



CITY OF MORRO BAY PLANNING COMMISSION AGENDA

The City of Morro Bay provides essential public services and infrastructure to maintain a safe, clean, and healthy place for residents and visitors to live, work and play.

**Regular Meeting -Tuesday, December 19, 2023
Veteran's Memorial Building – 6:00 P.M.
209 Surf Street, Morro Bay, CA**

Chairperson – William Roschen

Vice-Chairperson Mike Rodriguez
Commissioner Asia King

Commissioner Joseph Ingraffia
Commissioner Eric Meyer

Public Participation:

Remote public participation is allowed in the following ways:

- *Community members may attend the meeting in person at the Morro Bay Veterans Hall*
- *Members of the public may watch the meeting and speak during the general Public Comment or on a specific agenda item by logging in to the Zoom webinar using the information provided below. Please use the "raise hand" feature to indicate your desire to provide public comment.*

Please click the link below to join the webinar:

- <https://us02web.zoom.us/j/82722747698?pwd=aWZpTzcxTHlRTk9xaTlmVVNWRWFUQT09>

Password: 135692

- *Or Telephone Attendee: 1 (408) 638-0968 or 1 (669) 900 6833 or 1 (346) 248 7799; Webinar ID: 827 2274 7698; Password: 135692; Press * 9 to "Raise Hand" for Public Comment*
- *Alternatively, members of the public may watch the meeting either on cable Channel 20 or as streamed on the City [website](#).*
- *Community members are encouraged to submit agenda correspondence in advance of the meeting via email to the Planning Commission at planningcommission@morrobayca.gov prior to the meeting. Agenda correspondence received at planningcommission@morrobayca.gov by 10 a.m. on the meeting day will be posted on the City website.*

ESTABLISH QUORUM AND CALL TO ORDER
MOMENT OF SILENCE/PLEDGE OF ALLEGEANCE
PLANNING COMMISSIONER ANNOUNCEMENTS

PUBLIC COMMENT

Members of the audience wishing to address the Planning Commission on City business matters not on the agenda may do so at this time. For those desiring to speak on items on the agenda, but unable to stay for the item, may also address the Planning Commission at this time.

PRESENTATIONS

A. CONSENT CALENDAR

- A-1** Current and Advanced Planning Processing List
Staff Recommendation: Receive and file.
- A-2** Approval of minutes from Planning Commission meeting of September 19, 2023.
Staff Recommendation: Approve minutes as submitted.
- A-3** Approval of minutes from Planning Commission meeting of October 3, 2023.
Staff Recommendation: Approve minutes as submitted.
- A-4** Approval of minutes from Planning Commission meeting of October 17, 2023.
Staff Recommendation: Approve minutes as submitted.

B. PUBLIC HEARINGS

- B-1** **Case No.:** CUP 22-09
Site Location: 801 Embarcadero, Morro Bay, CA
Proposal: Conditional Use Permit request (Concept/Precise Plan) for demolition/reconstruction of Libertine Building. The project proposes demolition of a majority of 4,677sf two story building & basement as 5,206sf mixed-use building adding an additional 529sf. Proposed new 7-unit hotel on the second floor with public viewing deck, restaurant, coffee shop and upgraded basement for Libertine Brewing. Site improvements include public coastal access improvements including new 15' wide Harborwalk gap extension, new pilings, reconstruction of existing side-tie dock with ramp, master sign program approval, and public access improvements to the adjacent street end by removing public parking in the street end to create a public plaza and related site improvements. The lease site property is in the WF/PD/S.4 zone & located within Coastal Commission original jurisdiction.
CEQA Determination: Exempt under Section 15302, Class 2.
Staff Recommendation: Forward recommendation to City Council to conditionally approve CUP22-09.
Staff Contact: Cindy Jacinth, Planning Manager, (805) 772-6577, cjacinth@morrobayca.gov

C. NEW BUSINESS

D. UNFINISHED BUSINESS

E. PLANNING COMMISSIONER COMMENTS/FUTURE AGENDA ITEMS

F. COMMUNITY DEVELOPMENT DIRECTOR COMMENTS

G. ADJOURNMENT

Adjourn to the next regular Planning Commission meeting at the Veteran's Memorial Building, 209 Surf Street, on January 2, 2024, at 6:00 p.m.

PLANNING COMMISSION MEETING PROCEDURES

This Agenda is subject to amendment up to 72 hours prior to the date and time set for the meeting. Please refer to the Agenda posted at the Community Development Department, 955 Shasta Avenue, for any revisions, or call the Department at 805-772-6264 for further information.

Written testimony is encouraged so it can be distributed in the Agenda packet to the Commission. Material submitted by the public for Commission review prior to a scheduled hearing should be received by the Planning Division at the Community Development Department, 955 Shasta Avenue, no later than 5:00 P.M. the Tuesday (eight days) prior to the scheduled public hearing. Written testimony provided after the Agenda packet is published will be distributed to the Commission but there may not be enough time to fully consider the information. Mail should be directed to the Community Development Department, Planning Division.

This Agenda may be found on the Internet at: www.morrobayca.gov/planningcommission or you can subscribe to Notify Me for email notification when the Agenda is posted on the City's website. To subscribe, go to www.morrobayca.gov/notifyme and follow the instructions.

The Brown Act forbids the Commission from taking action or discussing any item not appearing on the agenda, including those items raised at Public Comment. In response to Public Comment, the Commission is limited to:

1. Responding to statements made or questions posed by members of the public; or
2. Requesting staff to report back on a matter at a subsequent meeting; or
3. Directing staff to place the item on a future agenda. (Government Code Section 54954.2(a))

Commission meetings are conducted under the authority of the Chair who may modify the procedures outlined below. The Chair will announce each item. Thereafter, the hearing will be conducted as follows:

1. The Planning Division staff will present the staff report and recommendation on the proposal being heard and respond to questions from Commissioners.
2. The Chair will open the public hearing by first asking the project applicant/agent to present any points necessary for the Commission, as well as the public, to fully understand the proposal.
3. The Chair will then ask other interested persons to present testimony either in support of or in opposition to the proposal.
4. Finally, the Chair may invite the applicant/agent to respond to the public testimony. Thereafter, the Chair will close the public testimony portion of the hearing and limit further discussion to the Commission and staff prior to the Commission taking action on a decision.

APPEALS

If you are dissatisfied with an approval or denial of a project, you have the right to appeal this decision to the City Council up to 10 calendar days after the date of action. Pursuant to Government Code §65009, you may be limited to raising only those issues you or someone else raised at the public hearing described in this notice, or in written correspondence delivered to the Commission, at, or prior to, the public hearing. The appeal form is available at the Community Development Department and on the City's web site. If legitimate coastal resource issues related to our Local Coastal Program are raised in the appeal, there is no fee if the subject property is located with the Coastal Appeal Area. If the property is located outside the Coastal Appeal Area, the fee is a \$277 flat fee. If a fee is required, the appeal will not be considered complete if the fee is not paid. If the City decides in the appellant's favor then the fee will be refunded.

City Council decisions may also be appealed to the California Coastal Commission pursuant to the Coastal Act Section 30603 for those projects that are in their appeals jurisdiction. Exhaustion of appeals at the City is required prior to appealing the matter to the California Coastal Commission. The appeal to the City Council must be made to the City and the appeal to the California Coastal Commission must be made directly to the California Coastal Commission Office. These regulations provide the California Coastal Commission 10 working days following the expiration of the City appeal period to appeal the decision. This means that no construction permit shall be issued until both the City and Coastal Commission appeal period have expired without an appeal being filed. The Coastal Commission's Santa Cruz Office at (831) 427-4863 may be contacted for further information on appeal procedures.

In compliance with the Americans with Disabilities Act, if you need special assistance to participate in this meeting, please contact the Community Development Department at (805) 772-6264. Notification 24

Planning Commission Meeting of December 19, 2023

hours prior to the meeting will enable the City to make reasonable arrangements to ensure accessibility to this meeting.



City of Morro Bay
 Community Development Department
 Current & Advanced Project Tracking Sheet
 This tracking sheet shows the status of the work being processed by the Planning & Building Divisions
 New Planning items or items recently updated are highlighted in yellow.
 Approved projects are deleted on next version of log.

