing of controlled fill materials.	-	X
4. Verify use of proper materials, densities and lift thicknesses during placement and compaction of controlled fill.	X	-
5. Prior to placement of controlled fill, observe sub-grade and verify that site has been prepared properly.	-	X

11.0 ADDITIONAL SERVICES

The recommendations contained in this report are based on surface mapping and exploratory borings and on the continuity of the sub-surface conditions encountered. It is assumed that GeoSolutions, Inc. will be retained to perform the following services:

1. Consultation during plan development.
2. A preliminary plan review regarding the locations of proposed improvements and development once grading and drainage plans are available.
3. Additionally, construction observation by the Engineering Geologist and/or Soils Engineer may be necessary to verify sub-surface conditions during excavation activities.

12.0 LIMITATIONS AND UNIFORMITY OF CONDITIONS

The recommendations of this report are based upon the assumption that the soil conditions do not deviate from those disclosed during our study. Should any variations or undesirable conditions be encountered during the development of the Site, GeoSolutions, Inc. should be notified immediately and GeoSolutions, Inc. will provide supplemental recommendations as dictated by the field conditions.

This report is issued with the understanding that it is the responsibility of the owner or his/her representative to ensure that the information and recommendations contained herein are brought to the attention of the architect and engineer for the project, and incorporated into the project plans and specifications. The owner or his/her representative is responsible to ensure that the necessary steps are taken to see that the contractor and subcontractors carry out such recommendations in the field.

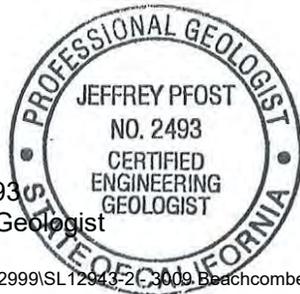
As of the present date, the findings of this report are valid for the property studied. With the passage of time, changes in the conditions of a property can occur whether they are due to natural processes or to the works of man on this or adjacent properties. Therefore, this report should not be relied upon after a period of 3 years without our review nor should it be used or is it applicable for any properties other than those studied. However, many events such as floods, earthquakes, grading of the adjacent properties and building and municipal code changes could render sections of this report invalid in less than 3 years.

Thank you for the opportunity to have been of service in preparing this report. If you have any questions or require additional assistance, please feel free to contact the undersigned at (805) 543-8539.

Sincerely,
GeoSolutions, Inc.



Jeffrey Pfof, CEG 2493
Principal Engineering Geologist



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REFERENCES

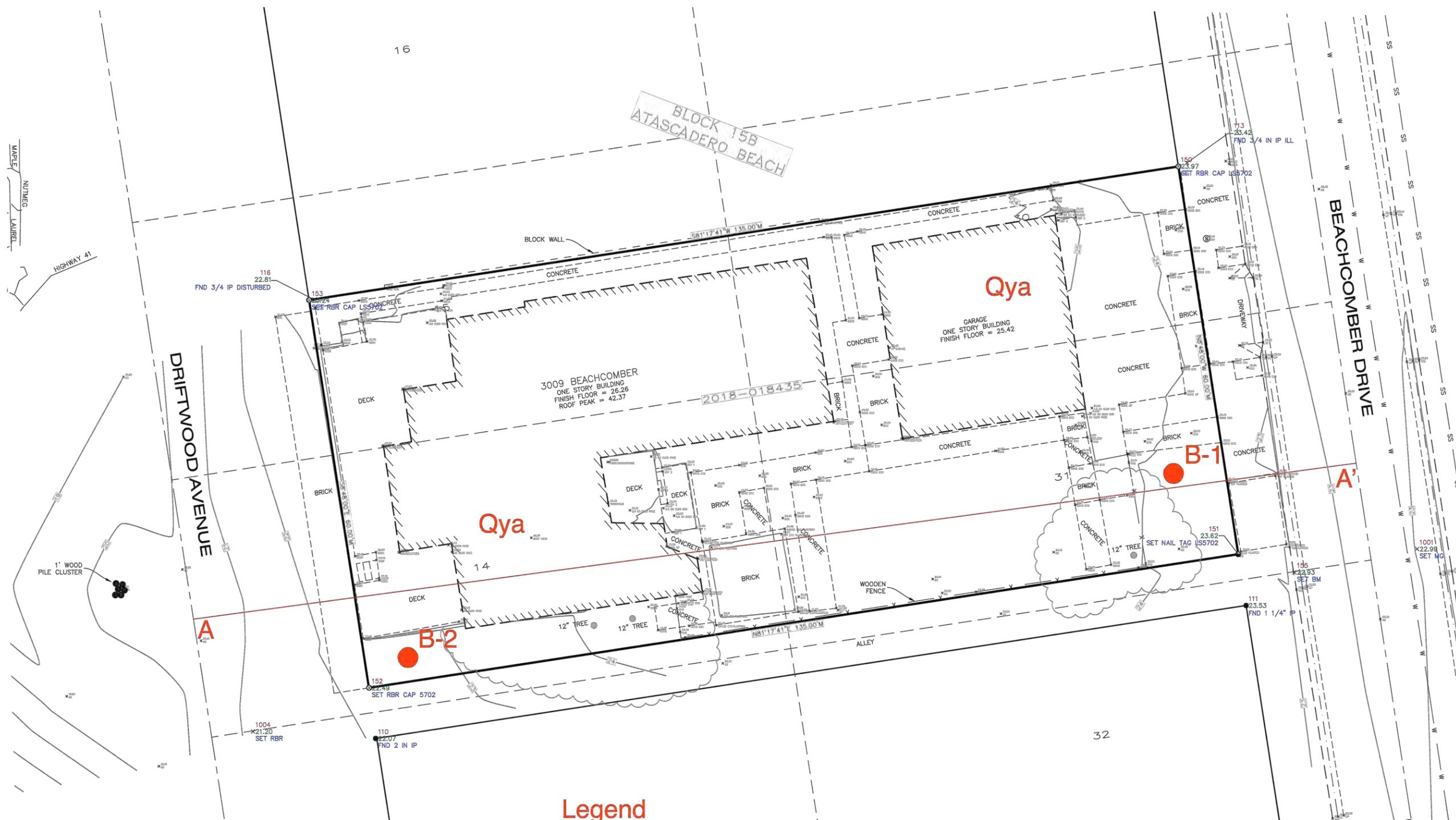
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PLATES

- Plate 1A, 1B - Site Engineering Geologic Map and Site Cross Section
- Plate 2A, 2B – Regional Geologic Map, Wieggers, 2016 and Explanations
- Plate 3 – Regional Fault Map, Jennings, 2010
- Plate 4 – Aerial Photograph, 2022



Legend
 Qya - Alluvial Deposits (Holocene to Pleistocene age)
 ● - Boring Location
 A - A' - Cross Section

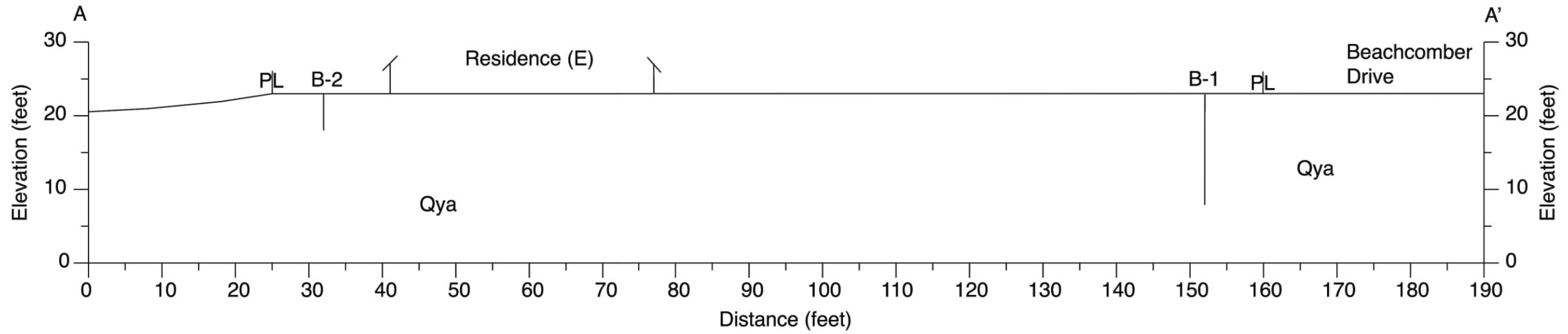


Scale
 1" = 16'

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 P: 805-543-8539

SITE ENGINEERING GEOLOGY MAP
 3009 BEACHCOMBER DRIVE, APN: 065-233-039
 MORRO BAY, CALIFORNIA

PLATE
 1A
 PROJECT
 SL12943-2



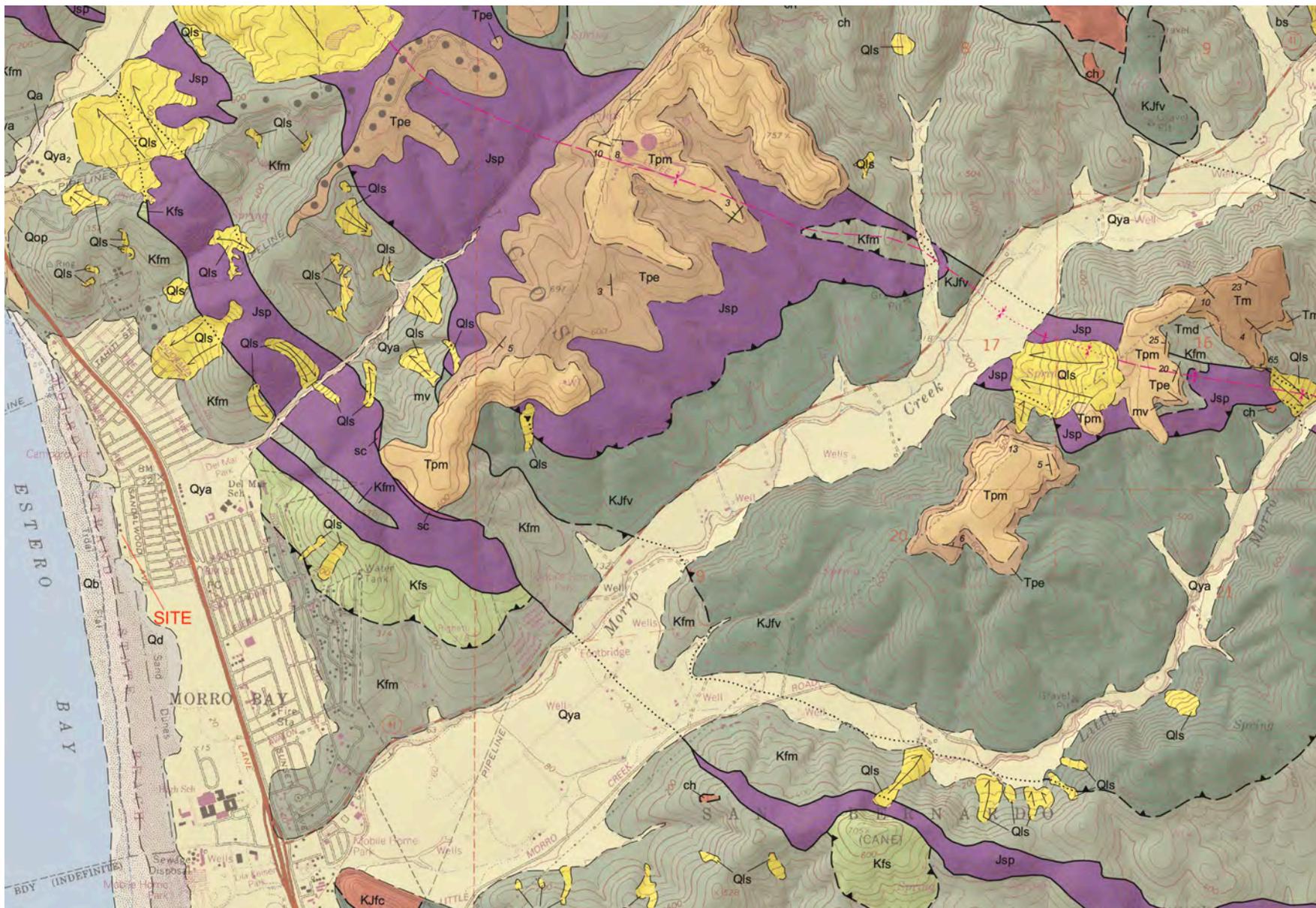
Scale
1" = 16'

Legend
Qya - Alluvial Deposits (Holocene to Pleistocene age)
— - Contact

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SITE CROSS SECTION
3009 BEACHCOMBER DRIVE, APN: 065-233-039
MORRO BAY, CALIFORNIA

PLATE
1B
PROJECT
SL12943-2



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REGIONAL GEOLOGY MAP (Weigers, 2016)

3009 BEACHCOMBER DRIVE, APN: 065-233-039
 MORRO BAY, CALIFORNIA
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PLATE

2A

PROJECT NO.:

SL12943-2

SURFICIAL UNITS

BASEMENT COMPLEXES

Ob	Beach and active dune deposits (late Holocene)—Unconsolidated, mostly fine- and medium-grained sand accumulated along the coastline; includes scattered cobbles.
Od	Dune sands (late Holocene)—Unconsolidated, well-sorted white to brown windblown sand. Forms active dunes behind modern beaches.
Oa	Alluvial flood plain and channel deposits (late Holocene)—Active stream channel and recently active flood-plain deposits. Consist of unconsolidated, silty sand and sandy gravel with cobbles, scattered boulders with occasional lenses of silty clay.
Qls	Landslide deposits (Holocene to late Pleistocene)—Includes comparatively shallow earth flow and debris slide deposits consisting of fragmented bedrock and soil mixtures, and deep rock slides of relatively intact bedrock displaced along rotational or translational slip surfaces. Most prevalent in ophiolitic serpentinite along the Oceanic Fault and in Franciscan melange.
Qya	Young alluvial flood-plain deposits, undivided (Holocene to late Pleistocene)—Unconsolidated sand, silt and clay-bearing alluvium deposited on flood-planes and along valley floors. Surfaces on young deposits are undissected and lack soil development. Surfaces on older deposits are slightly dissected and display weak soil development. Locally divided by relative age (2 = youngest, 1 = oldest):
Qya ₂	Young alluvial valley deposits, Unit 2
Qya ₁	Young alluvial valley deposits, Unit 1
Qop	Old paralic deposits (late Pleistocene)—Marine terrace deposits consisting of beach and nearshore sands and gravels covered by colluvium and alluvium. These deposits rest on an emergent wave-cut platform preserved by regional uplift just north of Morro Bay. Marine deposits consist of well-sorted sand and gravel locally containing fossils and shell fragments. Overlying non-marine cover consists of poorly-sorted sand, silt, gravel and clay deposited by slope wash and alluvial processes. Estimated age of the wave-out platform is 120 ka (Hanson and others, 1994).