Agenda No: A-1
 Meeting Date 12-19-2023

| # | Applicant/ Property Owner | | | Application Date | Permit Numbers | Project Description/Status | Planning Comments and Notations | Building/Fire Comments and Notations | Engineering Comments and Notations | Harbor/Admin Comments and Notations | Project Planner |
|--|-------------------------------------|------|----------------|------------------|---|---|--|--------------------------------------|------------------------------------|-------------------------------------|-----------------|
| Hearing or Action Ready Projects: | | | | | | | | | | | |
| 1 | California Coastal Investments, LLC | 801 | Embarcadero | 6/28/2022 | CUP22-09 | Concept/Precise Plan CUP for mixed-use redevelopment of the Libertine Brewing Co. building to convert existing second floor to 7 hotel units and first floor as mix of restaurant, coffee shop, outdoor dining, provision of new public access improvements including extension of Harborwalk | Under review. Incomplete letter sent 7/27/22. Resubmitted 1/27. Corrections letter sent 3/17/23. Resubmittal received and corrections requested. Met with applicant 7/5/23 to discuss outstanding items. Resubmitted 8/1/23.. Project deemed completed and tentatively scheduled for 12/19/23 PC hearing. | BLDG. - Disapproved 2/10/23 CO | | | cj |
| 2 | Escape Hospitality | 295 | Atascadero Rd | 11/14/2023 | MIN23-004 | Minor Modification (MIN23-004) to Conditional Use Permit #CUP19-013/Coastal Development Permit #CDP19-039 for the conversion of existing 2nd floor storage room to create 2 additional hotel rooms to existing 83 unit hotel. The project consists of interior changes only and does not increase the square footage or height of the hotel and complies with the parking requirements. | Deemed Complete 11/28. Noticing period from 11/29 to 12/11. Administrative decision on or after 12/12. | | | | st |
| 3 | Murphy | 450 | La Jolla | 10/18/2023 | CDP23-021 | Garage Conversion to 303 sf JADU | Incomplete letter sent 11/14. Resubmitted 11/27. Deemed complete 12/5. Noticing period from 12/5 to 12/15. Administrative decision on or after 12/18. | | | | st |
| 4 | Salbi | 450 | Marina | 12/19/2022 | CDP22-043 / PKG23-05 | Admin CDP for two story single family home with garage and Accessory Dwelling Unit | Incomplete letter sent January 13th, resub on 2/7/23, under review, incomplete letter sent 3/2/23, resubmit 3/27/23, incomplete letter sent 4/10/23, Incomplete letter sent 4/12/23. Submitted for parking exception 7/24. Deemed Complete 8/11. Noticing Period from 8/15-8/28. Permit not issued due to public comments requesting changes to project. Staff in discussion with applicant. | BLDG. - Approved 3/2/23 CO | | | st |
| 30 -Day Review, Incomplete or Additional Submittal Review Projects: | | | | | | | | | | | |
| 5 | Tesla | 390 | Morro Bay Blvd | 12/5/2023 | CDP23-026 | New electric vehicle charging station with solar conopy. | Under review | | | | st |
| 6 | Camargo | 431 | Rockview | 11/29/2023 | MIN23-005 | Minor Modification for the replacement of a 400 sf deck within the front setback due to the restrictive topography of the property. | Under review | | | | st |
| 7 | Arnold | 2870 | Cedar | 10/23/2023 | CDP23-017 | New 2,380 sf Single Family home with an attached 1,115 sf ADU and 468 sf garage. | Incomplete letter sent 11/16. | | | | st |
| 8 | Kirkley | 456 | Panay | 10/17/2023 | CDP23-020 | Admin CDP for 315sf attached ADU to an existing 871sf single story home. | Incomplete letter sent 10/31/23 - Awaiting resubmittal | Bldg. - Disapproved 10/23/23 | | | ao |
| 9 | Acree | 2970 | Cedar | 10/12/2023 | CDP23-018 | 802 sf addition to existing 1200 sf single family home. New 1007 sf ADU | Planning disapproved 10/31. Waiting for PW and Fire to review before sending incomplete letter. Incomplete letter sent 11/6. | | | | st |
| 10 | Baston | 551 | Embarcadero | 10/11/2023 | CR23-010 | Conceptual Review (no application) of potential redevelopment of city lease site at 551 Embarcadero for a mixed use development of hotel and retail use. | Under review. Project comments on conceptual review sent 11/22/23. | | | | cj |
| 11 | Eiseman | 541 | Atascadero Rd | 8/17/2023 | MAJ23-003 (modification to CUP21-09 and CDP21-029 still processing) | Major modification while processing for a 4 unit attached home project | Planning comments sent October 19, 2023, requires resubmittal. Requires environmental, updated proposal received - contract with consultant complete, waiting for approval of reimbursement agreement. | | | | nh/cj |
| 12 | Wood | 260 | Pacific | 8/3/2023 | CDP23-015 | CDP for a new 748 sf ADU and a new 958 sf 3-car garage to replace the existing 2-car garage | Incomplete letter sent 8/31. | | | | st |
| 13 | Champi | 460 | Errol | 7/19/2023 | TUP23-02 | Temporary Use Permit for fencing and outdoor storage to assist with storm cleanup | Received submittal, under review. Planning disapproved August 15, 2023, requires a resubmittal. | | | | nh/cj |
| 14 | Gumm | 735 | Napa | 6/15/2023 | CDP23-010 | Convert three retail spaces into 3 residential units | Planning Review completed - need PW comments. Comments provided to applicant on 7/16/23, Requires a resubmittal. Due to the cost of the PW frontage improvement requirements, the property owner may change direction and withdraw request for new housing approval and proceed with new commercial uses in the existing spaces. | | | | nh/st |
| 15 | Iwanicha | 640 | Elena | 6/8/2023 | CDP23-011 | Remodel and addition to existing 2 bedroom/1 bath home | Planning disapproved the project on 7/27/23, requires response to comments and a resubmittal. | | | | nh/st |
| 16 | Morro Rock LLC | 1260 | Main | 5/23/2023 | CDP23-009 | Convert existing building into 5 new hotel rooms associates with the Masterpiece Hotel | Under review, requires new zoning code - on hold until new zoning code is certified by CCC | | | | nh/st |

| # | Applicant/ Property Owner | | | Application Date | Permit Numbers | Project Description/Status | Planning Comments and Notations | Building/Fire Comments and Notations | Engineering Comments and Notations | Harbor/Admin Comments and Notations | Project Planner |
|----|---------------------------|------|----------------|------------------|------------------------------|--|---|--------------------------------------|------------------------------------|-------------------------------------|-----------------|
| 17 | Boges | 640 | Kings | 3/30/2023 | CDP23-006 | New detached 908sf ADU with attached to a 720sf garage below. | Incomplete Letter sent 4/20 | BLDG. - Disapproved CO | | | gc/st |
| 18 | Newman | 961 | Balboa | 3/27/2023 | CDP23-005 | Admin CDP for a new 2058 sf house with an attached 409 sf garage and 185 sf storage space with a 450 sf ADU . | Under review. Incomplete Letter sent 4/20. Resubmitted 11/20, under review. | BLDG. - Approved 4/10/23 CO | | | st |
| 19 | Gillen | 495 | Embarcadero | 3/7/2023 | CUP23-04 | Conceptual Review (no application) of potential redevelopment of city lease site at 495 Embarcadero as a mixed use development of hotel, restaurant, and retail uses. | Under review. Project needs Consent of Landowner. Applicant requested to put application on hold. | BLDG. - COND Approved CO | | | cj |
| 20 | McDonald | 300 | Sicily St | 1/31/2023 | CDP23-002 | New 2155 s.f. SFR w/ attached 284 s.f. garage and 409 s.f. decking on a vacant lot . | Incomplete letter sent 3/13/2023. Resubmitted 12/7, application for Minor Use Permit, as well as new code needed for approval. | BLDG. - Approved 2/10/23 CO | | | gc/st |
| 21 | Gonzalez | 590 | Radcliff | 10/25/2022 | CDP22-034 | Admin CDP for a new 1,956 two story SFR with a 522sf attached garage and 640sf second story deck. | Under review. Planning disapproved and incomplete letter sent on 11/22/22. | BLDG. - Approved 10/27/22 CO | | | gc/st |
| 22 | MSA Architects | 2417 | Greenwood Ave. | 8/24/2022 | CDP22-030 | Admin CDP to develop a new 562 detached ADU | Incomplete letter sent on 9/12/22, resubmittal on 10/26, under review, minor edits request on 11/17, withdrawn. | BLDG. - Approved 8/25/22 CO | | | gc /st |
| 23 | Shepler | 2181 | Sunset Ave | 8/24/2022 | CDP22-029 | CDP Application for a new third dwelling and one ADU on a property with two existing homes | Comment letter sent on 9-5-22. Resubmittal received 10/24/22, planning requires minor changes and sent letter November 10, 2022. Requires resubmittal. | BLDG. - Approved 8/25/22 CO | | | nh/st |
| 24 | Kersten | 1358 | Prescott | 7/27/2022 | CDP22-024 | Admin CDP for partial conversion of an existing (522sf) attached garage into a single story 276sf ADU. | Incomplete letter sent on 08/09/22 | BLDG. - Approved 8/9/22 CO | | | gc/st |
| 25 | McDonald | 471 | Panay | 6/1/2022 | CDP22-019 | Admin CDP for the new construction of a two story residence | Incomplete Letter Sent 6/14 | BLDG. - Approved 6/14/22 CO | | | gc/st |
| 26 | Vanderbyl | 531 | Yerba Buena | 4/20/22 | CDP22-015 | Admin CDP for shed conversion into 468 sf ADU | Correction Letter send 5/12/22. Resubmittal received 7/21/22 - review comments sent on August 6, 2022, requires resubmittal. Resubmittal received and planning disapproved based on fire/life/safety issues on 10/24/22. Resubmittal required. | BLDG. - COND Approved 5/11/22 CO | | | nh/st |
| 27 | Hartman | 320 | Orcas St | 4/14/22 | CUP22-07/ CDP22-010 | New SFR with attached garage to replace home destroyed in fire | Correction letter sent 5/1/22. Resubmittal received March 28, 2023. Planning comments sent on April 10, 2023, project requires resubmittal with changes. Planning Comments sent - requires a resubmittal. Resubmittal received and under review. Planning comments sent 5/17/23, requires a resubmittal. Project designed for new zoning code, so needs to wait for the code certification, or redesign to the existing code. Comments provided 7/10/23, project on hold pending decision by applicant. Applicant received clarification as to the options they have to proceed, they will get back to us and let us know if they are waiting for the new zoning code to be certified. No new information from applicant as of 10/30/23. | BLDG. - Approved 3/30/23 CO | | | nh/st |
| 28 | Morro 94 LLC | 3300 | Panorama | 1/18/2022 | CUP 22-05/CDP22-003/TTM22-02 | Submittal of combined concept and precise plan review for 61 unit subdivision. Project revised to 48 total housing units. | Received and under review. Notify Me account set up to provide information and publically available documents on the project. Subdivision Review committee meeting scheduled. Project comment letter sent 2/18/22, requires resubmittal and environmental review. Planning consultant team is preparing to hold a neighborhood meeting April 20, 2022 at Del Mar Elementary School at 6pm. City working with selected environmental consultant on contract and owner reimbursemet agreements. TTM resubmittal received October 10, 2022, under review. Tentative Tract Map disapproved on Novem ber 2, 2022. REquires resubmittal with the CUP/CDP plans in order to be processed together. Environmental review is under contract and work has commenced. Anticipate process to take 6-9 months to complete. Resubmittal information received, planning and public works comments sent. Scheduled for a conceptual review at a PC hearing November 7, 2023. Project requires modifications based on the PC comments and resubmittal. | BLDG. - Approved 2/14/22 CO | | | nh/cj |
| 29 | Morro Bay LLC (Keller) | 1108 | Front Steet | 11/8/21 | MAJ21-007 | Major Modification permit for Expansion and extensive remodel of second floor short term rental unit. | Planning comments sent 11/23/21, requires resubmittal. Applicant put this application on hold until the adoption of the new zoning code (i.e. includes street setbacks closer to the actual placement of the building) (needs the IP sections to be final via CCC approval) | BLDG. - Approved 11/17/21 CO | | | nh/st |
| 30 | Shorey | 545 | Atascadero Rd | 3/30/21 | CUP21-04/CDP21-013 | Proposed 16 units of new townhomes on sloped vacant parcel | Project was reviewed and comments provided in 2021. Applicant requested to keep the project open and has been working with public works and caltrans on utility requirements and frontage improvements. Project resubmitted for review on April 19, 2023 - under review by all departments. Planning deemed project complete on 5-23-23. Requires environmental study before scheduling for PC hearing. Environmental consultant contract and related reimbursement agreement are under review. | | | | nh |
| 31 | Vistra | 1290 | Embarcadero | 12/28/20 | CDP20-026 & CUP20-14 | Battery Energy Storage System (BESS) - New proposed project to construct 600MW BESS on old tank farm north of existing Morro Bay Power Plant. BESS to be constructed as 3 separate buildings, 30 feet in height plus 10 feet of screening for rooftop equipment. | Under initial review. Project deemed incomplete and incomplete letter sent 1-21-2021. Applicant resubmittal received 2-17-2021 and under review currently. Project deemed complete for processing on 2/23/2021. Project plans and documents being evaluated. Environmental review process in progress. NOP released and two scoping meetings held on 6/21/22 and 6/29/22. Environmental review and analysis still in process. | BLDG. - Approved 3/11/21 CO | | | cj |
| 32 | | 1290 | Embarcadero | | Master Plan | Morro Bay Power Plant Master Plan | The Master Plan for the Power Plant property was initiated in 2022 as a result of General Plan/LCP Policy LU-5.4 which requires a master plan be developed as a result of the planning permit application for the Battery Energy Storage System Project. Master Plan community workshop was held 9/14/22. Survey on the Master Plan done and tabulations still in process. The survey was done to seek additional community feedback on development of the Master Plan. The survey focused on the community's land use preferences, circulation improvements, and design amenities for the overall property. | | | | cj |

Projects Appealed to Planning Commission or PC Continued projects - none

Projects Appealed or Forwarded to City Council - none

| # | Applicant/ Property Owner | | | Application Date | Permit Numbers | Project Description/Status | Planning Comments and Notations | Building/Fire Comments and Notations | Engineering Comments and Notations | Harbor/Admin Comments and Notations | Project Planner |
|---|---------------------------|------|----------------|------------------|----------------|---|---|--------------------------------------|------------------------------------|-------------------------------------|-----------------|
| 33 | City of Morro Bay | | City-wide | - | MAJ23-004 | Plan Morro Bay: Zoning Code / Implementation Plan (IP) Amendments and GP/LCP Land Use and Zoning Map amendment for Dog Beach parcels APN 065-022-009 and 065-022-011 | The City Council adopted a new Zoning Code/ Implementation Plan (IP) on November 22, 2022 (Ordinance 654). A series of Zoning Code/IP Amendments is proposed for adoption as a result of the City's LCP amendment application currently pending with the Coastal Commission. This includes additional chapters to be added to the IP per Coastal Act requirements and miscellaneous City clean-up amendments. In addition the amendments include a proposed change to correct a technical error with the land use and zoning designatuaion fora poriton of Dog Beach to change from Agriculture back to the correct designation of Open Space (OS). PC hearing 9/19/2023. and continued to 10/3. The 10/3 meeting to also include review of change to two Preston Lane properties from residential to industrial to correct previous land use/zoning error where existing on-the-ground land use is industrial. Planning Commission moved to forward recommendation for approval to City Council at its 10/3/23 public hearing. Scheduled to review adoption of Zoning Code/IP Amendments at 11/14/23 Council meeting. Additional Zoning Map amendments reviewed by PC on 11/7/23 to correct inconsistencies recently discovered between Zoning Map and Land Use Map (#MAJ23-005). City Council hearing for adoption of Ordinance held on 11/14/23, with second Ordinance reading to be on 12/12/23. | | | | cj/sg |
| 34 | City of Morro Bay | | City-wide | - | | Objective Design Standards draft (Zoning Code/ Implementation Plan amendment) to be added as Zoning Amendment Chapter 17.31 | Objective Design Standards drafted as a result of 2020-2028 Housing Element Implementation grant funding. The Objective Design Standards are proposed to be added as an amendment to the Zoning Code (Chapter 17.31). Continued from 5/16/23 PC meeting. Hearing held on 6-6-23 with a continuance to 7-18-23. PC continued to August 15, 2023. PC provided recommendation to forward to CC. CC hearing for adoption of Ordinance 661 held on 11/14/23 and second Ordinance reading to be on 12/12/23. | | | | nh |
| Environmental Review - none | | | | | | | | | | | |
| Final Map Under Review Projects: | | | | | | | | | | | |
| 35 | Huber | 2783 | Coral Ave | 8/30/22 | TTM22-03 | 5 unit residential subdivision | Planning approved, forwarded to PW. | BLDG. - Approved 4/14/22 CO | | | nh |
| Projects going forward to Coastal Commission for review (Pending LCP Amendments) / or State Department of Housing - none | | | | | | | | | | | |
| Grants: | | | | | | | | | | | |
| 36 | City of Morro Bay | | City-wide | | | Community Development Block Grant/HOME Program - Urban County Consortium | Staff has ongoing responsibilities for contract management in coordination with County staff administraiton. City Council approved Cooperation Agreement for 2021-2023 CDBG Program Years at 5/26/20 Council meeting. Notice of Funding Availability for 2023 Program Year released fall 2022. Council draft recommendations considered 12/22 and final funding recommendations to be on 3-28-2023 to forward to County Board of Supervisors for inclusion in their Annual Action Plan 4/18/23. 2024 Notice of Funding Availability now accepting applications. Applications available from County Dept of Social Services and due 11/5th | No review performed. | N/R | | cj |
| 37 | City of Morro Bay | | City-wide | | | Climate Action Plan - Implementation | Staff has ongoing responsibilities for implementation of Climate Action Plan as adopted by City Council January 2014. Staff coordinating activities with other Cities and County of SLO via APCD. | | | | cj |
| Projects in Building Plan Check: | | | | | | | | | | | |
| 38 | Castillo | 1055 | Allesandro St. | 6/3/2021 | B21-0097 | 250 sf addition to rear of existing SFR, addition creates two bedrooms and one full bath. | Planning approved 10/16/23 | Bldg. - Approved 10/16/23 | | | st |
| 39 | Castillo | 1055 | Allesandro St. | 7/25/2022 | B22-0158 | Jr. Accessory Dwelling Unit (JADU) - Existing bedroom in primary dwelling will be converted to JADU. | Planning approved 10/16/23 | Bldg. - Approved 10/16/23 | | | gc |
| 40 | Conway | 305 | Arbutus | 1/4/2023 | B22-0269 | DIGEPLAN - 390 sf addition, expanding lower level family room and 2nd level primary bedroom & bath, the remodel includes kitchen and relocating two bathrooms to accommodate the installation of new elevator. The addition creates a 2nd level 378 sf rear deck. | Planning approved 7/20/23 | Bldg. - Approved 6/12/23 | | | st |
| 41 | Goldstein | 186 | Bayshore Dr. | 11/4/20 | B20-0190 | Remodel kitchen, dining & living area. | Planning disapproved 11-6-20 | Bldg. - Approved 11/09/20 | | | sg |
| 42 | Carter | 2035 | Bayview Ave. | 8/5/21 | B21-0135 | New SFR, 1980 sf living, with 483 sf attached garage, 96 sf covered deck, 267 sf covered rear patio and 32 sf covered front porch. | Disapproved 8-26-21. am | Bldg. Disapproved 9/21/21 | | | cj |
| 43 | Perry | 3202 | Beachcomber Dr | 2/9/23 | B22-0264 | Demo existing, new construction of 2567 sf home iwth a 2424 sf subterranean garage on lower level and 963 sf roof deck. Home to be located on newly configured parcel (requires final TM) | Planning disapproved 2/19/23. nh Disapproved 6/15/23 - minor correction on title page. Approved 11/15/23 | Bldg. - Approved 6/20/23 | | | nh |
| 44 | Perry | 3230 | Beachcomber Dr | 2/9/23 | B22-0265 | New SFR on new parcel. Home is 1816 sf with a 471 sf garage and a roof deck. | Planning disapproved 2/19/23. nh Disapproved 6/15/23 - minor correction on title page. Approved 11/15/23 | Bldg. - Approved 6/20/23 | | | nh |