TERTIARY ROCKS

Tpm	Pismo Formation (late Pliocene to late Miocene) Miguelito Member —Brown to buff interbedded siltstone and claystone, moderately resistant, well-bedded, beds generally 2 to 4 inches thick. Locally includes beds and lenses of siliceous and dolomitic siltstone, opaline shale, porcelaneous shale, thin-bedded chert, diatomaceous shale, diatomite, and locally bituminous sandstone and locally conglomeratic or tuffaceous near base. (Hall and others, 1979).
Tpe	Edna Member —Poorly to moderately well indurated, brown to gray, fine- to medium-grained arkosic sandstone. Locally interbedded with yellow claystone. Contains 35% to 80% quartz, 5% to 15% feldspar, up to 40% silt-sized particles (Hall, 1979).
Tm	Monterey Formation (late to middle Miocene) Siltstone and mudstone member —Brown to buff, thin- to thick-bedded, calcareous and porcelaneous mudstone (Seiders, 1982) and siltstone, blocky dolomitic claystone and siliceous siltstone (Hall and others, 1979). Includes lenses of dolomite, interbedded cherty shale and graded sandstone beds. Locally tuffaceous. Weathers to a light gray rock of low density locally called "chalk rock."
Tmd	Dolomitic siltstone —Local dolomitic siltstone with some opaline chert.
Tml	Tuffaceous mudstone and tuff member —Light gray, thin- to thick bedded, interbedded with some dark gray calcareous mudstone.
Tdt	Diabase and basalt (middle Miocene) —Dark olive-gray, fine- to medium grained, spheroidally weathered, diabase and basalt. Occurs as sills and dikes in the Rincon shale and as possible extrusive flows that might be interbedded locally with tuffaceous sediments in the base of the Monterey Formation. Locally exhibits weakly developed pillow structure.
Tr	Rincon Shale (early Miocene and Oligocene) —Dark brown to orange brown siltstone and silty claystone, poorly- to well-bedded, weathers white to light brown. Locally contains zones of dolomite. Lithologically similar to rocks that have been assigned to the lower part of the Monterey Formation but contains fossils known to be older (Hall and Prior, 1976). Differentiated from Monterey Formation by absence of chert and porcelaneous shale.
Tv	Vaqueros Sandstone (Oligocene) —Gray to brown, medium- to coarse-grained arkosic sandstone. Includes pebbly sandstone and sandy and pebbly limestone. Poorly indurated to hard, with a silty, calcareous matrix. Some beds are hard and resistant due to abundant calcite cement. Clasts are well-rounded to subrounded with a typical composition of 50% to 90% quartz, less than 10% to 30% feldspar, 5% to 35% rock fragments. Contains fossiliferous zones with oyster shells up to 17 cm.
Toc	Unnamed conglomerate (Oligocene) —Massive matrix-supported, non-marine pebble, cobble and boulder conglomerate and pebbly sandstone. Clasts are subrounded to subangular and range in size from pebbles to boulders as much as 6 feet in diameter. Large clasts are mostly feldspathic biotitic sandstone derived from the Atascadero Formation. Much of the pebble and small cobble fraction is composed of volcanic porphyry and other resistant rock types likely reworked from Atascadero conglomerates. Smaller clasts include chert, mafic volcanic rock and graywacke likely derived from Franciscan melange. These deposits were deposited in a high-energy alluvial fan environment near source areas of rapidly uplifted Mesozoic rocks. Some poorly-sorted zones with subangular boulders appear to be debris flow deposits. Mapped as the Lospse Formation by Hall and others (1975). Similar in age and type to the Sespe Formation in the southern Coast Ranges.
Tl	Cambria Felsite (Oligocene) Felsite —Light gray and grayish orange crystalline felsite, commonly flow-layered with phenocrysts of quartz and plagioclase. Forms resistant ridges and volcanic plugs and domes (Hall and others 1979).
Tlt	Tuff —Light gray, orange and pale green tuff, lapilli tuff and tuff breccia. Locally contains reworked fragments of Franciscan blueschist, graywacke and ophiolitic serpentinite.

Franciscan Complex

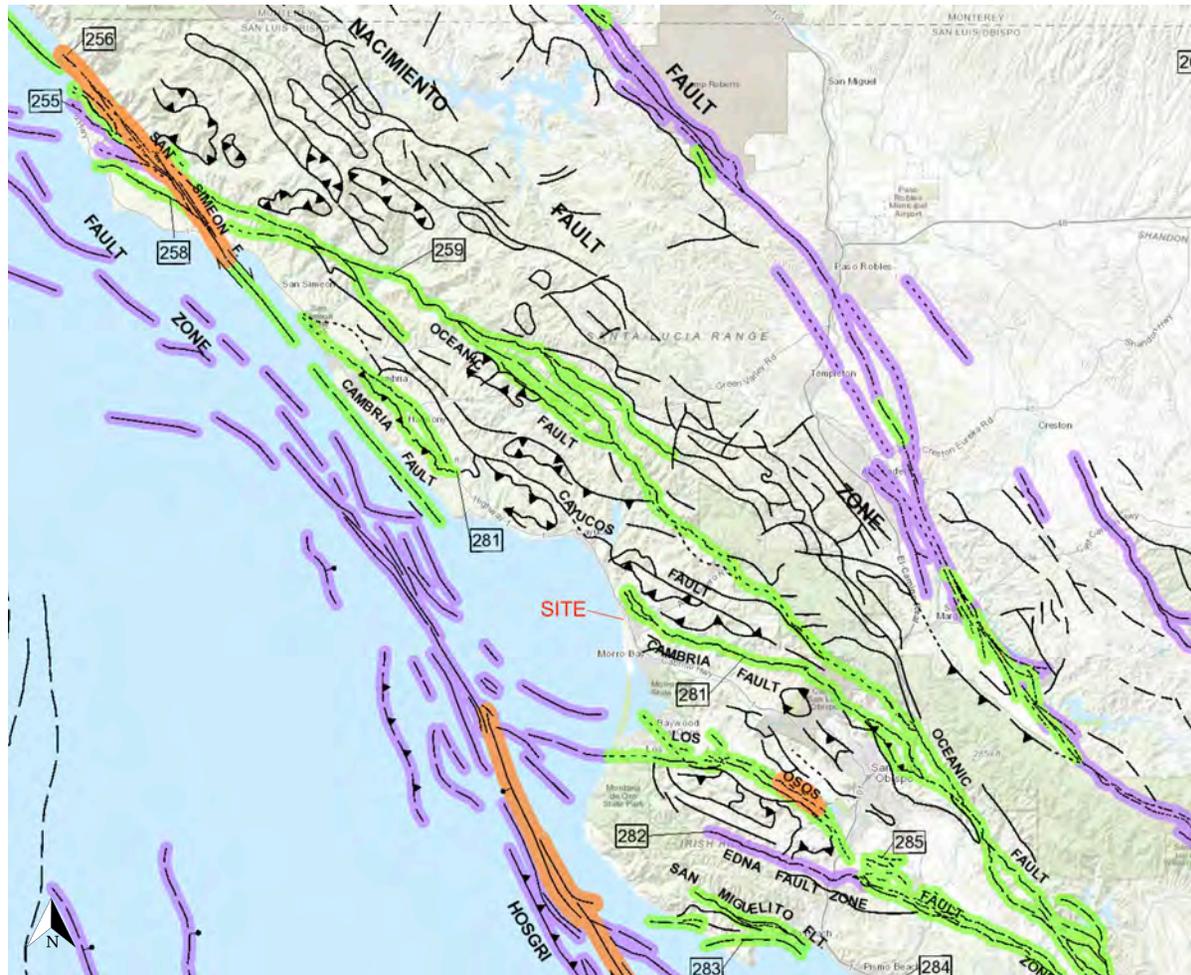
Kfm	Mélange (Late Cretaceous) —Chaotic mixture of fragmented, fault-bounded, metamorphosed rock masses embedded in a penetratively sheared matrix of argillite and crushed metasediments. Penetrative deformation of the matrix postdates metamorphism of enclosed rock masses. Individual rock masses range from less than a meter to kilometers in scale and include altered mafic volcanic rocks (greenstone), chert, serpentinite, high-grade blueschist, graywacke, and conglomerate. Greenstone, chert, and serpentinite blocks are probably derived from the Coast Range Ophiolite and were emplaced and interleaved in the matrix during subduction. Small pods mapped locally are designated with abbreviated labels as follows: mv – metavolcanic rock sp – serpentinite ch – chert bs – blueschist gw – graywacke
Kfs	Large slabs and blocks enclosed in mélangé consist of the following: Sandstone of Cambria (Late Cretaceous) —Light gray, fine- to coarse-grained, medium-bedded arkose and arkosic wacke interbedded with brown to black micaceous siltstone. Unit is more coherent and less sheared and fractured than other Franciscan units. Contains Late Cretaceous foraminifera and pollen (Graymer and others, 2014)
Klig	Graywacke and Metagraywacke (Cretaceous and Jurassic?) —Brown to greenish gray, fine- to medium-grained, massive- to thin-bedded graywacke sandstone interbedded with shale and siltstone. Composed of 60% to 70% quartz; 20% to 30% feldspar, 5% biotite and 10% shale fragments embedded in a muddy matrix (Hall and Prior, 1975). Rocks are generally moderately to intensely sheared, often obscuring original stratification. This unit lacks exotic blocks characteristic of mélangé. Locally includes conglomerate beds with clasts of chert, sandstone and metavolcanic rock.
Klfc	Chert (Cretaceous and Jurassic) —Red and green radiolarian chert associated with greenstone. Commonly veined and recrystallized, locally bleached to yellow or white. Deposited in deep oceanic setting on greenstone prior to influx of sandstone and shale. Locally interbedded with thin layers of argillite.
Klrv	Metavolcanic rocks (greenstone) (Cretaceous? and Jurassic) —Primarily metamorphosed basalt and diabase. Includes massive to pillowed basalt flows, breccia and tuff. Commonly deeply weathered and extensively sheared, with intermingled pods of chert. Considered to be tectonic blocks incorporated into mélangé derived from the upper part of Jurassic ophiolite.

Great Valley Complex - Great Valley Sequence

Ka	Atascadero Formation (Late Cretaceous) Sandstone member —Light gray to dark olive gray, thin to thick-bedded turbidite sandstone with interbedded siltstone, mudstone and conglomerate. Unit structurally overlies Franciscan rocks and the Toro Formation and is internally disrupted by faulting and shearing. Sandstones typically consist of quartz (30-40%), feldspars (30-50%), volcanic and lithic debris (10-30%) and biotite (2-10%) Hart (1976).
Kac	Conglomerate member —Very thick bedded pebble, cobble and boulder conglomerate. Clast composition predominantly includes silicic volcanic rocks, quartzite and granitic rocks. Unit lacks Franciscan debris.
Klj	Toro Formation (Early Cretaceous and Late Jurassic) Shale and sandstone member —Thin-bedded, greenish brown to brown micaceous shale interbedded with thin sandstone beds. Sandstone occurs rarely in beds up to 5 meters thick. Contains calcareous lenses and concretions. Buchia fragments occur locally in thin sandstone beds (Hall and Prior, 1975). Depositionally overlies chert and basalt of the Coast Range Ophiolite.
Klfc	Conglomerate member —Lenses of pebble and cobble conglomerate deposited as channel fills on submarine fans. Moderately well sorted. Contains well rounded clasts of chert (60 - 70%), quartzite (10 - 30%) with minor sandstone and mudstone clasts (Seiders, 1982).
Kll	Limestone —Lenses of light to medium gray microcrystalline limestone. Locally contains shell fragments. Lenses are up to 10m thick (Seiders, 1982).

Great Valley Complex - Coast Range Ophiolite

Jch	Chert (Jurassic) —Brownish black to olive brown impure chert. Beds 2 to 15 cm thick intercalated with black, flaky, siliceous shale partings. Rock breaks into blocky, joint-bounded blocks with black manganese oxide coatings on some surface. Depositional on basaltic dike-and-sill complex. Overlain by marine shales of the Toro Formation.
Jbd	Basalt and Intrusive Dike-and-Sill Complex (Jurassic) —Dark brown extrusive basalt breccia and pillow lava intruded by diabase dikes and sills (oceanic crust remnant). Extensive fracturing and deep weathering typically obscures original structure of basalt. Intrusive dikes and sills are composed primarily of diabase, basalt, gabbro and quartz gabbro. Dikes and sills are locally more voluminous than host basalts and are considered to be feeders to overlying extrusive basalts. (Oceanic crust fragment of Page, 1972).
Jsd	Serpentinite and Intrusive Dike-and-Sill Complex (Jurassic) —Serpentinite extensively intruded by altered diabase dikes and sills (mantle remnant). Relict minerals and textures of peridotite locally present where serpentinization is incomplete. Intrusive dikes and sills are primarily diabase typically altered to hydrous calcium aluminum silicates. Unit is in fault contact with overlying basalt dike-and-sill complex. Dikes and sills considered to be feeders to overlying extrusive basalts. Unit is tectonically underlain by Franciscan mélangé. (Mantle fragment of Page, 1972).
Jsp	Serpentinized Ultramafic Rocks (Jurassic) —Pervasively sheared serpentinite occurring as lenticular fault-bounded bodies in Franciscan mélangé. Considered to be dismembered bodies of the Coast Range Ophiolite tectonically interleaved with mélangé during subduction and entrained along faults. Locally altered to:
Jsc	Silica-carbonate rock —Hydrothermally altered serpentinite, composed of quartz and carbonate mineral assemblages. Relatively resistant, outcropping as craggy knobs.



FAULT CLASSIFICATION COLOR CODE
(Indicating Recency of Movement)

-  Fault along which historic (last 200 years) displacement has occurred.
-  A triangle to the right or left of the date indicates termination point of observed surface displacement. Solid red triangle indicates known location of rupture termination point. Open black triangle indicates uncertain or estimated location of rupture termination point.
-  Date bracketed by triangles indicates local fault break.
-  No triangle by date indicates an intermediate point along faultbreak.
-  Fault that exhibits fault creep slippage. Hachures indicate linear extent of fault creep. Annotation (creep with leader) indicates representative locations where fault creep has been observed and recorded.
-  Square on fault indicates where fault creep slippage has occurred that has been triggered by an earthquake on some other fault. Date of causative earthquake indicated. Squares to right and left of date indicate terminal points between which triggered creep slippage has occurred (creep either continuous or intermittent between these end points).
-  Holocene fault displacement (during past 11,700 years) without historic record.
-  Late Quaternary fault displacement (during past 700,000 years).
-  Quaternary fault (age undifferentiated).
-  Pre-Quaternary fault (older than 1.6 million years) or fault without recognized Quaternary displacement.