| # | Applicant/ Property Owner | | | Application Date | Permit Numbers | Project Description/Status | Planning Comments and Notations | Building/Fire Comments and Notations | Engineering Comments and Notations | Harbor/Admin Comments and Notations | Project Planner |
|----|------------------------------|---------|---------------|------------------|----------------|--|---|--------------------------------------|------------------------------------|-------------------------------------|-----------------|
| 45 | Sances | 515-A | Bernardo Ave | 10/19/23 | B23-0254 | DIGEPLAN - ATTACHED ADU, Converting existing interior space to an ADU at the rear lower level of an existing SFR | Planning disapproved 11/17/23 | Bldg. - Disapproved 11/17/23 | | | |
| 46 | Baker | 1288 | Berwick Dr. | 11/22/23 | B23-0307 | Install (1) prefabricated aluminum lattice patio cover, 15' x 8' onto existing slab and wall. Engineered by Four Seasons Bldg Products | Under review | Bldg. - Approved 11/28/23 | | | |
| 47 | Segovia | 2824 | Birch Ave. | 3/21/22 | B22-0057 | Cover patio, conversion to sunroom. | Disapproved 4/1/22 | Bldg. - Approved 3/24/22 | | | gc |
| 48 | Dillard | 1256 | Bolton | 3/30/22 | B22-0072 | Convert Unfinished Underfloor Space in 986 sf of conditioned livable space | Disapproved 4/7/22. Resubmittal approved 7/29/22. | Ready to issue | | | am |
| 49 | Engvall | 370 | Bonita | 5/22/23 | B23-0110 | Addition to existing SFR for a detached 554 sf ADU. | Planning approved 5/23/23 | Bldg. - Approved 11/2/23 | | | gc |
| 50 | Youngbauer & Harrison | | Cabrillo | 10/2/23 | B23-0244 | Remove 296sf of existing elevated decking, reconstruct approx 120sf of elevated decking/stairs, waterproof, new posts and railing of a 2nd story deck. New doors and windows (three in bedrooms), new siding on upper floor and new stucco on lower floor. | Planning Approved 10/3/23 | Bldg. - Approved 10/5/23 | | | sg |
| 51 | Meyer | 361 | Cerrito Place | 10/24/23 | B23-0272 | Remodel 307 sf of existing 4415 sf SFR, replace SGDs, install new plumbing fixtures, replace (1) bathroom, new lighting & receptacles, replace kitchen cabinets, new tile & flooring, new countertops | Planning approved 11/14/23 | Bldg. - Approved 10/25/23 | | | |
| 52 | Van Beurden Investments | 701-715 | Embarcadero | 8/14/23 | B23-0192 | Repair and maintenance to existing wharf and pilings. Remove a 580 sf windscreen and fish processing area, install new decking and railing to create a continuous accessible harborwalk connecting to existing North and South portions. Upgrade facade with board and batten siding and corrugated metal accents. | Under Review. Corrections required 9/25/23. cj | Bldg. - Approved 11/13/23 | | | cj |
| 53 | Zero Impact Solutions | 339 | Embarcadero | 10/24/23 | B23-0260 | DIGEPLAN - Installation of two, level 2 Electric Vehicle Chargers in the Tideland Park parking lot. Trenching for electrical at existing panel at restroom building to EV chargers, Includes four ports, one is van accessible and three are standard. | Under Review | Bldg. - Disapproved 11/1/23 | | | |
| 54 | TLC Family Enterprises | 833 | Embarcadero | 3/16/22 | B22-0052 | Addendum #1 to B20-0220 - Removal of parapet wall which requires removing steel post below and show railing on upper level. Revert back to cantilevered floor joists for hotel access walkway upstairs. | Disapproved 3-21-22. Resubmittal approve 7-11-23. cj | Bldg. - Approved 7/13/22 | | | cj |
| 55 | TLC Family Enterprises | 833 | Embarcadero | 9/13/23 | B23-0225 | Addendum #5 to B20-0220 - ADA Ramp, steps, and handrailing to meet elevation and make connection to neighboring / existing harborwalk. | Planning conditionally approved 9/21/23 | Bldg. - Approved 10/25/23 | | | cj |
| 56 | Guldenbrein | 481 | Estero Ave | 1/5/23 | B23-0003 | New fencing & retaining walls, exterior electrical grading & catch basin installation w/pump in front yard. (see plans) | Disapproved 1/19/23 | Bldg. - Disapproved 1/18/23 | | | st |
| 57 | Hakker | 733 | Harbor St | 9/22/23 | B23-0233 | DIGEPLAN - Construct 810sf detached (unconditioned) garage with electrical at rear of property, relocate existing shed, replace existing electrical panel at primary dwelling to 200 amp panel. | Planning approved 10/20/23 | Bldg. - Disapproved 10/23/23 | | | sg |
| 58 | Brice/Reiss | 2555-A | Hemlock Ave | 12/5/23 | B23-0311 | DIGEPLAN - Attached Accessory Dwelling Unit (ADU), 491 sf lower level addition to existing SFR creating new ADU with a 92 sf deck | Under review | Under review | | | |
| 59 | Duffy | 2865 | Ironwood Ave | 4/24/23 | B23-0087 | Addendum #1 to permit B22-0201 - 1. Lower floor existing 2x4 exterior walls were shown in new plan as 2x6, but were not shown as being "demo'd". 2. Additional SF has been built inside garage space. 3. Structural beans and corresponding footing in slab removed. | Planning approved 10/24/23 | Bldg. - Approved 10/23/23 | | | st |
| 60 | Sotelo | 2990 | Ironwood Ave | 3/2/23 | B22-0285 | DIGEPLAN - New three story SFR - 3799 sf living, 926 sf attached garage, with 2nd and 3rd floor decks totaling 210 sf, 562 sf covered patios and 535 sf under floor storage area. | Planning approved 8/2/23 | BLDG. - Approved 8/31/23 | | | gc |
| 61 | 1st Intrstate Bank of Oregon | 340 | Jamaica St | 10/27/23 | B23-0277 | Demolition of a 1,379 sf commercial structure (former Auto Body Builders), no proposed new development at this time. Asbestos removed, NESHAP survey approved per APCD. B-Contractor will sub out demo to specialty C-21 sub-contractor. | Planning disapproved 10/31/23 | Bldg. - Approved 11/1/23 | | | |
| 62 | Johnston | 2781 | Juniper Ave. | 6/2/21 | B21-0094 | New 463 sf 2nd story deck at rear of existing SFR, also replace five existing windows with three new sliding glass doors. | Planning disapproved 6/3/21. Planning approved resubmittal 7-20-21. | Ready to issue | | | sg |

| # | Applicant/ Property Owner | | | Application Date | Permit Numbers | Project Description/Status | Planning Comments and Notations | Building/Fire Comments and Notations | Engineering Comments and Notations | Harbor/Admin Comments and Notations | Project Planner |
|----|---|-----------|-----------------|------------------|----------------|---|---|---|------------------------------------|-------------------------------------|-----------------|
| 63 | Nordic Builders | 350 | Kern Ave | 11/15/23 | B23-0299 | Remodel kitchen, 2 bathrooms, laundry, replace some windows, raise ceilings in kitchen, bathroom and porch | Under review | Under review | | | |
| 64 | Gale | 550 | Kern Ave | 8/29/23 | B23-0209 | DIGEPLAN - New 2 story single family residence, 2412sf of living, 464sf attached garage, and 398sf 2nd story deck. Attached lower level ADU under B23-0210 | Planning disapproved 10/6/23 | Bldg. - Disapproved 10/5/23 | | | st |
| 65 | Gale | 550-A | Kern Ave | 8/29/23 | B23-0210 | DIGEPLAN - Attached ADU, 925sf lower level ADU, constructed with new 2 story single family residence under B23-0209 | Planning disapproved 10/6/23 | Bldg. - Disapproved 10/5/23 | | | st |
| 66 | Cia | 2551 | Koa Ave. | 2/23/22 | B22-0038 | New 3 bed 2.5 bath SFR w/attached 2-car garage. | Planning Approved resubmittal 6/28 | Ready to issue | | | gc |
| 67 | Daniels | 964 | Las Tunas St. | 8/3/21 | B21-0133 | Remodel the laundry room & add a bedroom, bathroom & hallway to the back of existing home in phase I. Phase 2, build a detached garage | Planning approved 5-12-22 | Bldg. - Approved 5/16/21 | | | sg |
| 68 | Kevorkian | 2615 | Laurel Ave. | 1/10/23 | B23-0005 | Addendum #1 to B22-0183, Change the deck configuration to reduce square foot to below existing square foot. | Planning disapproved and sent incomplete comment letter on 1/27/23. | Bldg. - Approved 1/17/23 | | | gc |
| 69 | Novell/Johnson | 273 | Main St. | 2/23/23 | B23-0038 | DIGEPLAN - 73 sf stairway addition to existing home to create interior connection between the upper and lower floors. | Planning disapproved 3/6/23. Resubmittal received and reviewed. Planning approved 9/1/23. | BLDG. - Disapproved 3/2/23 . Approved 8/29/23. Permit ready to issue. | | | cj |
| 70 | Drinkwater/ Rogall | 301 | Main St. | 12/6/23 | B23-0308 | DIGEPLAN - Remove and replace a 435 sf deck at the rear of home. Deck height is approximatley 36" | Under Review | Under review | | | |
| 71 | CenCal Enterprise, INC | 2030 | Main St. | 9/21/22 | B22-0232 | The scope of work has changed. Applicant is now proposing to convert an existing space into an office space, and staff is awaiting the withdrawal of MIN22-005 to proceed with the Building Permit review process. | Planning approved 1/11/23 | Bldg. - Disapproved 11/15/22 | | | gc |
| 72 | Micro Property Group LLC, Brian Der Vartanian | 2490 | Main St | 8/31/23 | B23-0216 | Commercial T.I. - Maintain existing restaurant use, demo drywall / all walls and ceilings, R&R walk-in freezer, R&M existing kitchen hood, install new & used kitchen fixtures, add emergency egress door in dining room, accessibility improvements, exterior ADA compliant ramps and striping. | Under Review. Disapproved 9/27/23. | Bldg. - Disapproved 9/28/23 | | | st |
| 73 | Central Coast Renewables | 3250 | Main St | 10/23/23 | B23-0269 | Addendum #1 to B22-0108 - 1) Relocate roll-up door from north elevation to west elevation in place of existing window. 2) No longer demolishing north portion, 170 sf included to structure. 3) Adding new pre-fab awning in place of existing awning. 4) Revision to ADA parking space location on north side due to separate frontage improvents. | Planning Approved 10/24/23 | Bldg. - Disapproved 10/25/23 | | | |
| 74 | Pavacich | 501-C | Marina | 10/3/23 | B23-0248 | DIGEPLAN - New 664sf single story detached ADU. ADU will be adjacent to an existing two-story, two unit apartment building designated as A & B. | Planning approved 10/12/23 | Bldg. - Disapproved 11/3/23 | | | nh |
| 75 | Pantoja | 440 | Mindoro St. | 12/6/23 | B23-0318 | Adding 141 sf 2nd story deck, w/ access door from upper bedroom. (Removing existing window to install access door.) | Under review | Under review | | | |
| 76 | Grady | 400 | Morro Bay Blvd. | 9/20/23 | B23-0230 | DIGEPLAN - Commercial TI, remodel former thrift shop to 1096sf restaurant and bar with kitchen, food prep, dining area (and outside dining), office, and restrooms. MEP's, hood installation, and accessible upgrades. | Planning approved 10/3/23 | Bldg. - Disapproved 10/11/23 | | | sg |
| 77 | Pavacich | 646 & 648 | Napa | 10/3/23 | B23-0247 | DIGEPLAN - Construct new 1976sf single level duplex with 546sf attached garages, making each unit 988sf of living with a 273sf attached garage. | Planning approved 11/25/23 | Bldg. - Disapproved 11/2/23 | | | nh |
| 78 | Tsusimoto | 739 | Napa | 9/25/23 | B23-0234 | Commercial TI of 533sf retail space to restaurant, new vinyl flooring and installation of kitchen equipment and drain systems for Sushi Hide Japanese Restaurant. Includes small dining area with seating for three and a prep table. | Under Review . Approved 10/25/23 | Bldg. - Disapproved 11/20/23 | | | sg |

| # | Applicant/ Property Owner | | | Application Date | Permit Numbers | Project Description/Status | Planning Comments and Notations | Building/Fire Comments and Notations | Engineering Comments and Notations | Harbor/Admin Comments and Notations | Project Planner |
|----|---------------------------|-------|---------------|------------------|----------------|---|---|---|------------------------------------|-------------------------------------|-----------------|
| 79 | Ebner | 2628 | Nutmeg Ave | 11/16/23 | B23-0302 | DIGEPLAN - 2nd story 400 sf deck has become compromised due to moisture intrusion. Contractor to inspect elements in affected areas, repair and replace as needed | Incomplete letter sent 11/20/23 | | | | |
| 80 | Mollaghaffari & Hawes | 427 | Oahu St. | 5/5/22 | B22-0087 | New 2nd floor single family residence, 1048 sf living, with a 258 sf 2nd story deck, and 255 sf single car garage. (The garage and an ADU make up the 1st floor level, see permit B22-0088 for attached ADU). | Planning disapproved 5-12-22. Planning approved 1/20/23 | Ready to issue | | | nh |
| 81 | Mollaghaffari & Hawes | 427-A | Oahu St. | 5/5/22 | B22-0088 | Attached ADU - 702 sf Accessory Dwelling Unit. | Planning disapproved 5-12-22/ Planning approved 1/20/23 | Ready to issue | | | nh |
| 82 | De Fazio | 570-A | Olive | 9/12/23 | B23-0221 | Addendum to permit B22-0122 - Addition of a 49sf unconditioned utility room off the back of ADU. | Planning disapproved 9/25/23. | Bldg. - Approved 9/18/23 | | | cj |
| 83 | Dowty | 580 | Olive | 3/7/23 | B23-0049 | Removal of an existing 461 sf detached garage and construction of a new 1051 sf ADU. | Planning disapproved 4/4/23. Resubmitted 6/8. Planning approved 6/13 | BLDG. - Approved 6/12/23 | | | st |
| 84 | Currey | 154 | Orcas St. | 3/23/22 | B22-0062 | Remodel & additions to kitchen, entry, & masterbedroom. | Disapproved 4/11/22 Resubmitted 11/22. Planning approved 12/8 | Bldg. - Approved 12/1/22 | | | gc |
| 85 | Currey | 154-A | Orcas St | 3/23/22 | B22-0063 | 171 sf addition as an ADU | Disapproved 4-11-22 | Bldg. - Approved 12/1/22 | | | sg |
| 86 | Lutschaunig | 965 | Pelican | 2/27/23 | B23-0044 | Addition to existing bathroom for a shower, 42 sf. Also reconfiguring existing bathroom. | Planning disapproved 3/2/23 | BLDG. - Approved 3/2/23 | | | st |
| 87 | Appel | 400-A | Pico St | 8/18/21 | B21-0149 | Convert existing garage to an ADU without changing the footprint of the garage. | Approved 8/25/21 | Bldg. Disapproved 9/10/21 | | | am |
| 88 | Phelps | 490 | Piney Way | 10/19/23 | B23-0267 | Addendum #1 to B22-0017 - Drainage details that were not included on the landscape or erosion control sheets in the approved plans | Approved 10/23/23 | Bldg. - Approved 10/23/23 | | | |
| 89 | Ion | 498 | Piney Way | 9/20/23 | B23-0059 | 296sf non-habitable detached storage shed/workshop with electrical access. | Planning Disapproved 11/16/23 - Awaiting resubmittal | Bldg. - Conditionally Approved 10/11/23 | | | ao |
| 90 | Lee | 684 | Piney Way | 9/10/20 | B20-0168 | Demo existing detached 416 sf work shed with bathroom & reconstruct new 416 sf garage/shop with electrical, keeping existing bathroom on existing slab/foundation. | Planning disapproved 9/15/20. Requires a Admin CDP and Parking Exception prior to review and approval of the building permit. Planning disapproved resubmittal 2/24/21. | Bldg. - Disapproved 3/1/21 | | | nh |
| 91 | Giannini | 750 | Radcliff Ave. | 7/22/19 | B19-0156 | Remove three existing panel antennas, three radio and replace with three radio intergrated antennas and assoicated cabling. Install equipment expansions to the top of existing cabinets (approx 1'2') with associated electrical wiring. | Approved 9/26/19. | Ready to issue | | | cj |
| 92 | Macias/Mudge | 153 | Rennell St. | 11/16/23 | B23-0301 | Addendum #1 to Permit B23-0301 - Change color of windows and SLDs from black to white, as noted at plan sheets #7 & #9 | Planning approved 11/17/23 | | | | |

| # | Applicant/ Property Owner | | | Application Date | Permit Numbers | Project Description/Status | Planning Comments and Notations | Building/Fire Comments and Notations | Engineering Comments and Notations | Harbor/Admin Comments and Notations | Project Planner |
|--|---------------------------|-------|-------------|------------------|----------------|---|--|--|------------------------------------|-------------------------------------|-----------------|
| 93 | Camargo | 431 | Rockview St | 10/30/23 | B23-0278 | Rebuild deck on back of house approx 420 sf. Treated wood sub-structure, concrete pier w/ Simpson metal "Trex" composite deck, 42" tall railing entire deck 3 1/2" gap between pickets. | Planning disapproved 11/6/23 | Bldg. - Approved 11/1/23 | | | |
| 94 | Hanton | 425 | Shasta Ave | 1/17/23 | B23-0004 | DIGEPLAN - Enclose the current breezeway to create a new 90 sf entry, a 350 sf addition creating a primary suite and bathroom, also create a valuted space in the existing garage by removing roof and replace with new composition roof. | Planning disapproved 2/16/23 | Bldg. - Approved 8/15/23 | | | gc |
| 95 | Parker | 580 | Shasta Ave | 8/31/20 | B20-0159 | Add new detached garage | Planning under review. Planning disapproved 9/8/20. Need resubmittal | Bldg. - Disapproved 9/14/20 | | | nh |
| 96 | Morro Bay Ventures | 201 | Verdon Ct. | 1/4/23 | B22-0273 | DIGEPLAN - New single story, single-family residence, 2,361 sf living, with 483 sf covered porch and a 450 sf attached garage. | Planning disapproved 1/11/23. Planning approved 7/26/23 | Bldg. - Approved 7/20/23 | | | nh |
| 97 | Morro Bay Ventures | 202 | Verdon Ct. | 1/4/23 | B22-0277 | DIGEPLAN - New single story, single-family residence, 2,361 sf living, with 483 sf covered porch and a 450 sf attached garage. | Planning disapproved 2/2/23. Planning approved 7.26.23 | Bldg. - Approved 7/20/23 | | | nh |
| 98 | Morro Bay Ventures | 205 | Verdon Ct. | 1/4/23 | B22-0274 | DIGEPLAN - New single story, single-family residence, 2,312 sf living, with 168 sf and 250 sf covered porches and a 485 sf attached garage. See permit B22-0279 for attached ADU. | Planning disapproved 1/11/23. Planning approved 7/26/23 | Bldg. - Conditionally Approved 7/20/23 | | | nh |
| 99 | Morro Bay Ventures | 205-A | Verdon Ct. | 1/4/23 | B22-0279 | DIGEPLAN - New 517 sf attached Accessory Dwelling Unit (ADU). See permit B22-0274 for new SFR. | Planning disapproved 1/11/23. Planning approved 7/26/23 | Bldg. - Conditionally Approved 7/20/23 | | | nh |
| 100 | Morro Bay Ventures | 206 | Verdon Ct. | 1/4/23 | B22-0276 | DIGEPLAN - New single story, single-family residence, 2,312 sf living, with 168 sf and 250 sf covered porches and a 485 sf attached garage. | Planning disapproved 1/11/23. Planning approved 7/26/23 | Bldg. - Approved 7/20/23 | | | nh |
| 101 | Morro Bay Ventures | 210 | Verdon Ct. | 1/4/23 | B22-0275 | DIGEPLAN - New single story, single-family residence, 2,312 sf living, with 168 sf and 250 sf covered porches and a 485 sf attached garage. See permit B22-0280 for attached ADU. | Planning disapproved 1/11/23. Planning approved 7/26/23 | Bldg. - Conditionally Approved 7/20/23 | | | nh |
| 102 | Morro Bay Ventures | 210-A | Verdon Ct. | 1/4/23 | B22-0280 | DIGEPLAN - New 517 sf attached Accessory Dwelling Unit (ADU) - See permit B22-0275 for new SFR. | Planning disapproved 1/11/23. Planning approved 7/26/23 | Bldg. - Conditionally Approved 7/20/23 | | | nh |
| Planning Projects & Permits with Final Action | | | | | | | | | | | |
| 103 | Albano | 2591 | Juniper | 10/11/2023 | CDP23-019 | New 591 sf ADU attached to an existing 2,473 sf single story home at 2591 Juniper St. The ADU will convert 591 sf of the existing single-family home, after the proposed conversion the home shall remain at 1,882 sf | Planning review finished, waiting for PW and Fire review before sending letter. Deemed Complete 11/3. Noticed from 11/8 to 11/18. Permit issued 11/20. | | | | st |
| 104 | Pennachio | 2810 | Juniper | 7/21/2023 | CDP23-012 | DIGEPLAN: Admin CDP for new 2 story 1,398sf SFR w/ 812sf attached two car garage | Planning disapproved 8/16/23. Awaiting resubmittal, and under review. Project deemed complete and admin noticing started 11/21/23.. Permit issued 12/8/2023. | Bldg. - Approved 8/8/23 | | | ao |
| Staff Directory: Scot Graham - sg Chad Ouimet - co Cindy Jacinth - cj Pam Newman - pn Nancy Hubbard - nh Susana Toner - st Alex Ortega - ao | | | | | | | | | | | |

AGENDA ITEM: A-2

DATE: 12/19/2023

ACTION: _____

**ACTION MINUTES – MORRO BAY PLANNING COMMISSION
REGULAR MEETING – SEPTEMBER 19, 2023
VETERANS MEMORIAL BUILDING – 6:00 PM**

| | | |
|----------|----------------|------------------|
| PRESENT: | Bill Roschen | Chairperson |
| | Mike Rodriguez | Vice-Chairperson |
| | Joe Ingraffia | Commissioner |
| | Asia King | Commissioner |
| | Eric Meyer | Commissioner |

| | | |
|--------|---------------|--------------------------------|
| STAFF: | Scot Graham | Community Development Director |
| | Nancy Hubbard | Contract Planner |

ESTABLISH QUORUM AND CALL TO ORDER

MOMENT OF SILENCE / PLEDGE OF ALLEGIANCE
<https://youtu.be/x9kzOs0xms4?t=73>

PLANNING COMMISSIONER ANNOUNCEMENTS
<https://youtu.be/x9kzOs0xms4?t=112>

PUBLIC COMMENT PERIOD
<https://youtu.be/x9kzOs0xms4?t=159>

Sean Green, Morro Bay, commented on bid posting on an RFP on the waterfront's lease sites 40, 50 & 51 aka 431 and 451 Embarcadero, near Tidelands Park. He encouraged businesses to apply. His second comment was on City Staff, thanking everyone for their hard work, especially Police, Public Works and Fire Departments. Including Scot Graham and the Planning Department.