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(805) 543-8539

REGIONAL FAULT MAP (Jennings, 2010)

3009 BEACHCOMBER DRIVE, APN: 065-233-039
MORRO BAY, CALIFORNIA
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PLATE

3

PROJECT NO:
SL12943-2



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San Luis Obispo, California 93401
(805) 543-8539

AERIAL PHOTOGRAPH (Google, 2022)

3009 BEACHCOMBER DRIVE, APN: 065-233-039
MORRO BAY, CALIFORNIA

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PLATE

4

PROJECT NO.:

SL12943-2

APPENDIX A

Boring Logs



220 High Street, San Luis Obispo, CA 93401
 Phone: 805-543-8539
 1021 Tama Lane, Ste 105, Santa Maria, CA 93455
 Phone: 805-614-6333
 201 S. Milpas St, Ste 103, Santa Barbara, CA 93103
 Phone: 805-966-2200

BORING LOG

BORING NO. B-1

JOB NO. SL12943-1

PROJECT INFORMATION

DRILLING INFORMATION

PROJECT: **3009 Beachcomber Drive**
 DRILLING LOCATION: **See Figure 3, Field Investigation**
 DATE DRILLED: **8/22/22**
 LOGGED BY: **D. Wordeman**

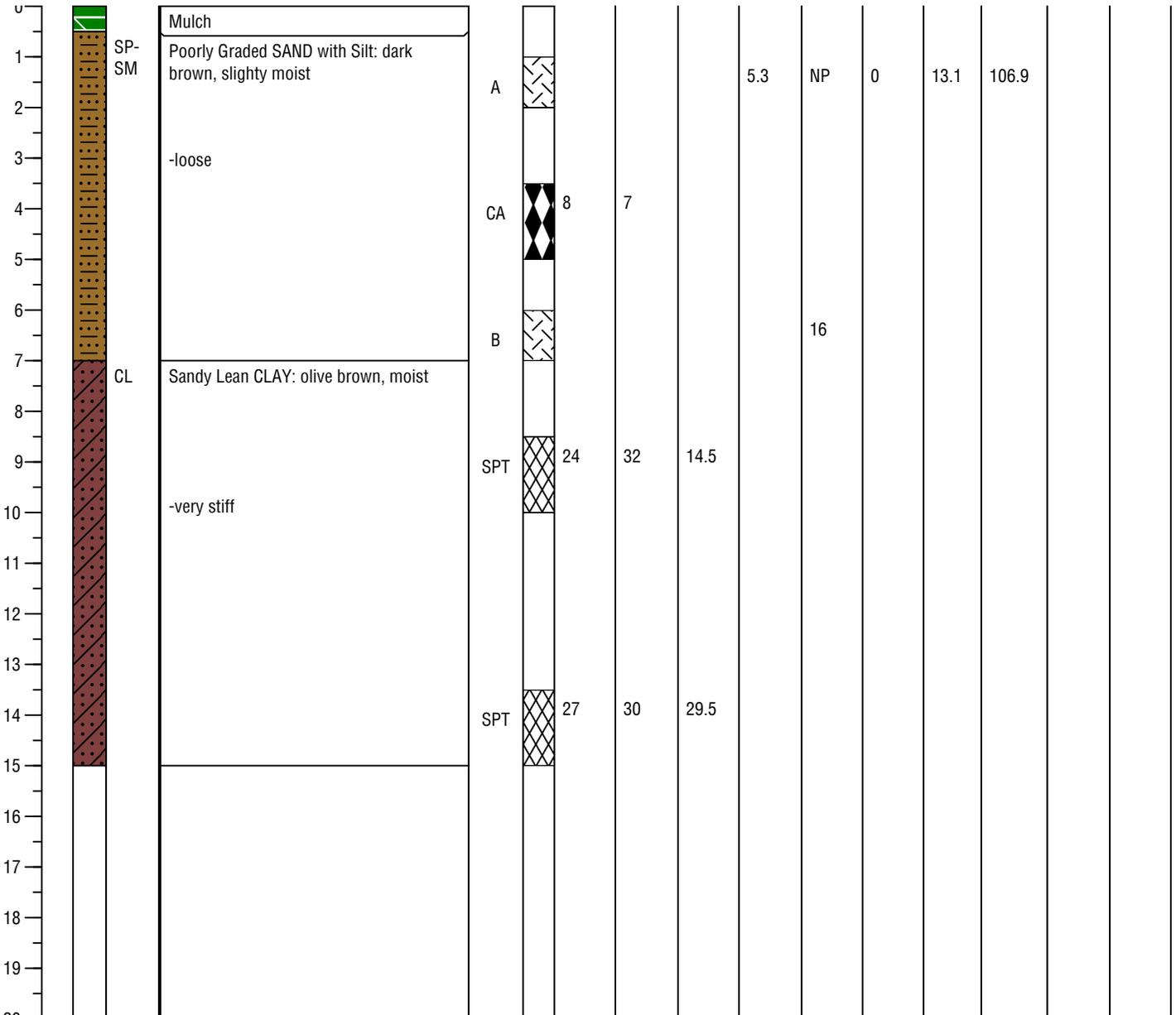
DRILL RIG: **Mobile B-24**
 HOLE DIAMETER: **6 inches**
 SAMPLING METHOD: **SPT and CA**
 APPROX. ELEVATION: **Not Recorded**

Depth of Groundwater: **Not Encountered**

Boring Terminated: **15 feet**

Page 1 of 1

DEPTH	LITHOLOGY	USCS	SOIL DESCRIPTION	SAMPLE ID	SAMPLERS TYPE	N (BLOWS / FT)	(N1) 60	MOISTURE CONTENT (%)	FINES CONTENT (%)	PLASTICITY INDEX (PI)	EXPANSION INDEX (EI)	OPTIMUM WATER CONTENT (%)	MAXIMUM DRY DENSITY (pcf)	COHESION, C (psf)	FRICITION ANGLE, (degrees)
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220 High Street, San Luis Obispo, CA 93401
 Phone: 805-543-8539
 1021 Tama Lane, Ste 105, Santa Maria, CA 93455
 Phone: 805-614-6333
 201 S. Milpas St, Ste 103, Santa Barbara, CA 93103
 Phone: 805-966-2200

BORING LOG

BORING NO. B-2

JOB NO. SL12943-1

PROJECT INFORMATION

DRILLING INFORMATION

PROJECT: 3009 Beachcomber Drive
DRILLING LOCATION: See Figure 3, Field Investigation
DATE DRILLED: 8/22/22
LOGGED BY: D. Wordeman

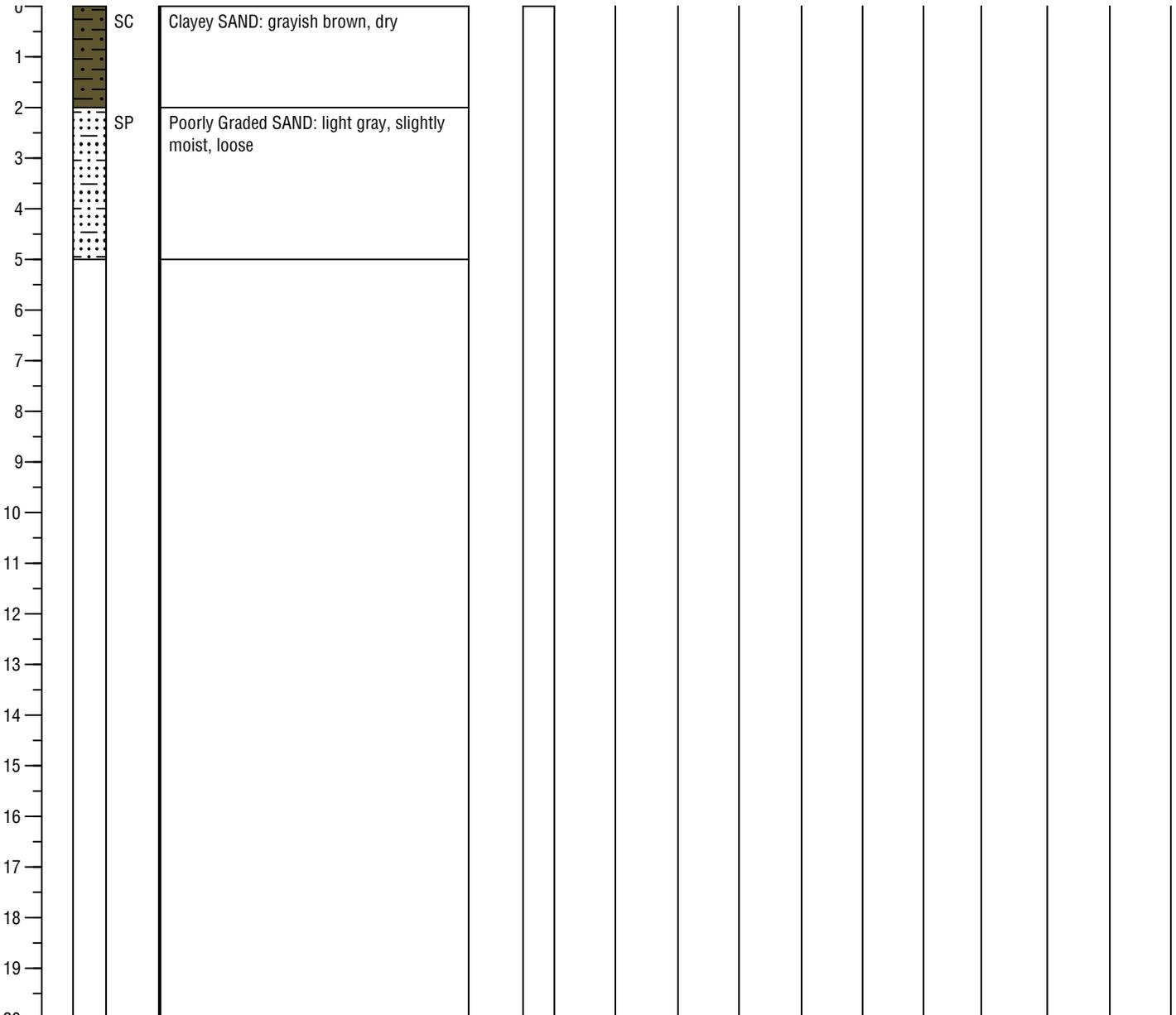
DRILL RIG: Hand Auger
HOLE DIAMETER: 6 inches
SAMPLING METHOD: N/A
APPROX. ELEVATION: Not Recorded

Depth of Groundwater: **Not Encountered**

Boring Terminated: **5 feet**

Page 1 of 1

DEPTH	LITHOLOGY	USCS	SOIL DESCRIPTION	SAMPLE ID	SAMPLERS TYPE	N (BLOWS / FT)	(N1) 60	MOISTURE CONTENT (%)	FINES CONTENT (%)	PLASTICITY INDEX (PI)	EXPANSION INDEX (EI)	OPTIMUM WATER CONTENT (%)	MAXIMUM DRY DENSITY (pcf)	COHESION, C (psf)	FRICITION ANGLE, (degrees)
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Structural Investigation Report

Date: July 14, 2022
To: Sergio Ochoa
Isaman Design, Inc.
Project: 3009 Beachcomber Dr.
Morro Bay, CA 93442
Job#: 22843

Subject: Property Investigation – June 10, 2022

On June 10, 2022, the undersigned investigated the building at the above-referenced address. The purpose of this visit was to assess the general condition of the building and its exposed framing members. An original set of the construction drawings was provided and reviewed following the on-site observation.

General Conditions:

1. The building is located on the ocean side of Beachcomber Drive, with direct exposure to the ocean.
2. The building is constructed with a conventional light timber structure consisting of solid sawn exposed roof rafters, wood stud walls sheathed with plywood, and solid sawn raised floor framing.
3. The exterior of the building is clad with exposed wood siding.
4. The building's foundation is comprised of conventional shallow foundations with a concrete stem wall and footing around the perimeter, with post and pier footings spaced regularly throughout.

Observations:

1. Water intrusion, damage, and wood rot are visible on the ceiling throughout the building. Refer to figures 1, 2, & 3.
2. Several of the original exterior wood framing members are compromised by water damage and wood rot. Refer to figure 4.
3. The exterior wood framing and siding includes substantial termite damage, water damage, and wood rot throughout the building. Refer to figures 5, 6, 7, & 10.
4. The exterior eave framing has water intrusion, damage, and wood rot. In addition to this, the exterior flashing and gutters are severely corroded, with several pieces having large holes created by corrosion. Refer to figure 8.
5. Along the ocean front side of the house, there are large windows framed out with 4x4 posts. Several of these 4x4 posts are compromised from water intrusion, damage, and wood rot. Refer to figure 9.
6. Several cracks were observed along the foundation perimeter stem walls. These cracks are indicative of settlement induced stresses on an under-reinforced foundation. Refer to figures 11, 12, & 13.

Conclusions:

1. The existing structure was designed and constructed in 1971 and does not meet current building code requirements. As such, the existing lateral force resisting system is deficient and

Structural Investigation Report

the existing residence is more likely to sustain significant damage in the event of an earthquake.

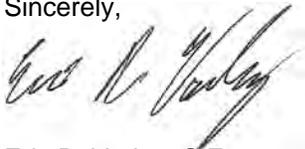
2. The pervasive water damage and intermittent wood rot are indicative of significant waterproofing and weatherproofing concerns. Given the level of observed damage from the interior of the house, pulling up the roofing and roof sheathing will likely reveal significant amounts of water damage to the structural framing members, thus compromising the structural integrity of the building.
3. The visible termite damage further raises concerns over the state to the building's existing wood framing. Termite damage would allow for greater water intrusion into the structural members, thus exacerbating existing wood rot.

Please note, these findings and opinions are based upon a visual evaluation of the structure. No analyses, for vertical or lateral forces, were performed. The above opinions are based on our professional experience in the field of structural engineering. These opinions, conclusions and recommendations may be revised, as necessary, if and when additional information becomes available.

This report, and the opinions and findings herein, may not be construed as a warranty or guarantee of the structure's existing capacity or its performance under future events or circumstances.

If you have any questions, comments, or need any further clarification please do not hesitate to give us a call.

Sincerely,



Eric R. Varley, S.E.
(805) 545-0010 x 161



Appendix



Figure 1: Water intrusion visible at ceiling



Figure 2: Water intrusion visible at ceiling



Figure 3: Water intrusion and wood rot visible at ceiling



Figure 4: Original exposed deck beam with visible water damage and wood rot



Figure 5: Typical exterior wood shingle cladding



Figure 6: Visible termite damage at siding



Figure 7: Visible termite damage at siding



Figure 8: Visible water damage and wood rot at exterior eave. Also, visible corrosion of existing flashing and gutters



Figure 9: Interior post with visible wood rot and splitting



Figure 10: Visible water and termite damage at exterior foundation post.



Figure 11: Visible cracks in the foundation stem wall



Figure 12: Visible cracks in the foundation stem wall



Figure 13: Visible cracks in the foundation stem wall

REBECCA LOVELAND ANASTASIO



CULTURAL RESOURCE SERVICES

7800 Santa Cruz Road 805-674-1379 805-461-5284
Atascadero, CA 93422 anastasioCRS@gmail.com

October 4, 2022

Stuart and Natalie Orgill
1321 Upland Drive #6962
Houston, TX 77043

RE: 3009 Beachcomber Drive, Morro Bay Addendum to 2019 Historic Building Assessment

Dear Mr. and Ms. Orgill:

In April 2019, I completed an historic building assessment of 3009 Beachcomber Drive, with particular attention to the qualities that have made it a local architectural landmark within the City of Morro Bay, in order for the previous owner and architect to make the changes needed to make the house livable, sustainable, and structurally sound. This letter is an addendum to that report, to address the consequences of serious structural deficits that came to light with a recent Structural Investigation Report authored by Ashley & Vance Engineering. The 2019 reports stands alone as an assessment of the historic and architectural significance of the house, but a full assessment of the structural integrity of the house was outside the scope of work, and outside of my expertise.

In 2019, I concluded that, based on the criteria of listing eligibility for the California Register of Historical Resources, 3009 Beachcomber appeared to be eligible as a local historic resource because:

- a) It was associated with the lives of persons important to local, California, or national history. James Maul was an important and significant local architect whose contributions to the built environment are both noteworthy and recognizable. In addition, as a teacher and mentor, Maul both gave a start to and inspired many architects in practice today, and
- b) It embodies the distinctive characteristics of a type, period, region, or method of construction, or represents the work of a master, or possesses high artistic values. 3009 Beachcomber is an excellent example of the Sea Ranch style, and may be considered the work of a local master, and
- c) Despite a noted level of deterioration, the house remained architecturally intact and stylistically recognizable as the structure that was first built in 1971. Therefore, it exhibited the essential physical characteristics of the period of association with James Maul. It also exhibited the physical features that define the type, period, or method of construction that the property represents, including retention of design, workmanship, and materials. The location and setting also have retained complete integrity.