Commissioner Meyer responded to Mr. Green's comments.

Terry Simons, Morro Bay, commented on an item not on the agenda, received a notice from Public Works for a tree removal on Quintana. The tree has met the requirements to be cut down and he thinks it's a bit inverse. He thinks we would have a benchmark in place to preserve a tree. He has spoken to City Staff and unless he appeals it, it's scheduled to be cut down. He disagrees with it being removed. Stated that MB Blvd is lined with the same type of tree. Discussed protocol for tree removal with Greg Kwolek.

Chairperson Roschen responded to Mr. Simons comments.

Bill Martony, Morro Bay, commented on the downtown area zoning, he asked if the height limit was going up to 37' and possibly 40' with the new zoning code and would it allow 3-4 story structures in the downtown area? If it is happening, is there any last-minute ways to bring that size limit down because that's huge and would make it look like areas of San Luis Obispo?

Chairperson Roschen responded to Mr. Martony's questions.

Betty Winholtz, Morro Bay, commented on the No Ballot garbage rate increase. CAL (Citizens for Affordable Living) is sponsoring the ballot. The garbage company proposes another 38% fee increase, including retro fees, due to the garbage company's not getting their paperwork done. She thinks it's unfair for the retro fee to be charged. Wanted to remind the public that forms are due to Dana Swanson at City Hall by October 10th.

Vice-Chairperson Rodriguez responded to Ms. Winholtz concerns.

Chairperson Roschen closed the Public Comment period.

<https://youtu.be/x9kzOs0xms4?t=917>

Public Participation:

Remote public participation is allowed in the following ways:

- *Community members are encouraged to submit agenda correspondence in advance of the meeting via email to the Community Development office at planningcommission@morrobayca.gov prior to the meeting.*
- *Members of the public may watch the meeting either on cable Channel 20 or as streamed on the City [website](#).*
- *Alternatively, members of the public may watch the meeting and speak during general Public Comment or on a specific agenda item by logging in to the Zoom webinar using the information provided below. Please use the "raise hand" feature to indicate your desire to provide public comment. Each speaker will be allowed three minutes to provide input. Please click the link below to join the webinar:*

- <https://us02web.zoom.us/j/82722747698?pwd=aWZpTzcwTHlRTk9xaTlmWVNWRFUQT09>
Password: 135692

*Or Telephone Attendee: (408) 638-0968 or (669) 900 6833 or (346) 248 7799; Webinar ID: 827 2274 7698; Password: 135692; Press * 9 to "Raise Hand" for Public Comment*

PRESENTATIONS

A. CONSENT CALENDAR

- A-1** Current and Advanced Planning Processing List
Staff Recommendation: Receive and file.

MOTION: Chairperson Roschen addressed the Commissioners and noted that there was no need to vote, Graham recommended to receive and file and Chairperson Roschen agreed.

B. PUBLIC HEARING

B-1 Case No.: CDP 22-039/CUP22-10

Site Location: 1050 Morro Ave, Morro Bay, CA

Proposal: Application for a Conditional Use Permit and Coastal Development Permit to allow the expansion of an existing 16 room single story hotel. The proposed development includes an addition of 11 hotel rooms by adding a second floor over the existing rooms. The project also includes an elevated second floor level hotel kitchen/dining area, several common area amenities for hotel guests and a residential unit for the hotel manager. The project will provide 25 parking spaces, including 2 ADA parking spaces and 4 EV charging spaces, plus one motorcycle parking space and bicycle parking. The land use designation is Community Commercial, and the current zoning is CVS./R-3/PD/S.4/S.6. The project is not in the Coastal Appeals Jurisdiction.

CEQA Determination: Exempt under Section 15303, Class 3c. This exemption applies to new construction of up to 4 commercial buildings not exceeding 10,000 total sf, located in urban areas zoned for the specific use.

Staff Recommendation: Conditionally Approve CDP 22-039/ CUP22-10

Staff Contact: Nancy Hubbard, Contract Planner, (805) 772-6211,
nhubbard@morrobayca.gov

Hubbard presented the staff report.

Commissioners presented their questions and comments to staff.

Chairperson Roschen opened the Public Comment period.

<https://youtu.be/x9kzOs0xms4?t=1898>

Steve Puglisi, Architect with Pegasus Architect, commented they have no comments or issues with the staff report, answered the Commissioners' comments and questions.

Commissioners presented their questions and comments to the Architect.

Steve Puglisi, Architect, answered questions from Commissioners.

Terry Simons, Morro Bay, commented on the proposed 49-seat restaurant on the 2nd floor of the hotel, he was upset that no one asked anything about it. He feels staff assumes it's strictly for hotel guests' complimentary breakfast. He believes it's intended to be a restaurant from his point of view.

Sean Green, Morro Bay, commented that he is a commercial property owner within 500' ft of the project. He gave the owners of the hotel high praise for their online ratings and their landscaping is excellent. He supports the project; he feels the owners know and value the neighborhood.

Betty Winholtz, Morro Bay, commented she's concerned about the palm trees on the property, and the fountain give the property it's Bungalow feel. The proposed height and 2nd floor hangover is a concern to her. Concerned the rates will go up for their rooms and how this will affect other hotels and visitors. She feels each room should have it's own parking spot and the proposed project there's less parking.

Bill Martony, Morro Bay, commented that the Beach Bungalows are beautiful and so is the new design, concerned with the parking issue and what Mr. Simons addressed about the onsite restaurant. If it's just for guests, then the parking wouldn't be too much of an issue unless the facility is open to the public.

Chairperson Roschen closed the Public Comment period.

<https://youtu.be/x9kzOs0xms4>

Commissioners presented their questions and comments to staff and Architect.

Hubbard and Graham answered questions from Commissioners.

Steve Puglisi, Architect, answered questions from Commissioners.

MOTION: Commissioner Myer moved to approve staff recommendation. Vice-Chairperson Rodriguez seconded, and the motion passed 5-0, with Ingraffia, Rodriguez, Roschen, Meyer and King voting yes.

B-2 Case No.: *Plan Morro Bay: Zoning Code / Implementation Plan Amendment / General Plan / Local Coastal Program (LCP) Coastal Land Use Plan Map Amendment and Zoning Map Amendment*

Site Location: Citywide and Assessor's Parcel Numbers (APN) 065-022-009 and 065-022-011 (located west of Hwy 1 near northern City limit line (more commonly known as Dog Beach), Morro Bay, CA

Applicant/Project Sponsor: City of Morro Bay

Proposed Project:

CEQA Determination: Environmental Impact Report (SCH #2021111026)

Staff Recommendation: Forward favorable recommendation to City Council for approval of Zoning Code/ Coastal Implementation Plan (IP) Amendments and for approval of change in the Land Use and Zoning Map included in the General Plan / Local Coastal Program (LCP) Land Use Plan for APN parcel #065-022-009 and 065-022-011 with finding that no further environmental review is required pursuant to State CEQA Guidelines Section 15162.

Staff Contact: Scot Graham, Community Development Director, (805) 772-6291
sgraham@morrobayca.gov

Jacinth presented the staff report.

Commissioners presented their questions and comments to staff.

Graham and Jacinth answered questions from Commissioners.

Chairperson Roschen opened the Public Comment period.

<https://youtu.be/x9kzOs0xms4?t=7475>

Bill Martony, Morro Bay, commented again on the downtown height limit, thinks there may be opportunity for future discussions with the downtown design review regarding the limits.

Terry Simons, Morro Bay, commented on the zoning code. He had concerns about future projects being an issue with the code and going through the Coastal Commission.

Chairperson Roschen and Graham addressed the issue, that we are required to comply with state laws and the Coastal Act. Not everything needs to go before the Coastal Commission.

Betty Winholtz, Morro Bay, commented that pg 367 of the zoning code was blocked out and would like it back in, will Coastal staff or Commission allow it put back in. She thinks there are things that need to be put in the code that the city is doing, such as the definition of a no-host hotel.

Chairperson Roschen closed the Public Comment period.
<https://youtu.be/x9kzOs0xms4?t=8031>

Commissioners presented their questions and comments to staff regarding the zoning code and definitions listed in the code.

Graham and Jacinth answered questions from Commissioners and Commissioners discussed downtown heights and proposed Zoning Code amendments.

MOTION: Vice-Chairperson Rodriguez moved to continue staff recommendation. Commissioner Meyer seconded, and the motion to continue passed 5-0, with Ingraffia, Rodriguez, Roschen, Meyer, and King voting yes.

Graham asked for a re-motion on the zoning code continuance, to continue to a date certain, October 3, 2023.

MOTION: Vice-Chairperson Rodriguez moved to approve staff recommendation. Commissioner Meyer seconded, and the motion to continue the hearing to the October 3, 2023 meeting, passed 5-0, with Ingraffia, Rodriguez, Roschen, Meyer, and King voting yes.

C. NEW BUSINESS - NONE

D. UNFINISHED BUSINESS - NONE

E. PLANNING COMMISSIONER COMMENTS/FUTURE AGENDA ITEMS
<https://youtu.be/x9kzOs0xms4?t=12463>

Chairperson Roschen brought up the tree policy process in the public right away, it would be on a future agenda.

Commissioners presented their questions to staff regarding projects with community benefits.

Graham answered questions from Commissioners.

Chairperson Roschen stated the Planning Commission will be meeting with City Council the following week for a joint meeting, September 26th, 2023.

F. COMMUNITY DEVELOPMENT DIRECTOR COMMENTS
<https://youtu.be/x9kzOs0xms4?t=12561>

Graham commented that he already made his comments about the joint meeting during the Future Agenda Items.