In June 2022, Ashley & Vance Engineering conducted a Structural Investigation Report on the house. They observed that:

- a) Water intrusion, damage, and wood rot are visible on the ceiling throughout the building.
- b) Several of the original exterior wood framing members are compromised by water damage and wood rot.
- c) The exterior wood framing and siding includes substantial termite damage, water damage, and wood rot throughout the building.
- d) The exterior eave framing has water intrusion, damage, and wood rot. In addition to this, the exterior flashing and gutters are severely corroded, with several pieces having large holes created by corrosion.
- e) Along the ocean front side of the house, there are large windows framed out with 4x4 posts. Several of these 4x4 posts are compromised from water intrusion, damage, and wood rot.
- f) Several cracks were observed along the foundation perimeter stem walls. These cracks are indicative of settlement induced stresses on an under-reinforced foundation.

They concluded that the existing structure does not meet current building code requirements because the existing lateral force resisting system was deficient and the existing residence was more likely to sustain significant damage in the event of an earthquake. In addition, they observed pervasive water damage and wood rot associated with extensive waterproofing and weatherproofing failure. Given the level of observed damage from the interior and exterior of the house, it is highly likely that there is also significant water damage to hidden structural framing members, thus further compromising the structural integrity of the building. Further, the visible termite damage raises additional concerns over the building's wood framing – termite damage would both damage and allow for greater water intrusion into the structural members, thus exacerbating existing wood rot.

This house, as an eligible historic property, would qualify for the application of the California Historical Building Code which provides alternative building regulations for permitting repairs, alterations and additions necessary for the preservation, rehabilitation, relocation, change of use or continued use of a historical building. This code, however, does not exempt historic structures from meeting modern seismic requirements and other safety and structural requirements. Given the extent of structural deterioration of the building and the failure of weatherproofing and weatherproofing of the windows, doors, roofing, and wall cladding, it is apparent that the only way to restore this building to safety codes would mean tearing it down (including the cracked foundation) and re-building it from the ground up with all new materials.

Although the City of Morro Bay does not have a historic property ordinance, most such regulations are intended to recognize the importance of historic sites, structures, and areas important to local, state, or national history by requiring new uses and alterations to existing uses to be designed with consideration for preserving and protecting such resources, in particular preserving those elements which are character-defining and serve

to tie the resource to its history. Most such historic preservation ordinances rely on the Secretary of the Interior's Standards for the Treatment of Historic Properties. The four treatment approaches are Preservation, Rehabilitation, Restoration, and Reconstruction. Due to the extent of damage and structural safety concerns, the only feasible treatment would be Reconstruction. Reconstruction re-creates vanished or non-surviving portions of a property for interpretive purposes. Of the four potential treatments, reconstruction is the least preferred and is only selected when the historic structure has not survived, but the site still benefits from what is essentially a place-marker that provides significant information to the general public.

Because 3009 Beachcomber will be a private residence, not open to the public, the value of the structure for interpretative purposes is by nature limited. As a result, Reconstruction does not appear to be the most relevant option, given that the primary significance of the house is its architectural design and use of materials and reconstruction with modern code-compliant materials would necessarily alter some if not all of the character-defining features of the house such as the custom site-built windows and doors. Other treatments (Preservation, Rehabilitation, Restoration) are not feasible due to the extent of damage to the house and the resultant threat to health and safety.

As a result, it is my considered opinion that the house may be demolished after professional black-and-white archival quality photos are taken of each elevation of the house exterior. These photos, along with the 2019 Historic Building Assessment and a completed California Form DPR 523B, will constitute appropriate and sufficient mitigation for a resource primarily significant for its visual appearance. Upon completion of the photographs, one copy of the documents should be retained by the City of Morro Bay, one copy donated to the Morro Bay Historic Society, and one copy donated to the History Center of San Luis Obispo County.

I am available to answer any questions you might have about this assessment and management recommendations.

Sincerely,

A handwritten signature in black ink, appearing to read 'R. Anastasio', with a long horizontal flourish extending to the right.

Rebecca Loveland Anastasio
B.A. Anthropology
B. Architecture

MORRO BAY NORTH, CA

2012

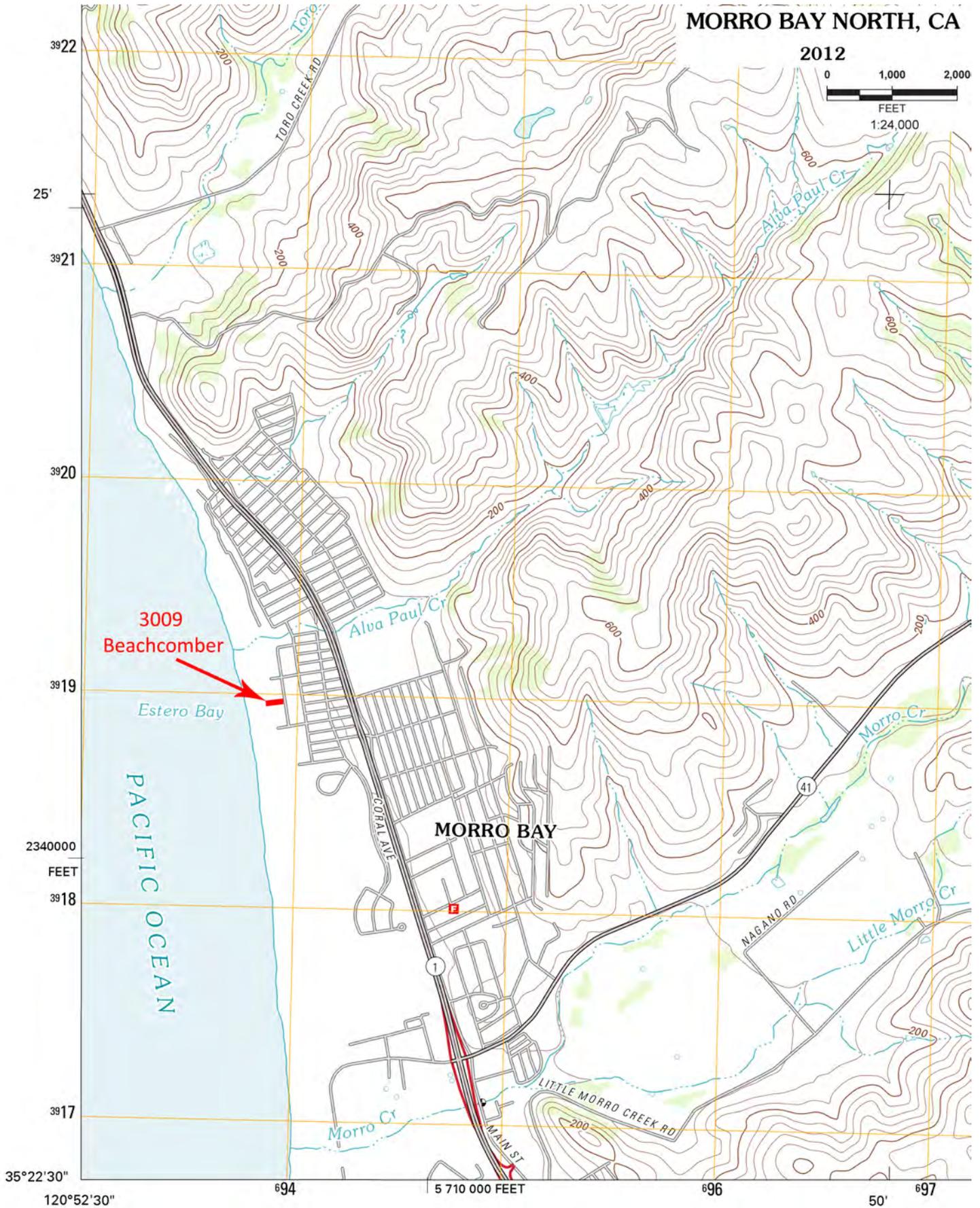
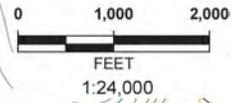
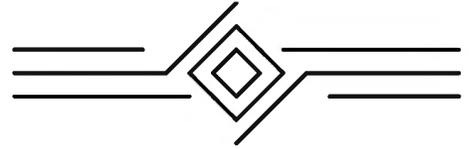


FIGURE 1: PROJECT LOCATION

REBECCA LOVELAND ANASTASIO



CULTURAL RESOURCE SERVICES

7800 Santa Cruz Road 805-674-1379 805-461-5284
Atascadero, CA 93422 anastasioCRS@gmail.com

April 19, 2019

Joanne and Vince Coghlan
3009 Beachcomber Drive Drive
Morro Bay, CA 93442

RE: 3009 Beachcomber Drive, Morro Bay, CA (APN 065-233-039)

Dear Mr. and Ms. Coghlan:

I have completed an historic building assessment of 3009 Beachcomber Drive, with particular attention to the qualities that have made it a local architectural landmark within the City of Morro Bay, in order for you and your architect to make the changes needed to make the house livable, sustainable, and structurally sound.

3009 Beachcomber Drive is located in Morro Bay, north of Highway 41. The property is situated on the west side of Beachcomber Drive, roughly midway between Easter Street and Sienna Street. The property is bordered to the north and south by existing residences, to the east by Beachcomber Drive, and to the west by the low dunes along the Pacific Ocean north of Morro Creek [Fig. 1]. The other existing residences in the area appear to represent a mix of architectural eras from the 1950s to the present day.

REGULATORY FRAMEWORK

Unfortunately, the City of Morro Bay has no specific ordinance concerning the preservation of historically or architecturally significant structures, and has not compiled a list of any such structures within the city limits. Instead, the City asks projects subject to environmental review to comply with the California Environmental Quality Act, also known as CEQA (Public Resources Code 21000 et seq.). The California Environmental Quality Act places historic and architectural resources (along with archaeological sites) under the broad umbrella of environmental protection laws. As such, CEQA includes procedures for identifying, analyzing, and disclosing potential adverse impacts to such resources. Under CEQA:

- A property may be listed in the California Register of Historical Resources (CRHR). Like the National Register of Historic Places, owner consent is required for listing, but a property may be determined eligible if they are determined eligible for the National Register of Historic Places or if they meet the following criteria”
 - 1) It is associated with events or patterns of events that have made a significant contribution to the broad patterns of local or regional history, or the cultural heritage of California or the United States; or

- 2) It is associated with the lives of persons important to local, California, or national history; or
 - 3) It embodies the distinctive characteristics of a type, period, region, or method of construction, or represents the work of a master, or possesses high artistic values; or
 - 4) It has yielded, or has the potential to yield, information important to the prehistory or history of the local area, California, or the nation.
 - 5) It must also retain its historic integrity. Cultural resources integrity is determined using the CRHR's seven aspects of integrity: location, design, setting, materials, workmanship, feeling, and association.
- In addition, a resource will be listed in the **California Register of Historical Resources** if it is:
 - 1) Included in a local register of historical resources, unless the preponderance of evidence demonstrates that it is not historically or culturally significant, or
 - 2) Identified as significant in a historical resource survey meeting the requirements of Public Resources Code Section 5024.1(g), unless the preponderance of evidence demonstrates that it is not historically or culturally significant, or
 - 3) Determined by a lead agency to be historically significant or significant in the architectural, engineering, scientific, economic, agricultural, educational, social, political, military, or cultural annals of California, provided the determination is supported by substantial evidence..
 - A property may also be listed as a State Historic Landmark. To be listed as a Landmark, a resource must be
 - 1) The first, last, only, or most significant of its type in the state or within a large geographic region (Northern, Central, or Southern California), or
 - 2) Associated with an individual or group having a profound influence on the history of California, or
 - 3) A prototype of, or an outstanding example of, a period, style, architectural movement or construction or is one of the more notable works or the best surviving work in a region of a pioneer architect, designer or master builder.
 - A property may also be listed as a California Point of Historical Interest, which is similar to a Landmark but not as restrictive and with an emphasis on local (city or County) significance. To be listed as a Point of Historical Interest, a resource must be
 1. The first, last, only, or most significant of its type within the local geographic region (City or County), or
 2. Associated with an individual or group having a profound influence on the history of the local area, or
 3. A prototype of, or an outstanding example of, a period, style, architectural movement or construction or is one of the more notable works or the best surviving work in the local region of a pioneer architect, designer or master builder.

PREVIOUS ASSESSMENT

The existing structure has not been previously listed on the National Register of Historic Places, the California Register of Historic Resources, or as a State Historical Landmark or Point of Historic Interest. This City of Morro Bay does not have a historic property list.

BACKGROUND

According to the San Luis Obispo County Assessor's Office, the house was originally built in 1971 by noted architect James Maul for himself and his family. James Howard Maul was born on July 24, 1927 in Covina, CA [MyLife.com]. He graduated from USC with a degree in architecture, and established his practice in Southern California with partner Burdette M. Pulver, Jr. in 1953 [Arts and Architecture 1957; Manta.com; San Luis Obispo County Tribune 10-16-2018]. Noted works by Maul and Pulver in Southern California included a Covina house for his mother (Mildred Maul) in 1957 [Stovall 1957]; a small office building in 1957, also in Covina [Arts and Architecture 1957], the Covina Public Library in 1963 [LottaLiving.com Jun 30, 2010], and the San Dimas Civic Center in 1969 [Martin Maul, personal communication].

James Maul and his family moved to San Luis Obispo County in 1970, where he established an architecture practice and taught in the Cal Poly Architecture Department San Luis Obispo County Tribune 10-16-2018]. Many local architects of note got their start with James Maul as a design instructor, and then later as employees in his practice.

James Maul was a well-respected architect in San Luis Obispo County, known for both a modernist and Sea Ranch aesthetic as well as for his dedication to the environment and environmentally sensitive design. He is known for many public projects, such as the (now unused) air terminal at the San Luis Obispo Airport, Meadow Park Community Center in San Luis Obispo, the Agricultural Sciences Building (No. 11) at Cal Poly, the (now old) Public Library in Cambria, Tidelands Park in Morro Bay, and the Morro Bay Maritime Museum. Important commercial projects comprise a series of buildings along the Embarcadero, including the Salt Building (571 Embarcadero), Garden Gallery (680 Embarcadero), Marina Square (601/629/699 Embarcadero), as well as the 1865 Building (1865 Monterey Street) and the Carmel Lutheran Church (1701 Fredricks Street) in San Luis Obispo, and the Ragged Point Inn on Highway 1. James Maul is also known for his residential architecture including the subject property, 3009 Beachcomber Drive, which he built for himself and his family.

The house and the garage are prime local examples of the "Sea Ranch style," also known as the "Third Bay Tradition" for its roots in the greater San Francisco Bay Area in the 1950s to 1980. Although in many ways reflecting the modernist movement that was shaping residential design in much of California and elsewhere around the nation at the time, Bay Area architects tended to view a home as less of an object or piece of art, and more of a place devoted to human habitation. They placed significance on regionalism and the incorporation of natural elements into the design of structures. They felt that building materials should be locally sourced whenever possible, and that people should do their best to 'live lightly off the land'. Sea Ranch style was inspired by the simple forms and natural, rustic materials associated with old barns on the California coast, also

characterized by integration with natural landscape, and emphasis on environmental and sustainable strategies. Sea Ranch style was a hybrid of modern and vernacular architecture, turning the horizontal form of the Mid-Century Modern ranch house into a more vertical form – the angular boxy forms allow interior spaces to project outwards as saddled appendages, letting the structures sit lightly in their natural environments.

Commonly found on the coast, “Sea Ranch Style” buildings are often oriented to make the most of water views with double or even triple-height windows. Windows are often small or non-existent on some sides of the house and hugely expansive on other sides, creating homes that featured contrasts of light and dark, openness and closure. Windows are typically simplistic in their design, and lack ornamentation. Designers also made extensive use of skylights. Exteriors were clad in exterior plywood panels, diagonal boards, or wood shingles – either unpainted or stained in muted colors to subdue the appearance of the buildings in the landscape. Outdoor courtyards are also commonplace to allow residents to enjoy the outdoors while being shielding from harsh coastal winds.

Common interior features of Sea Ranch style homes include open layouts, sunken rooms or conversation pits (meant to be a small, intimate space within a larger open area), multiple levels, vaulted ceilings, floor-to-ceiling fireplaces, nooks, ladders, lofts, and other small intimate spaces. These spaces are formed by basic geometric and angular forms, and are mindful of how light enters a space. Interiors are also characterized by wood paneling – either angled wood siding feature walls, or walls of Philippine mahogany (also known as luan) plywood, exposed beams and rafters of untreated, rough lumber. Other interior features include simple built-in furniture, earth tone ceramic tiles, and playful supergraphics (large-scale painted or applied graphic images, often in bold colors and typically in geometric or typographic designs).

FIELD ASSESSMENT

MASSING

According to records on file with the San Luis Obispo County Assessor, the existing house is 2,354 square feet, while the 1971 construction documents show it as 2,500 square feet with a free-standing 870 square foot 3-car garage. The house has a master bedroom (room N) with a master bath and walk-through closet (L and M), two guest bedrooms (F and G), a jack-and-jill guest bath/powder room (E), an office (H), as well as a living room (A), dining room (B), kitchen with breakfast nook “C”, family room (J), laundry (I), foyer (K), and mechanical room (D) – see Figure 2. The massing of the house appears to mostly match that shown on the construction documents of 1971. The house consists of a series of attached and interlocking cubes and rectangles that together to form an overall L-shape which serves to shelter and enclose the front yard from prevailing northwest winds. The garage and most of the house have flat roofs, with the exception of a simple gable roof that has a 4.5:12 slope and a north-south oriented ridge which creates a high vaulted ceiling over the foyer, sunken living room, dining room, and family room [Fig. 3]. The garage is a separate structure from the rest of the residence, connected by a covered breezeway. A trellis fills part of the space at the inside corner of the “L” in front of the home office. A deep deck, with stairs down to the dunes, runs the length of the western side of the house and was included in the construction documents, along with a small deck and steps at the front entry.

One alteration was made to the massing as shown in the original construction documents, which is a small addition to the master bath constructed in 1998 per plans attached to the original construction documents. This addition extends 4 feet east towards the street in the same plane as the southern bathroom wall, is 6 feet long across the eastern face of the building, and then angles back at 60 degrees to meet the original bathroom exterior wall. This addition features a shed roof [Fig. 4].

STRUCTURE AND BUILDING SYSTEMS

Structurally, the building is conventional. The house is built on a raised foundation, while the garage is slab on grade with a raised concrete curb. All walls are conventional 2x4 stud; the flat roof framing is 4x6 (4' on center), while the exposed roof framing for the sloped roof/vaulted ceiling consists of a 4x14 ridge beam, 6x12 beams, and sistered 2x10 rafters with 4x4 blocking between. The flat garage roof is 2x10 (16" on center). The roof sheathing on the sloped roof consists of 1x4 sleepers with 3/4" Douglas fir plywood. The sheathing on the flat sections of roof consists of built-up roofing with gravel over 3/4" plywood. Over the garage, the existing roof sheathing is also built-up roofing with gravel, but over 3/8" plywood. Floor sheathing is 1 1/4" plywood. Interestingly, although the construction documents call for 3 inches of fiberglass batt insulation at the flat roofs, and 1 1/2" of batt insulation at the sloped roof, no insulation is called out for the wall sections, suggesting that these are not insulated.

FENESTRATION

The house and garage feature a mix of site-built and manufactured windows [Fig. 5]. The site-built windows are all fixed single-pane, and dominate the western elevation of the house, extending from floor to ceiling in the living room and dining room, and wrapping around the corners of the north and south walls of those rooms. Site-built fixed windows can also be found in the western wall of the kitchen, the southern wall of the master bedroom, the southern wall of the office, in the northern wall of guest bedroom G, flanking the door in the eastern wall of the foyer, and as clerestory windows in the gable ends of the sloped roof above the adjacent flat roofs, and as transom above the front door. Tall, narrow site-built fixed windows can be found flanking the door and fixed window at the front entrance, and at in the west-facing wall of the pop-out that contains the breakfast nook. Low site-built fixed windows can be found placed below manufactured (Anderson brand, per construction documents) casement windows in the south wall of the family room, where the manufactured windows are paired, and in the southern wall of the office with a single manufactured window. Manufactured casement windows can also be found in the west wall of the garage, in the east wall of the office, on either side of the pop-out of the eastern guest bedroom (G), in the northern wall of guest bedroom F. Four of them are grouped in the northern wall of the breakfast nook. In addition, there are four pyramidal curb-mounted skylights in the roof over the hallway connecting the kitchen to the garage breezeway door, and another in the laundry room.

The front door appears to be original to the house. A large and unusual size (3'8" x 7'10.5"), the carved multi-panel door was probably custom made for the house. A luan slab door on the north side of the house, providing access to the mechanical room, was also probably custom-made or site-built at 3'8" x 7'10.5", as was a similar door (2'6" x 7'10.5") leading from the guest bathroom (E) to the outside of the house on the north

side of the house and the door accessing the west side of the garage (3'0" x 7'10.5"). A site-built sliding glass door leading from the master bedroom to the deck, and another leading from the dining room onto the deck (per construction documents) have been replaced by manufactured wood full-lite French doors – a double door for the master bedroom, and a single door (with a paired fixed window) for the dining room.

The garage doors were custom-made for the house as well. There is a single door on the north side of the east wall of the garage, and a double door on the south side. Both doors were designed to blend into the garage, and are hardly noticeable as doors, adding to the sense of the garage as a monolithic cube. The top half of each door is sheathed in wood shingles, while the bottom half is board and batten in a pattern that matches and appears to be a continuation of the fence [Fig. 6].

FINISHES AND TRIM

The house features a variety of exterior wall sheathing that is very characteristic of the Sea Ranch style [Fig. 6]. Except for the garage doors, the garage is almost completely sheathed in wood shingles, as is much of the house. Interestingly, the original construction documents call for vertical panels of exterior luan plywood with 1x4 battens where wood shingles exist now. This was either a change during construction, or the luan panels were replaced by the shingles at a later date, possibly because even exterior grade luan is not known to react well to water exposure. One small luan panel remains, located underneath the grouped casement windows in the north wall of the garage. On the construction documents, this area was supposed to have 1x8 resawn redwood boards installed on a diagonal. The garage walls also feature 2x4 redwood corner boards and baseboards at the bottom of the shingles.

The house itself features a mix of wood shingles (also in places where luan panels were called out on the construction documents) and 1x8 redwood boards installed on a diagonal. The diagonal boards are located on all the west-facing walls of the house, under the roof at the north-south facing gable walls, and at the pop-outs in the southern wall of the office and the eastern wall of guest bedroom G. The rest of the house is sheathed in wood shingles. All walls are terminated with 2x4 baseboards at the bottom of the sheathed walls. The exterior walls with diagonal boards feature 2x6 redwood corner boards and fascias at flat roofs. Some walls with wood shingle have corner boards, while others do not [Fig. 7].

The flat roofs of the garage and the house (with the exception of the western walls of the kitchen) all have 2x10 fascia mounted on 2x4 stand-off blocks. The spacing allows the site-built downspouts to go behind the fascia to the edge of the roof to catch the roof drainage. The gable roof has no fascia and features exposed roof sheathing (luan plywood panels) and structure of paired rafters with shaped ends [Fig. 7].

DETAILS AND LANDSCAPING

The exterior has many details and features built specifically for this house, many of which have been added and altered over the years [Figs. 8, 9, 10]. Exterior details include:

- A trellis in front of the office pop-out. It is framed with two 6x6 redwood posts, with a simple 5-element trellis of 4x6 redwood. It appears to be built according to the 1971 construction documents but is currently lacking the tree-well called out for the area beneath it. A tree did exist in the trellis area as late as 2017 [Fig. 9].
- The remains of a trellis, not shown on the original construction documents, appears at the rear deck area above the kitchen picture window where the roof does not overhang the deck. All that remains of this trellis is a cut-off beam extending from the northwest corner of the kitchen and a ledger along the northern wall of the dining room. Based on a review of aerial photos, the trellis was built to cover the redwood hot tub shown on the 1971 construction documents. The date of construction of this trellis is unknown, but aerial photos suggest that it was in place by 2007 (views lacked sufficient resolution prior to that year). The trellis had been removed some time after 2013 – probably at the same time as the redwood hot tub was removed and deck boards replaced between 2015 and 2017 [Fig. 9].
- An awning at the entry. This cloth awning over a redwood frame appears to be a later addition to the entrance area, possibly to provide additional weather shelter for the redwood entry decks and steps. Two other small cloth awnings are located over the mechanical room door, and the exterior door leading to the second bathroom. None of these are shown on the 1971 plans, and based on aerial photos appear to be post-2007 additions [Fig. 9].
- The site-built wood downspouts are a unique feature of this house. The downspouts conduct the drainage from the flat roofs into a sheet metal spillway, and then down a vertical trough constructed of three 1x4s. The bottom five feet of the downspout trough is crossed by 1x1 horizontal slats at 3 inches on center, although many of the downspouts have missing slats. The downspout locations are called out on the construction documents, noted as “spillways,” but they are not shown on building elevations and they are not detailed.
- Exterior lighting fixtures. There are four types of site-built exterior lighting fixture:
 - Two post lights, consisting of a rectangular redwood box, featuring half-circle cut-out on the sides and a full rectangle on the front which exposes the white diffuser. These fixtures are mounted on 6x6 redwood posts on either side of the front lawn.
 - A wall-mounted light, also rectangular redwood box of similar dimensions to the post light. This fixture has two narrow D-shaped cut-outs on the sides, and 5 redwood louvers on the front, again exposing the white diffuser. This light is located next to the doorway leading from the house to the garage.
 - Two wall-mounted light, also rectangular redwood box of similar dimensions to the other fixtures. These fixtures have a single rectangular cut-out on each side with 8 redwood louvers on the front. Unlike the other lights, these have no diffuser.
 - Three ground-mounted lights located in the middle of each fence panel of the fence south of the entry gate and driveway. Similar to the other site-built fixtures, these fixtures have a single rectangular cut-out on each side with 8 redwood louvers on the front. These have no diffuser.

- There are two types of custom fencing separating the front yard from the street and the project property from the adjacent parcel to the south.
 - The primary type consists of 8x8 chamfered redwood posts, a 2x8 horizontal board base, and a top comprised of a horizontal 2x4 board capped with a 2x6 board laid flat. The fencing between consists of 1x4 board rails. This type runs along the street south of the front yard gate, and along the southern property line.
 - The secondary type consists of 2x2 verticals, with a 2x12 horizontal board at the bottom and a top comprise of a horizontal 2x4 board capped with a 2x4 board laid flat. This fence type is backed by Cattle fence wire panels. This type mimics the bottom half of the garage doors. This type runs between the front yard gate and the garage, and between the garage and the neighbor's fence to the north.
- The most notable exterior landscape features, and the most public, are the sculptural wooden "arch" across the driveway entrance, and the artistic gate and trellis that creates an entrance to the front courtyard. Neither item is shown on the original 1971 plan set, and the arch appears to be a relatively recent addition. A photo of Jim and Beverly Maul from the 1990s shows a large tree in the area of the northern arch column, and it does not appear on aerial photos prior to 2001 [Figs 9 and 10].

EXISTING CONDITIONS AND MAINTENANCE REQUIREMENTS

The Maul residence has experienced significant deterioration over the years. Maul attempted to build his house in a way that was environmentally sensitive and strongly expressed his aesthetic, but the construction methods and building science of the time were not up to the demands of the design and the environment in which it was placed. In particular, the site-built windows leak, the flat roofs and skylights leak, and much of the exterior wood work (exterior trim, finishes, fencing, site-built lighting, decorative elements) are extremely weathered, some to the point of failure.

Because Maul felt so strongly about environmentally sensitive design, it is particularly noteworthy that the house as is currently does not even come close to meeting State energy and environmental codes with the large expanses of unsealed single-pane windows and inadequate or non-existent insulation. In order to make the house livable for occupants and to prevent further deterioration, the house will need to have the flat roofs repaired, insulation added to the walls and ceilings, site-built single-pane windows replaced, and exterior finishes and trim repaired and replaced.

Structurally, the house appears to be sound, but this conclusion should be confirmed by a structural engineer.

CONCLUSIONS

James Maul was an architect of local importance. Although he began his career in Southern California, the majority of his work can be found in San Luis Obispo County. His body of work includes both distinctive residential projects and noteworthy public and commercial structures, the majority of which are still standing and still in use. The residence at 3009 Beachcomber is very representative of Maul's body of work both

architecturally and because it has a direct connection to his life and times. Although some people believe that a house built in 1971 cannot be “historic,” there are several structures of that era listed in the National Register of Historic Places for their architectural significance and connection to architects and designers who changed the course of building history. One of these is the Sea Ranch itself in Sonoma County, whose concepts and style inspired James Maul.

Based on the criteria of listing eligibility for the California Register of Historical Resources, 3009 Beachcomber appears to be eligible based on criteria 2 and 3:

2) It is associated with the lives of persons important to local, California, or national history. James Maul was an important and significant local architect whose contributions to the built environment are both noteworthy and recognizable. In addition, as a teacher and mentor, Maul both gave a start to and inspired many architects in practice today.

3) It embodies the distinctive characteristics of a type, period, region, or method of construction, or represents the work of a master, or possesses high artistic values. 3009 Beachcomber is an excellent example of the Sea Ranch style, and may be considered the work of a local master.

3009 Beachcomber, despite a level of deterioration, remains architecturally intact and stylistically recognizable as the structure that was first built in 1971. Even the 1998 bathroom remodel was executed in a style that matched the house. Therefore, it exhibits the essential physical characteristics of the period of association with James Maul. It also exhibits most of the physical features that define the type, period, or method of construction that the property represents, including retention of design, workmanship, and materials. The location and setting also have retained complete integrity [Fig. 9].

Although the City of Morro Bay does not have a historic property ordinance, most such regulations are intended to recognize the importance of historic sites, structures, and areas important to local, state, or national history by requiring new uses and alterations to existing uses to be designed with consideration for preserving and protecting such resources, in particular preserving those elements which are character-defining and serve to tie the resource to its history. Most such historic preservation ordinances rely on the Secretary of the Interior’s Standards for the Treatment of Historic Properties. The four treatment approaches are **Preservation, Rehabilitation, Restoration, and Reconstruction**, outlined below in hierarchical order and explained:

- The first treatment, **Preservation**, places a high premium on the retention of all historic fabric through conservation, maintenance and repair. It reflects a building's continuum over time, through successive occupancies, and the respectful changes and alterations that are made. In Preservation, the options for replacement are less extensive than in the treatment, Rehabilitation. This is because it is assumed at the outset that building materials and character-defining features are essentially intact, i.e, that more historic fabric has survived, unchanged over time. The expressed goal of the Standards for Preservation and Guidelines for Preserving Historic Buildings is retention of the building's existing form, features and detailing. This may be as simple as basic maintenance of existing materials and features or

may involve preparing a historic structure report, undertaking laboratory testing such as paint and mortar analysis, and hiring conservators to perform sensitive work such as reconstituting interior finishes. Protection, maintenance, and repair are emphasized while replacement is minimized.