G. ADJOURNMENT

The meeting was adjourned at 9:29 p.m. to the next regular Planning Commission meeting at the Veteran's Memorial Building, 209 Surf Street, on October 3, 2023, at 6:00 p.m.

Bill Roschen, Chairperson

ATTEST:

Scot Graham, Secretary

- *Members of the public may watch the meeting either on cable Channel 20 or as streamed on the city [website](#).*
- *Alternatively, members of the public may watch the meeting and speak during general Public Comment or on a specific agenda item by logging in to the Zoom webinar using the information provided below. Please use the “raise hand” feature to indicate your desire to provide public comment. Each speaker will be allowed three minutes to provide input. Please click the link below to join the webinar:*
 - <https://us02web.zoom.us/j/82722747698?pwd=aWZpTzcwTHlRTk9xaTlmWVNW/RWFUQT09>
Password: 135692

*Or Telephone Attendee: (408) 638-0968 or (669) 900 6833 or (346) 248 7799; Webinar ID: 827 2274 7698; Password: 135692; Press * 9 to “Raise Hand” for Public Comment*

PRESENTATIONS

A. CONSENT CALENDAR

- A-1** Current and Advanced Planning Processing List
Staff Recommendation: Receive and file.

B. PUBLIC HEARING

- B-1** **Case No:** Major Modification (MAJ23-002) to existing permits (CUP21-014/CDP21-042)
Site Location: 2900 Alder Ave, Morro Bay, CA
Proposal: Request for Planning Commission approval for a revision to an existing permitted project. The modified project is 5 single-story hotel rooms totaling 2140 sf with associated parking instead of the existing permitted project which is for a 6-room two story hotel totaling 4117 square feet. The new project has the parking along the northly side of the site and places the hotel rooms at the back of the sidewalk facing San Jacinto St. The project zoning is R-4/SP and is not located within the coastal appeals jurisdiction.
CEQA: Exempt under Section 15303, Class 3c for commercial use buildings up to 10,000 sf on sites zoned for such uses.
Staff Recommendation: Planning Commission approve MAJ23-002.
Staff Contact: Nancy Hubbard, Contract Planner, nhubbard@morrobayca.gov

Hubbard presented the staff report.

Commissioners presented their questions to staff.

Gaurav Khanna, Applicant, answered questions from Commissioners.

Chairperson Roschen opened the Public Comment period.

<https://youtu.be/4csUu8mMvVw?t=1575>

Terry Simons, Morro Bay, commented that the project was improved from previous version. He suggested to add planters on the diagonal to the parking lot. He is concerned with the flatness at the front of the building. Suggested the applicant apply for an abandonment of the green space area public right of way. This would allow the green space to be incorporated in the properties landscaping and the property owner's responsibility to maintain. Suggested a vertical sawtooth giving a better façade. This would allow units to become larger or provide onsite storage unit for supplies.

Chairperson Roschen closed the Public Comment period.

<https://youtu.be/4csUu8mMvVw?t=1783>

Commissioners presented their questions and comments to staff and Project Applicant.

Gaurav Khanna, Applicant, answered additional questions from Commissioners.

Graham answered additional questions from Commissioners.

The Commission requested conditions be added regarding the following items:

1. (2) Level Two Chargers – Electric Cars.
2. Additional windows or devices to create articulation on east and northfaçade.
3. Areas of landscaping.
4. Change from two to three children (related to maximum occupancy per room).
5. Online signing of conditions and local noise regulations.
6. No sheds

MOTION: Chairperson Meyer moved to approve staff's recommendation. Rodriguez seconded, and motion passes 5-0, with Ingraffia, King, Rodriguez, Meyer and Roschen voting yes.

B-2 Case No.: CDP 23-008/CUP23-08

Site Location: 2772 Indigo Circle, Morro Bay, CA

Proposal: Application for a Coastal Development Permit and Conditional Use Permit for a new 2,491 square-foot one-story single-family home with an attached 559 square-foot 2-car garage, 192 square-foot guest house, and 393 square-foot covered porch. The single-family home is located in the Cloisters in a CRR/GC/PD Zone and the property is located within the Coastal Appeals Jurisdiction.

CEQA Determination: Exempt under Section 15303, Class 3.

Staff Recommendation: Conditionally Approve CDP 23-008/ CUP23-08

Staff Contact: Susana Toner, Assistant Planner, (805) 772-6270,
stoner@morrobayca.gov

Toner presented the staff report.

David Ferrin, Architect and Applicant, offered to answer questions.

Chairman Roschen opened Public Comment period.

<https://youtu.be/4csUu8mMvVw?t=3400>

Terry Simons, Morro Bay. He was unclear of front fence/wall and concerned about sea level rise.

Chairperson Roschen closed the Public Comment period.
<https://youtu.be/4csUu8mMvVw?t=3499>

Commissioners presented comments. No questions.

MOTION: Chairperson Rodriguez moved to approve staff's recommendation on. Ingraffia seconded, and motion passes 5-0, with Ingraffia, King, Meyer, Rodriguez and Roschen voting yes.

- B-3 Case No.:** *Plan Morro Bay: Zoning Code / Implementation Plan Amendment / General Plan Local Coastal Program (LCP) Coastal Land Use Plan Map Amendment and Zoning Map Amendment (continued from the 9/19/2023 meeting)*
- Site Location:** Citywide and Assessor's Parcel Numbers (APN) 065-022-009 and 065-022-011 (located west of Hwy 1 near northern City limit line (more commonly known as Dog Beach), Morro Bay, CA and also APN parcels 068-291-046 and 068-183-026 located on Preston Lane
- Applicant/Project Sponsor:** City of Morro Bay
- Proposed Project:** Proposed project is both a General Plan/Local Coastal Program (LCP) Land Use and Zoning Map amendment as well as a series of Zoning Code/IP amendments as further described herein. In November 2022, the City Council adopted Ordinance 654 which included a comprehensive update to the City's Zoning Code/Implementation Plan (Title 17 of the Morro Bay Municipal Code) as part of the Plan Morro Bay update project. In December 2022, an application for Local Coastal Program (LCP) amendment was submitted to the California Coastal Commission (CCC) for certification which is currently pending. The proposed amendments to the IP include a series of changes requested by the CCC which are required to ensure compliance with Coastal Act compliance. The Zoning Code also includes clarifying amendments and technical edits. The chapters proposed for amendment include: all of Division 1, including Land Use Map and Zoning Map change to Dog Beach parcels from Agriculture to Open Space; Land Use Map change to APN 068-183-026 from Moderate Density Residential to General (Light) Industrial; and Zoning Map amendment to APN 068-291-046 and APN 068-183-026 from Residential Single Unit (RS-A) to Industrial General (IG) all of Division II with exception of 17.07 and 17.08 Supplemental Regulations, Chapters 17.23, 17.26, 17.27, 17.29, 17.30, 17.38, 17.39, 17.42, 17.43, 17.44, 17.53, 17.54. The proposed Zoning Code/IP Amendment also includes amendments to the Land Use Map and Zoning Map included in the City of Morro Bay's General Plan/Local Coastal Program (LCP) known as Plan Morro Bay. The proposed change in both land use map and the zoning map for parcels described above will be consistent to similarly designated adjacent properties. The proposed changes to the Land Use and Zoning Map are intended to correct technical errors made when the General Plan/LCP was adopted in 2021. The Planning Commission 2023 Zoning Code/IP Amendment Adoption Hearing Draft, proposed Land Use Map, and the City Council adopted 2022 Zoning Code are online at www.morrobayca.gov/planmb.
- CEQA Determination:** Environmental Impact Report (SCH #2021111026)

Staff Recommendation: Review Land Use and Zoning Map changes and Amendment Adoption Hearing Draft of the Zoning Code/Implementation Plan (IP), take public comment, and forward a favorable recommendation for adoption of the 2023 Amended Zoning Code/IP and General Plan/LCP Land Use and Zoning Map change to City Council.

Staff Contact: Scot Graham, Community Development Director (805) 772-6291 and Cindy Jacinth, Planning Manager (805) 772-6577

Jacinth presented the staff report.

Commissioners presented their questions and comments to staff.

Chairperson Roschen opened the Public Comment period.

<https://youtu.be/4csUu8mMvVw?t=5133>

Terry Simons, Morro Bay, shared frustration with Live-Work in projects. He would like to see a district boundary for downtown. Size of parcels near Morro and Main Streets are small. In order to be developed, lots would need to be consolidated with larger parcels. If that's done the argument would be made for taller buildings. He would like to discuss his tree removal appeal when Downtown Design is discussed.

Steve Mathieu, Co-owner of APG Video, Former Planning Commissioner 1995, Morro Bay presented maps to staff and Commissioners about his property location. He is concerned that the zoning and land use are shown wrong on the map. He would like maps corrected.

Graham responded to Public Comment to clarify the Zoning Code amendments.

Council Member Landrum spoke on no host hotels. She sent out survey in all Morro Bay hotels for feedback.

Graham clarified no-host hotels vs short term rentals and zoning differences.

Chairperson Roschen closed the Public Comment period.

<https://youtu.be/4csUu8mMvVw?t=6124>

Commissioners presented their questions and comments to staff.

Commissioners asked Terry Simons to share his experience with San Luis Obispo Live Work project.

MOTION: Vice-Chairperson Rodriguez moved to approve staff's recommendation on Meyer seconded, and motion passes 4-1, with Rodriguez, Meyer, Ingraffia, and Roschen voting yes. King voting no.

C. NEW BUSINESS

Ingraffia requested that PC send a letter to Council regarding a discussion on policy for leases or new leases on the Embarcadero in regards to the planning process

Commission discussed placing on New Business for next meeting a discussion of frontage improvement deferral policy and creating an in-lieu fee policy
<https://youtu.be/4csUu8mMvVw?t=7719>

D. UNFINISHED BUSINESS - NONE

<https://youtu.be/4csUu8mMvVw?t=8543>

E. PLANNING COMMISSIONER COMMENTS/FUTURE AGENDA ITEMS

<https://youtu.be/4csUu8mMvVw?t=8550>

F. Commission discussion of future agenda items occurred during New Business item.
COMMUNITY DEVELOPMENT DIRECTOR COMMENTS

<https://youtu.be/4csUu8mMvVw?t=8558>

Graham announced an Offshore Wind meeting will be held at the County Government Center on November 1, 2023 at 4 p.m.