- **Rehabilitation** is defined as the act or process of making possible a compatible use for a property through repair, alterations, and additions while preserving those portions or features which convey its historical, cultural, or architectural values. Rehabilitation emphasizes the retention and repair of historic materials, but more latitude is provided for replacement because it is assumed the property is more deteriorated prior to work. (Both Preservation and Rehabilitation standards focus attention on the preservation of those materials, features, finishes, spaces, and spatial relationships that, together, give a property its historic character.)
- **Restoration** is defined as the act or process of accurately depicting the form, features, and character of a property as it appeared at a particular period of time by means of the removal of features from other periods in its history and reconstruction of missing features from the restoration period. The limited and sensitive upgrading of mechanical, electrical, and plumbing systems and other code-required work to make properties functional is appropriate within a restoration project. It focuses on the retention of materials from the most significant time in a property's history, while permitting the removal of materials from other periods.
- **Reconstruction** is defined as the act or process of depicting, by means of new construction, the form, features, and detailing of a non-surviving site, landscape, building, structure, or object for the purpose of replicating its appearance at a specific period of time and in its historic location. This establishes limited opportunities to re-create a non-surviving site, landscape, building, structure, or object in all new materials.

Choosing the most appropriate treatment for a building requires careful decision-making about a building's historical significance, as well as taking other considerations into account:

- **Relative importance in history:** Is the building a nationally or locally significant resource? National Historic Landmarks, designated for their "exceptional significance in American history," or many buildings individually listed in the National Register often warrant Preservation or Restoration. Buildings that are not listed in the National Register more frequently undergo Rehabilitation for a compatible new use.
- **Physical condition:** What is the existing condition--or degree of material integrity--of the building prior to work? Has the original form survived largely intact or has it been altered over time? Are the alterations an important part of the building's history? Preservation may be appropriate if distinctive materials, features, and spaces are essentially intact and convey the building's historical significance. If the building requires more extensive repair and replacement, or if alterations or additions are necessary for a new use, then Rehabilitation is probably the most appropriate treatment.

- Proposed use: An essential, practical question to ask is whether the building be used as it was historically or will it be given a new use? Many historic buildings can be adapted for new uses without seriously damaging their historic character; special-use properties such as grain silos, forts, ice houses, or windmills may be extremely difficult to adapt to new uses without major intervention and a resulting loss of historic character and even integrity.

MANAGEMENT RECOMMENDATIONS

Based on its local importance, its current state of preservation, and the Secretary of the Interior's Standards for the Treatment of Historic Properties, 3009 Beachcomber appears to warrant rehabilitation and preservation where possible. Because this historic property is a private residence and not a public or commercial building, the interior falls outside of the purview of historic preservation as it will not be accessible to the general public. This residence actually has two public faces: the eastern elevation visible from the street, and the western elevation visible from the public beach. As a result, preservation and rehabilitation of these two elevations should be the primary goal. The character-defining elements of these two elevations include their distinctive massing, the fenestration, and the exterior finishes and trim. Therefore, I recommend the following approaches:

- 1) To the maximum extent possible, given the deterioration/failure of the finishes, roof, and fenestration, the historic character of a property will be retained and preserved. The removal of intact or repairable historic materials or alteration of features, spaces, and spatial relationships that characterize this property should be avoided where feasible. In this case, this would mean maintaining the massing and roof styles of the house (i.e. not adding a visible slope roof to areas that currently have a flat roof) and repairing existing trim, exterior finishes, fenestration and other exterior features where possible.
- 2) Deteriorated historic features should be repaired rather than replaced. Where the severity of deterioration requires replacement of a distinctive feature, the new material should match the old in composition, design, color, and texture.
- 3) New additions, exterior alterations, or related new construction should not destroy historic materials, features, and spatial relationships that characterize the property. The new work shall be differentiated from the old but be compatible with the historic materials, features, size, scale and proportion, and massing to protect the integrity of the property and its environment. New additions and adjacent or related new construction will be undertaken in a such a manner that, if removed in the future, the essential form and integrity of the historic property and its environment would be unimpaired.

Some of the exterior and landscape features need to be addressed specifically:

- Much of the front fencing appears to be repairable and restorable and adds to the architectural character of the house, particularly the front gate. This fencing should be preserved and restored. Fencing in the side yards is less important and may be replaced with a compatible fence – i.e. wood fencing as opposed to vinyl or metal.

- If possible, the existing site-built exterior lighting should be repaired and restored, but may actually be beyond repair. If that is the case, replacement lighting should have a similar site-crafted appearance and reflect a 1970s architectural style, or be unobtrusive and blend into the architecture.
- The unique and distinctive downspouts should be preserved, repaired, or rebuilt. To prevent further water damage, the wood downspouts can be lined with zinc or copper sheathing.
- The existing trellis in front of the office should be retained and repaired, or rebuilt, as should the breezeway cover between the house and garage. The awnings are not original to the 1971 house and may be removed or replaced with something more compatible with the design of the house.
- The sculptural wooden "arch" across the driveway entrance is somewhat problematic. Although it is very distinctive and probably a current landmark for the house, it was not part of the original plan for the house, was built after the 1990s, and detracts from the Sea Ranch architectural style which is characterized by simplicity of form and structure. It also makes access to the driveway apron difficult, and is actually built within the street right-of-way rather than on the project property. As such, it may be removed as part of the rehabilitation of the property.
- The rear deck is a major component of the house allowing a merging of interior and exterior spaces. It is however, not architecturally distinctive and may be replaced by a compatible deck.

I am available to answer any questions you might have about this assessment and management recommendations.

Sincerely,

A handwritten signature in black ink, appearing to read 'R. Anastasio', with a long horizontal flourish extending to the right.

Rebecca Loveland Anastasio
B.A. Anthropology
B. Architecture

MORRO BAY NORTH, CA

2012

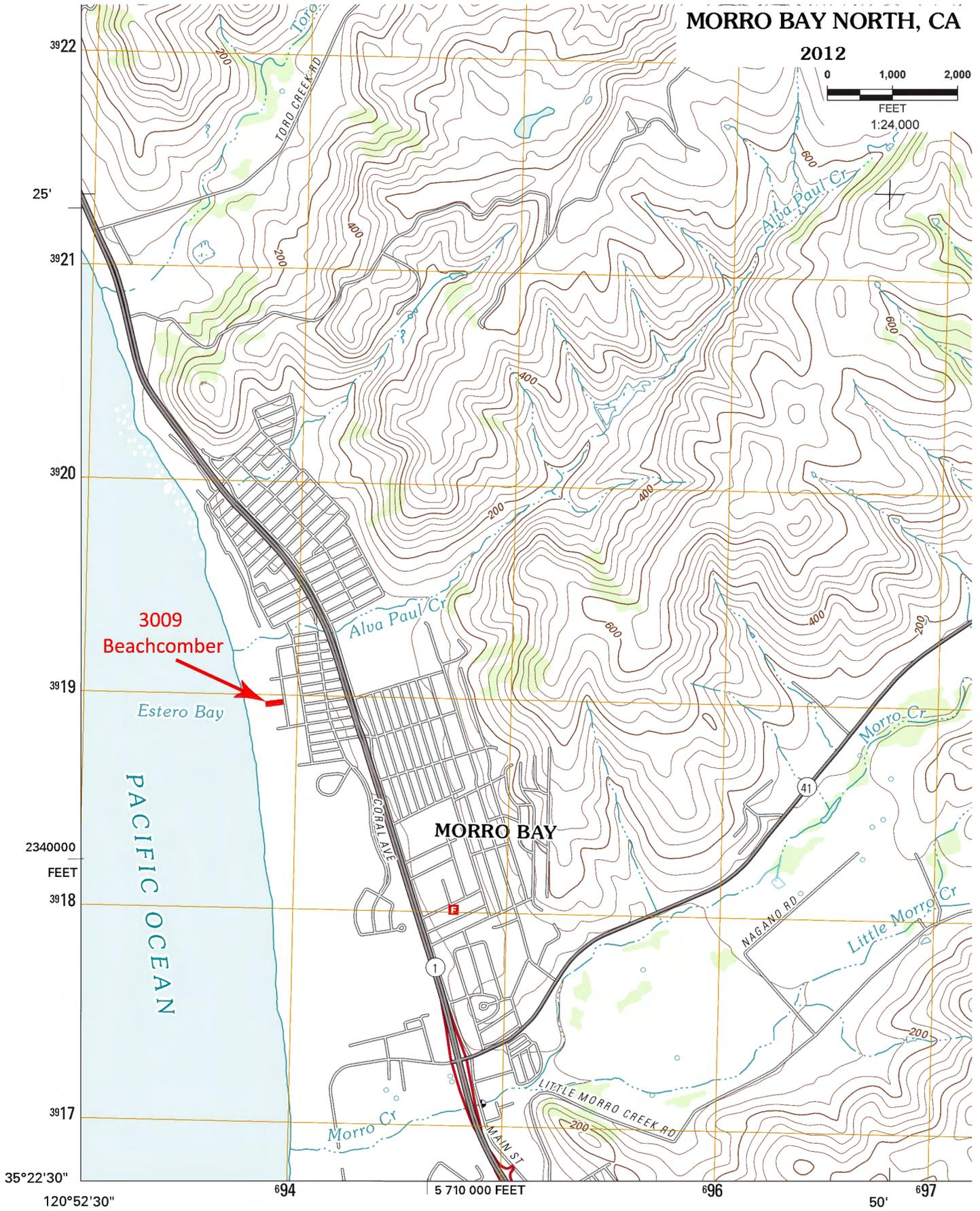
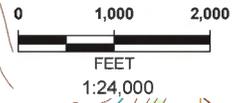


FIGURE 1: PROJECT LOCATION

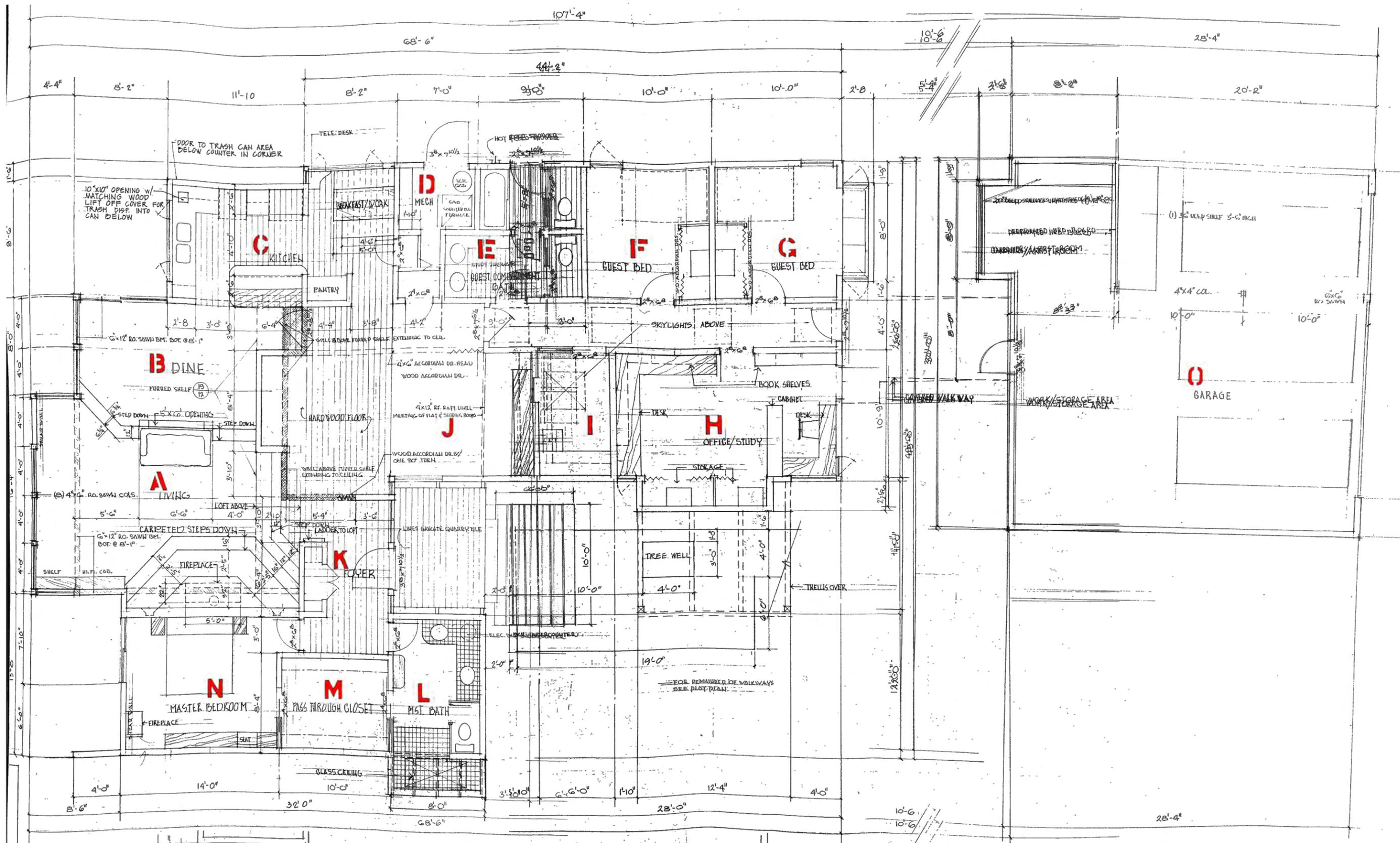


FIGURE 2: FLOOR PLAN

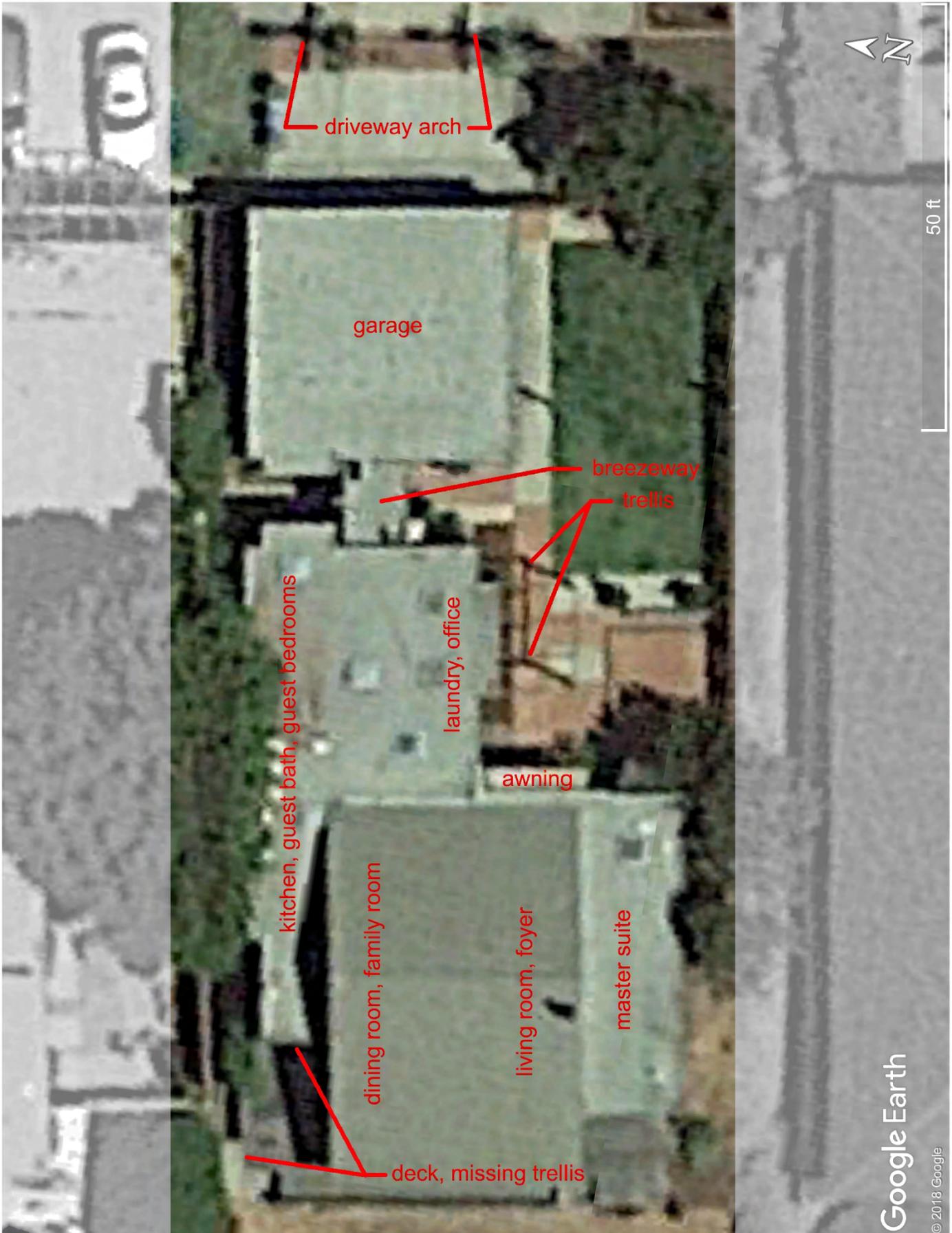


FIGURE 3: ROOF AND MASSING



FIGURE 4: 1998 ADDITION



Front Entry Door and Windows



Office Window



Rear Doors and Windows (Master Bedroom, Living Room)



Office Windows



Rear Doors and Windows (Dining Room and Kitchen)



Breakfast Nook Windows

FIGURE 5: FENESTRATION



Wood shingles and diagonal redwood boards, front of house



Diagonal redwood boards, rear of house



Custom garage door with shingles and board & batten

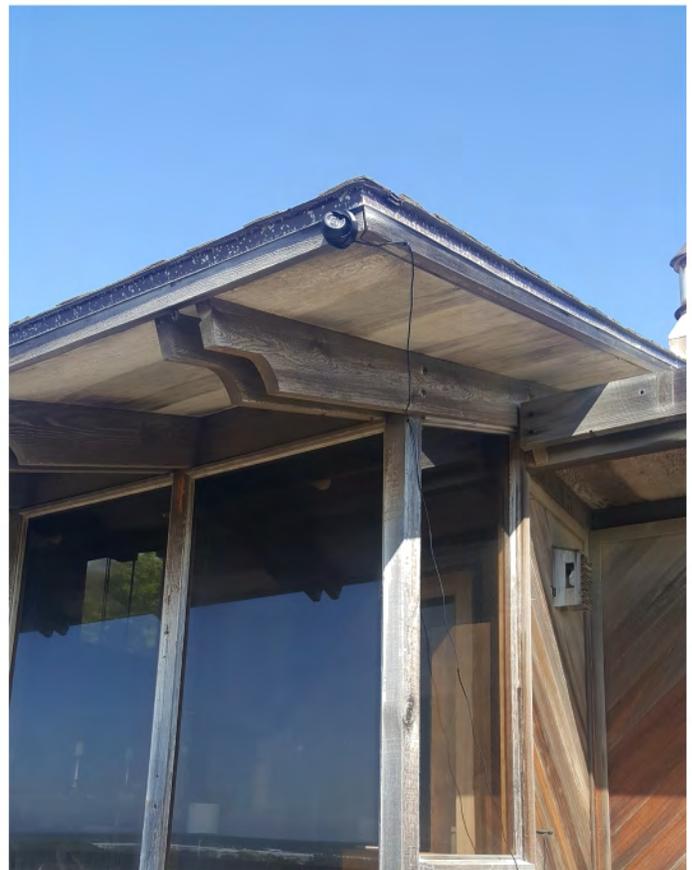
FIGURE 6: FINISHES



Fascia, corner boards, base boards



Fascia spacing for downspout



Exposed paired roof rafters

FIGURE 7: TRIM



Trellis and Awning



Downspout



Site-built Exterior Lighting



Entry Gate



Driveway "Arch" and Custom Fence

FIGURE 8: EXTERIOR DETAILS



FIGURE 9: AERIAL/ SATELLITE PHOTOS



1994 Aerial

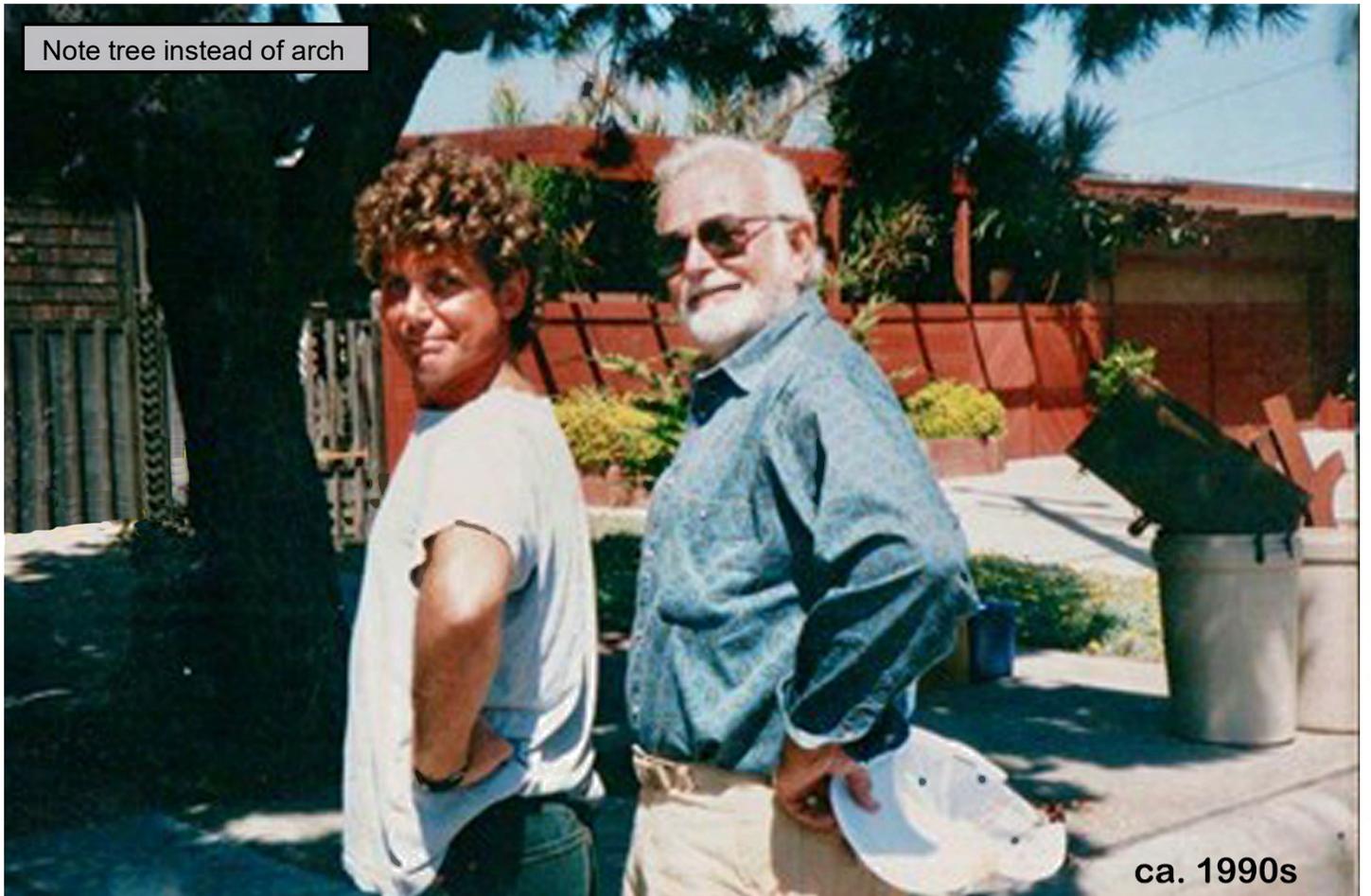


FIGURE 10: EXTERIOR 1990s

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Personal Communications

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Steve Maul

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June 27, 2022

Stuart and Natalie Orgill
1321 Upland Drive #6962
Houston, TX 77043

SUBJECT: Updated Environmentally Sensitive Habitat Area Delineation for 3009 Beachcomber Drive Property (APN: 065-233-139), City of Morro Bay, CA

Dear Mr. and Mrs. Orgill:

Sage Institute, Inc. (SII) is pleased to provide this updated delineation of the Environmentally Sensitive Habitat Area (ESHA) to the west of your 3009 Beachcomber Drive property (APN: 065-233-139) in the City of Morro Bay, California. A prior delineation for the subject property was conducted in 2018, and it is our understanding that the City has requested an updated analysis to verify the ESHA delineation. We have prepared this report at your request based on the property boundary information you provided, the City of Morro Bay General Plan, and background documents on a nearby property provided by the City. Further, the basis of the ESHA determination is SII Principal Biologist Jason Kirschenstein's field survey of the property conducted on June 20, 2022.

The field study included observations of existing conditions between the western property boundary and Morro Strand Beach to delineate the ESHA boundary with respect to the Coastal Act definition of ESHA per Section 30107.5 that states:

"Environmentally sensitive area" means any area in which plant or animal life or their habitats are either rare or especially valuable because of their special nature or role in an ecosystem and which could be easily disturbed or degraded by human activities and developments.

The City of Morro Bay General Plan Land Use, Open Space, and Conservation Elements does not have any ESHA mapped at the 3009 Beachcomber Drive property. General Plan Policy LU-60 allows for site specific ESHA mapping based on a field study to determine the precise location of the ESHA as follows:

Policy LU-60: The precise location and thus boundary line of the Environmentally Sensitive Habitat areas shall be determined based upon a field study paid for by the applicants and performed by the City or City's consultants and approved by City Council and/or their appointed designee. Prior to the approval of development on the site, including, but not limited to, a division of land, provision of public access, or restoration of the ESH. (LCP 213)

EXISTING CONDITIONS

In compliance with Policy LU-60, the SII field study documented existing conditions of the 3009 Beachcomber Drive property and lands to the immediate west towards the stabilized dunes and coastal strand to establish and justify the ESHA boundary. The existing conditions of the actual 3009 Beachcomber Drive parcel is a fully developed lot with the house, garage, and landscaped yard, as are the adjacent parcels to the north and south. The western edge of the 3009 Beachcomber residence includes a wooden deck and brick walkway with landscape plants (see attached Figure 1, and Figure 2 Photos 1 through 4). A coastal access "ally" runs between this parcel and the lot to the south (Photo 1). Driftwood Avenue (a "paper street") runs north/south along the western property boundary (Photo 2).

The area immediately westward of the parcel still supports a 100 percent cover of non-native iceplant (*Carpobrotus edulis*) reaching 65-feet to 85-feet to the west. There is an established foot trail of bare sand running north/south along the western edge of the ice plant mat. Similar to site conditions in 2018, the fringe of the ice plant appears to have been sprayed with herbicide as evidenced by one to two feet of dead iceplant debris (Photos 5 to 8).

To the west of the ice plant mat and footpath, the coastal dune scrub habitat remains intact in the stabilized dunes leading west to the coastal strand tidal zone (Photo 7). The coastal dune scrub along the edge of the footpath is still dominated by silver dune lupine (*Lupinus chamissonis*). The coastal dune scrub community also included dune ragwort (*Senecio blachmaniae*), beach primrose (*Camissoniopsis* sp.), beach bur (*Ambrosia chamissonis*), coyote brush (*Baccharis pilularis*), sweet clover (*Melilotus albus*), and Hooker's evening primrose (*Oenothera elata* ssp. *hookeri*).

ENVIRONMENTALLY SENSITIVE HABITAT AREA DELINEATION

Based on the existing conditions established by the field study described above, and the observed plant community compositions, the precise ESHA boundary remains unchanged from 2018 along the western edge of the of the living iceplant mat as depicted on Figure 1. This boundary was established based on the following site-specific conditions that are also illustrated in Figure 2 Representative Photographs.

- There is a clear ecotone (boundary) between the non-native iceplant mat and footpath that does not meet the ESHA definition as rare or especially valuable habitat, and the coastal dune scrub habitat considered rare and especially valuable that establishes the eastern ESHA limits.
- The ecosystem context of the iceplant mat and adjacent coastal dune scrub plant community is delineated by a clear and narrow ecotone running north/south establishing the precise boundary of the ESHA between the two plant communities.
- Figure 1 shows the ESHA line and a 50-foot ESHA setback buffer that is well away from the parcel boundary with the 15 to 35 feet to the edge of the buffer to the parcel boundary.

SUMMARY AND CONCLUSIONS

In general, site conditions remain unchanged from when the prior delineation was conducted in 2018. The eastward ESHA limits are established in the field by the clear and distinct ecotone between the non-native iceplant mats and the diverse native coastal dune scrub plant community. The ESHA line was established along the fringe of living iceplant as the closest point to the 3009 Beachcomber Drive parcel. The 50-foot ESHA setback buffer falls within the iceplant mat from 15 to 35 feet to the west of the parcel (basically the zone of the "paper street" Driftwood Avenue). As such, no impacts or any adverse effects on the ESHA would be expected by any activities within the 3009 Beachcomber Drive parcel.

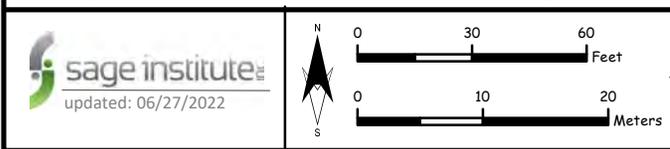
Thank you very much for using SII for your environmental consulting services. Please contact me directly if you have any questions or need any additional information.

Sincerely,



Jason Kirschenstein, Principal Biologist / V.P.

ATTACHMENTS: Figure 1 – ESHA Delineation
Figure 2 – Representative Photographs



3009 Beachcomber Drive

Environmentally Sensitive Habitat Area Delineation

Figure 1

ESHA Delineation



Photo 1: View east at 3009 Beachcomber Drive property (red arrow) from edge of ESHA at iceplant mat.s Coastal access "ally" between properties (yellow arrow). 6/20/2022



Photo 2: View north at west property boundary along edge of brick walkway with landscape plants and iceplant mat. "Paper Street" Driftwood Ave runs west of property. 6/20/2022



Photo 3: View northwest from southwest property corner across iceplant mat leading out to ESHA line (arrow) 65 to 85 feet away. 6/20/2022



Photo 4: View south at west property boundary along edge of brick walkway with landscape plants and iceplant mat. "Paper Street" Driftwood Ave runs west of property. 6/20/2022



Photo 5: View south from NW corner of ESHA line along living iceplant mat at ecotone of footpath & coastal dune scrub habitat dominated by silver lupine. 6/20/2022

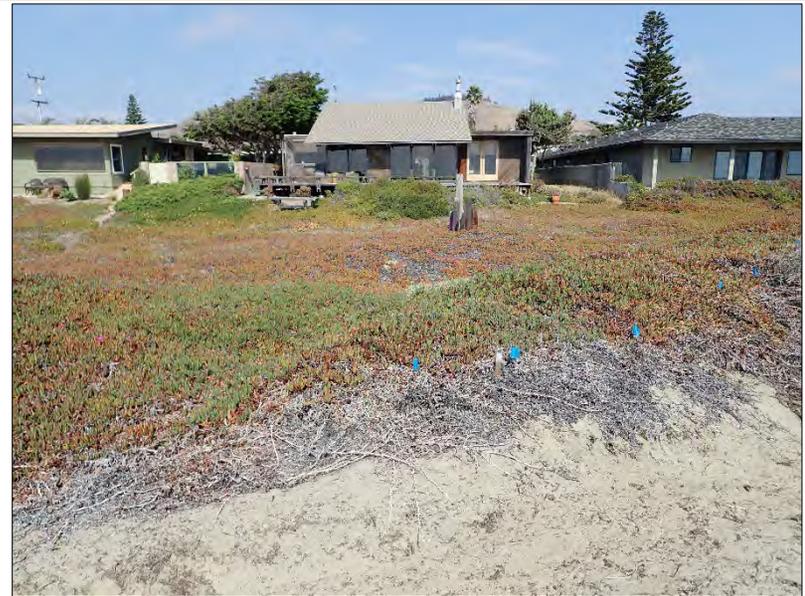


Photo 6: View west at ESHA line (blue pin flags) along living iceplant mat at ecotone of footpath. Property line 65-85 feet east of ESHA line. 8/21/2018



Photo 7: View north from SW corner of ESHA line (blue pin flags) along living iceplant mat at ecotone of footpath & coastal dune scrub habitat dominated by silver lupine. 6/20/2022



Photo 8: View northeast from SW corner of ESHA line across iceplant mat to property boundary. 6/20/2022



Planning Commission

APPLICATION FOR COASTAL DEVELOPMENT PERMIT
(CDP22-023)

FOR NEW HOME ON
3009 BEACHCOMBER DRIVE
DECEMBER 20, 2022



Site Information

- Located on Beachcomber Drive, with the west side adjacent to the coastal dunes
- 8,100 sf lot (60x135)
- Existing home built in 1971



Historic Building Assessment

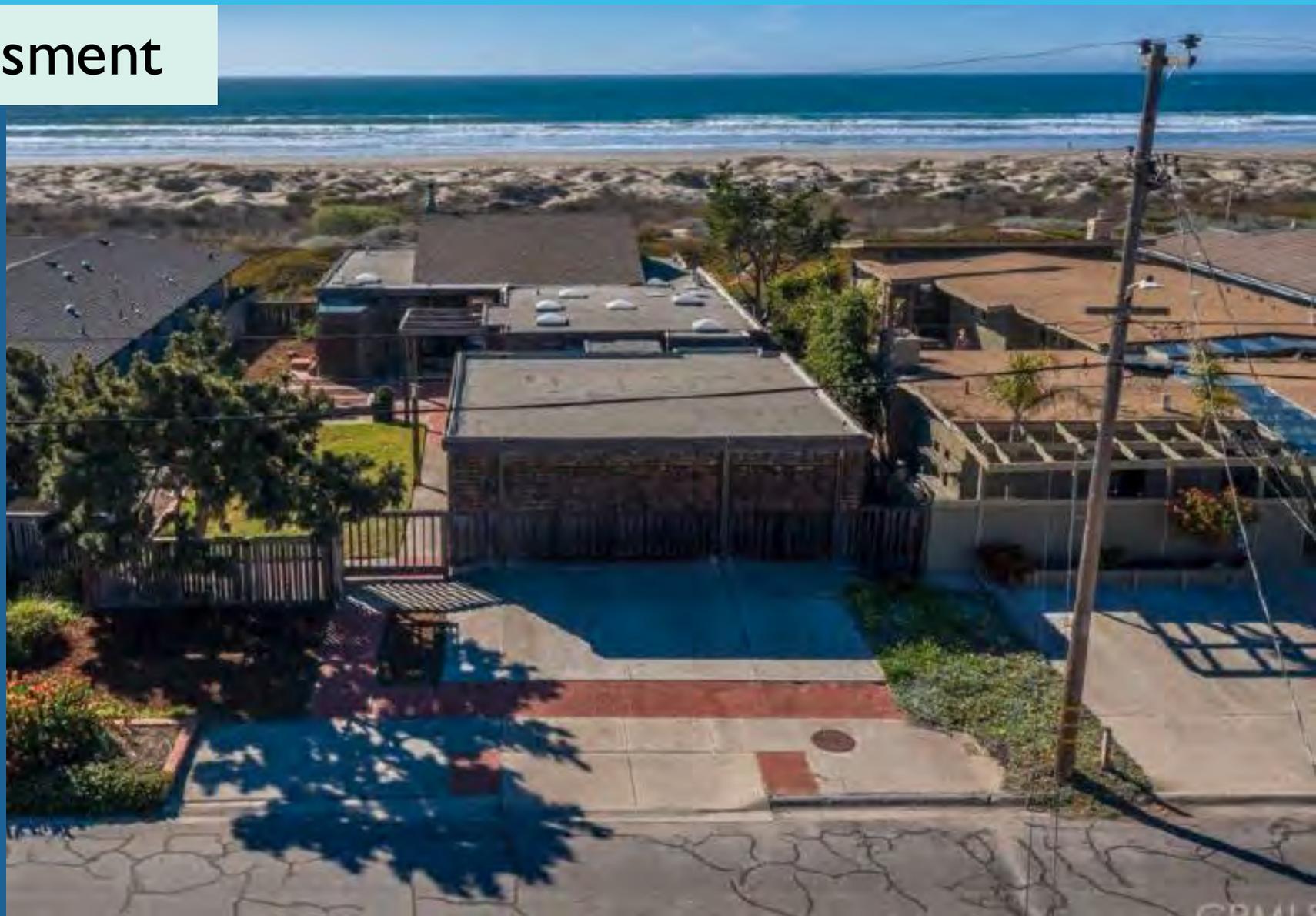
- This home was designed by James Maul, noted local architect as his own residence.
- Is not on any historic registry, but is noted as locally historically significant

James Maul designs involved simple forms, rustic materials with strong integration into native landscapes



Historic Building Assessment

- A structural review of the home found structural water damage, cracked foundations, water damage around doors and windows.
- An updated Historic Building Assessment agreed with the structural report findings and requested archival photos be taken of the home prior to demolition.



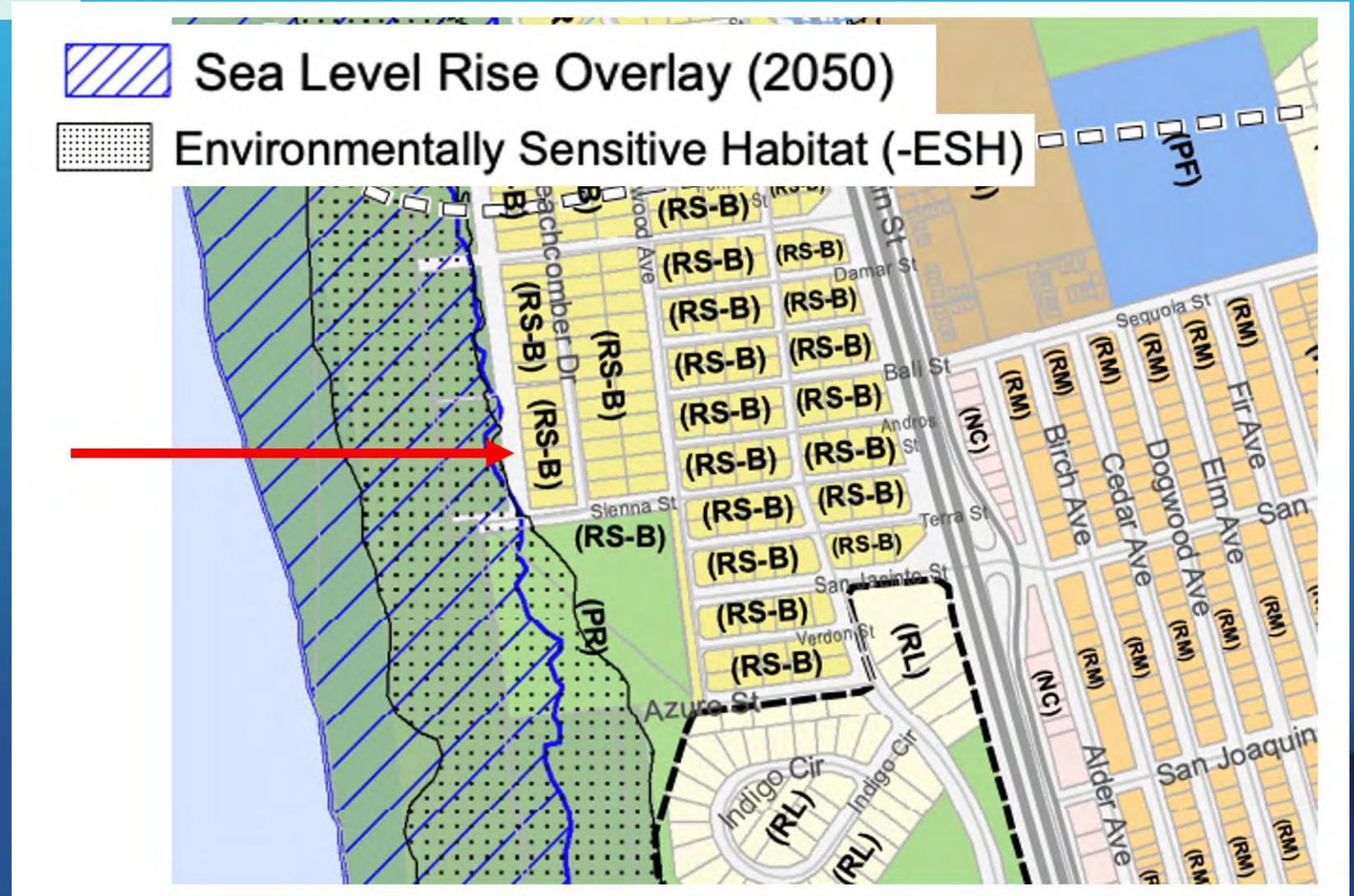
Environmental Investigation



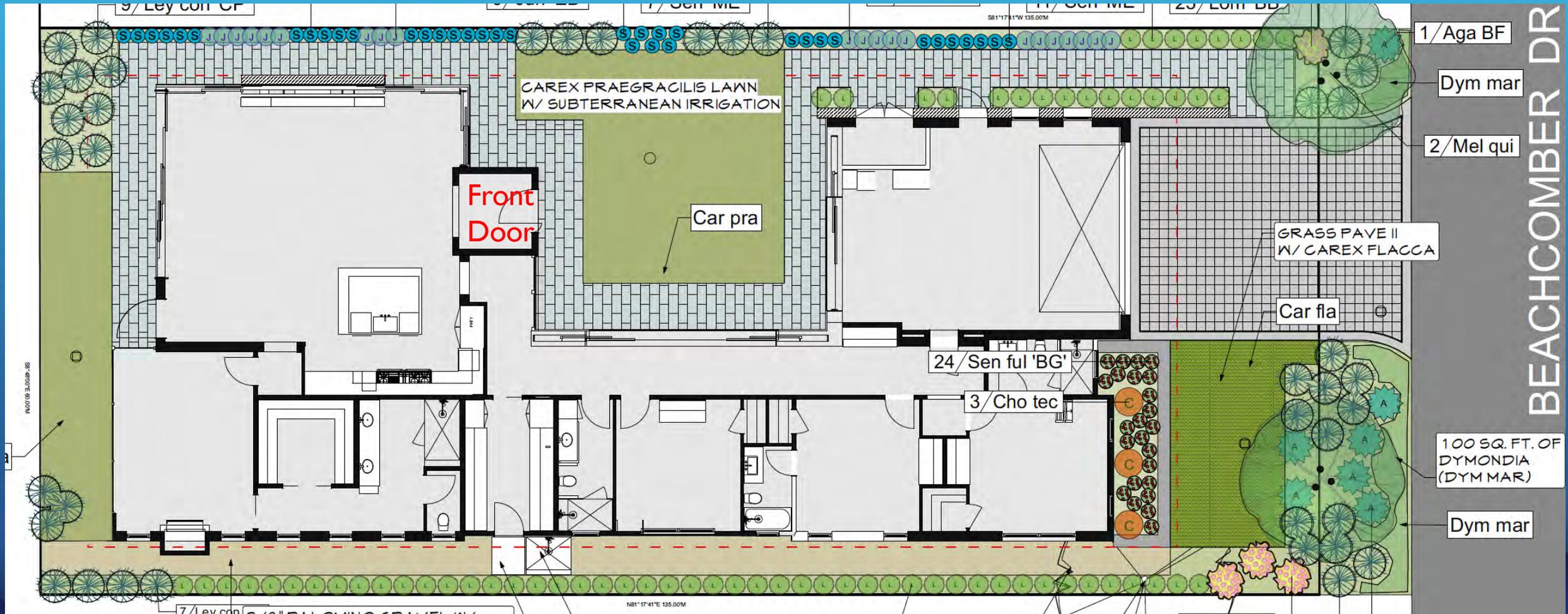
Sage Institute determined the ESH limits and 50-foot buffer.
The property line is 15 feet away from the ESH buffer area
No effect to ESH from proposed work – bricks and hardscape materials
spilling onto the OA area will be removed.

Sea Level Rising Analysis

GeoSolutions analyzed the site for coastal hazard risks and found that the Sea Level Rise risk is minimal through 2100 based on the current modeling criteria.



Summary of Proposed Project



8100 sf parcel
3335 sf conditioned living space
715 sf garage/shop/trash area



Summary of Proposed Project



Site Zoning and Overlay areas

	R-1/S.2A Standards	Proposed Project
Front Setback	15 feet	20 feet
Side-Yard Setback	5 feet	5 feet minimum
Rear Setback	5 feet	8 feet
Height (from ANG)	14 feet, or up to 17 feet if 4/12 peaked roof design	14 feet (flat roof design)
Lot Coverage	50%	50%

Project meets all development standards



Material Board



BLACKENED STEEL
BEAMS, COLUMNS &
DETAILING



ITALIAN SLATE
NEOLITH PANELING



SMOOTH TROWEL FINISH
STUCCO "FOSSIL" BY KELLY
MOORE



CLEAR CEDAR EAVES & SIDING



RAMMED EARTH WALLS



Character of the Neighborhood



- The neighborhood is a blend of modern homes and mid-1970's homes.
- Most designs have garage and side yard fencing along the front setback.





Staff recommendation is for approval of Coastal Development Permit(CDP22-023) pursuant to the findings and conditions of approval included in Planning Commission Resolution 10-22