Graham and Chair Roschen announced the Downtown Design District subcommittee will hold a community forum on November 2, 2023 to solicit public input. Location is to be announced.

ADJOURNMENT

The meeting was adjourned at 8:24 p.m. to the next regular Planning Commission meeting at the Veteran's Memorial Building, 209 Surf Street, on October 17, 2023, at 6:00 p.m.

Bill Roschen, Chairperson

ATTEST:

Scot Graham, Secretary

Richard Sadowski, Morro Bay, stated he was part of a project in 2019 for the Morro Bay Estuary Air Monitoring Project. The MBEAM obtained air quality data with help of a city grant. They collaborated with Carbon Lab from Cal Poly University studying ocean acidification and received a \$15,000 grant from San Luis Obispo Community Foundation. They are seeking matching funds to have an air monitor on the Embarcadero.

Chair Roschen closed Public Comment
<https://youtu.be/olCrAT0y2OE?t=842>

Public Participation:

Remote public participation is allowed in the following ways:

- *Community members are encouraged to submit agenda correspondence in advance of the meeting via email to the Community Development office at planningcommission@morrobayca.gov prior to the meeting.*
- *Members of the public may watch the meeting either on cable Channel 20 or as streamed on the city [website](#).*
- *Alternatively, members of the public may watch the meeting and speak during general Public Comment or on a specific agenda item by logging in to the Zoom webinar using the information provided below. Please use the “raise hand” feature to indicate your desire to provide public comment. Each speaker will be allowed three minutes to provide input. Please click the link below to join the webinar:*
 - <https://us02web.zoom.us/j/82722747698?pwd=aWZpTzcwTHlRTk9xaTlmWVNWRWFUQT09>
Password: 135692

*Or Telephone Attendee: (408) 638-0968 or (669) 900 6833 or (346) 248 7799; Webinar ID: 827 2274 7698; Password: 135692; Press * 9 to “Raise Hand” for Public Comment*

PRESENTATIONS

A. CONSENT CALENDAR

A-1 Current and Advanced Planning Processing List
Staff Recommendation: Receive and file.

A-2 Approval of minutes from the Planning Commission meeting of July 18, 2023.
Staff Recommendation: Approve minutes as submitted.

Chairperson Roschen asked to correct the July 18, 2023 minutes to change the name Collins to Graham.

A-3 Approval of minutes from the Planning Commission meeting of August 1, 2023.
Staff Recommendation: Approve minutes as submitted.

Chairperson Roschen opened the Public Comment period.
<https://youtu.be/olCrAT0y2OE?t=895>

Betty Winholtz, Morro Bay, requested corrections to the August 1, 2023 minutes. Her request was to change Old Women’s Center to Former Women’s Center and change the word residence to residents.

A-4 Approval of minutes from the Planning Commission meeting of August 15, 2023.
Staff Recommendation: Approve minutes as submitted.

MOTION: Vice-Chairperson Rodriguez moved to approve minutes as corrected and receive and file the Current and Advanced Planning Processing List. Commissioner Ingraffia seconded, and the motion passes 4-0, with King, Ingraffia, Rodriguez, Roschen, voting yes.

B. PUBLIC HEARING

<https://youtu.be/olCrAT0y2OE?t=983>

Terry Simons, Morro Bay, spoke to state Item B is conspicuous in its absence of no issues.

None.

C. NEW BUSINESS

<https://youtu.be/olCrAT0y2OE?t=1023>

C-1 Subject: Planning Commission Discussion of Harbor Lease Policy in the context of preserving existing community character along the waterfront.
Staff Recommendation: Review staff report, discuss and provide direction.
Staff Contact: Scot Graham, Community Development Director, (805) 772-6291, sgraham@morrobayca.gov

Graham presented the staff report.

Commissioners presented their questions and comments to staff.

Chairperson Roschen opened the Public Comment period.
<https://youtu.be/olCrAT0y2OE?t=2692>

Terry Simons, Morro Bay, asked why was the presentation not in the staff report? He shared concerns with the Downtown Plan. He feels that downtown should not be expanded. Mr. Simons also feels that Planning Commission should have more input on the waterfront.

Bill Martony, Morro Bay, stated he is concerned with previous RFP bringing another hotel to the south end of the Embarcadero. He would like to see the working waterfront character stay. Mr. Martony supports rethinking the project and suggests a Harbor office annex in that area. He shared concerns with parking on the Embarcadero and Morro Rock parking. The Rock parking visually looks bad. He stated there should be more effort in the Rock area parking such as landscaping and stairs.

Sean Green, Morro Bay, stated he is disappointed when there are expired leases and master lease holders without an RFP issued. He read key objectives of RFP. The Harbor Advisory Board is part of a joint ad hoc committee with CFAC to look at lease policies in general. He stated historic preservation needs to be a part of the equation. An annual joint Advisory Board Committee meeting could be a good start for next year.

Zara Landrum, Morro Bay, discussed with Graham about future Council and Planning Commission meetings.

Betty Winholtz, Morro Bay, spoke in support of having Planning involved on waterfront. She appreciates the sensitivity with historical areas. Planning needs to take into context with what is around those properties. Ms. Winholtz stated parking continues to be a problem.

Kristy VanCleve, Morro Bay, stated it is irresponsible of the City to issue RFP for a potentially historic project. She feels it is important to assess historic buildings.

Terry Simons, Morro Bay, encouraged the Planning Commission to be involved with the Walker study.

Graham said the Planning Commission will look into it. It is not finalized yet, needs direction from Council.

Chairperson Roschen closed the Public Comment period.
<https://youtu.be/olCrAT0y2OE?t=3970>

Commissioners presented additional questions and comments to staff.

Graham answered questions.

MOTION: Chairperson Roschen made a motion for Commissioner Ingraffia to write letter to City Council and agenda item, Vice-Chairperson Rodriguez second, and the motion passes 4-0, with King, Ingraffia, Rodriguez, Roschen, voting yes.

C-2 Subject: Planning Commission discussion regarding frontage improvement deferral policy and the possibility of creating an in-lieu fee policy for frontage improvements.

Staff Recommendation: Review staff report, discuss and provide direction.

Staff Contact: Scot Graham, Community Development Director, (805) 772-6291,
sgraham@morrobayca.gov

Graham presented the staff report.

Commissioners presented their questions and comments to staff.

Chairperson Roschen opened the Public Comment period.
<https://youtu.be/olCrAT0y2OE?t=6679>

Terry Simons, Morro Bay, spoke to summarize the concepts of deferral and in lieu fees. The idea of in lieu fee for relocatable private property owner improvements are not

appropriate for solving curb, gutter, sidewalk around the community. The mechanisms already exist.

Betty Winholtz, Morro Bay, spoke historically about old General Plan. She dislikes, “liked in lieu fees.” She feels money gets lost. Ms. Winholtz encouraged a look into assessment districts.

Jamie Irons, Morro Bay, played a power point presentation to open a discussion to understand frontage improvements. The presentation showed examples of properties that need frontage improvements. Jamie Irons would like to see deferrals good for only a certain amount of time.

Commissioner Roschen asked Graham about city requirements for frontage improvements.

Graham responded that some areas of the city do not have requirements.

Chairperson Roschen closed the Public Comment period.
<https://youtu.be/olCrAT0y2OE?t=8019>

D. UNFINISHED BUSINESS

E. PLANNING COMMISSIONER COMMENTS/FUTURE AGENDA ITEMS
<https://youtu.be/olCrAT0y2OE?t=8667>

Commissioner Rodriguez shared concerns with safety at the newly planned roundabout 41 and Main Street.

F. COMMUNITY DEVELOPMENT DIRECTOR COMMENTS
<https://youtu.be/olCrAT0y2OE?t=8783>

Graham announced the City will be starting an update to the City’s Climate Action Plan. The first community meeting will be held at the Community Center on October 25, 2023, 5:00-6:30 p.m.

G. ADJOURNMENT

The meeting was adjourned at 8:28 p.m. to the next regular Planning Commission meeting at the Veteran’s Memorial Building, 209 Surf Street, on November 7, 2023, at 6:00 p.m.

Bill Roschen, Chairperson

ATTEST:

Scot Graham, Secretary



AGENDA NO: B-1

MEETING DATE: December 19, 2023

Staff Report

TO: Planning Commissioners

DATE: December 11, 2023

FROM: Cindy Jacinth, Planning Manager

SUBJECT: 801 Embarcadero: Conditional Use Permit (Combined Concept/Precise) #CUP22-09) for the demolition/reconstruction of the Libertine Building proposed as a 5,206sf mixed-use building with basement including first floor restaurant, coffee shop, second floor 7-unit hotel, and public access improvements consisting of new Harborwalk, creation of street end plaza, new dock pilings, and related site improvements. Project also includes request for master sign program approval.

RECOMMENDATION:

FORWARD A FAVORABLE RECOMMENDATION TO THE CITY COUNCIL TO CONDITIONALLY APPROVE THE PROJECT by adopting a motion including the following action(s):

Adopt Planning Commission Resolution 19-23 which includes the Findings and Conditions of Approval for the project depicted on site development plans dated November 1, 2023 (Exhibit C).

APPLICANT/AGENT: California Coastal Investments

LEGAL DESCRIPTION/APN: City lease sites 87-88 and 87W-88W / 066-322-008

PROJECT SUMMARY: The Applicant is seeking a Conditional Use Permit request (combined Concept/Precise Plan) and Design Review approval for demolition/reconstruction of the Libertine Building at 801 Embarcadero. The project proposes demolition of a majority of the 4,677sf two story building with basement. The project would be reconstructed as a 5,206sf mixed-use building adding an additional 529sf. The project proposes a new 7-unit hotel on the second floor with public viewing deck, first floor restaurant and coffee shop uses and upgraded basement area for the Libertine Brewing business. Site improvements include multiple public coastal access enhancements including a new 15' wide Harborwalk gap extension, replacement of 7

Prepared By: ___CJ___

Department Review: ___SG___

steel piles, and sleeve 3 existing wood pilings, replace existing dock with new lower dock area with ramp, 2 boat slips, and public access improvements to the adjacent street end by removing public parking in the street end to create a public plaza, and master sign program approval. The lease site property is in the WF/PD/S.4 zoning district and located within the Coastal Commission original jurisdiction.

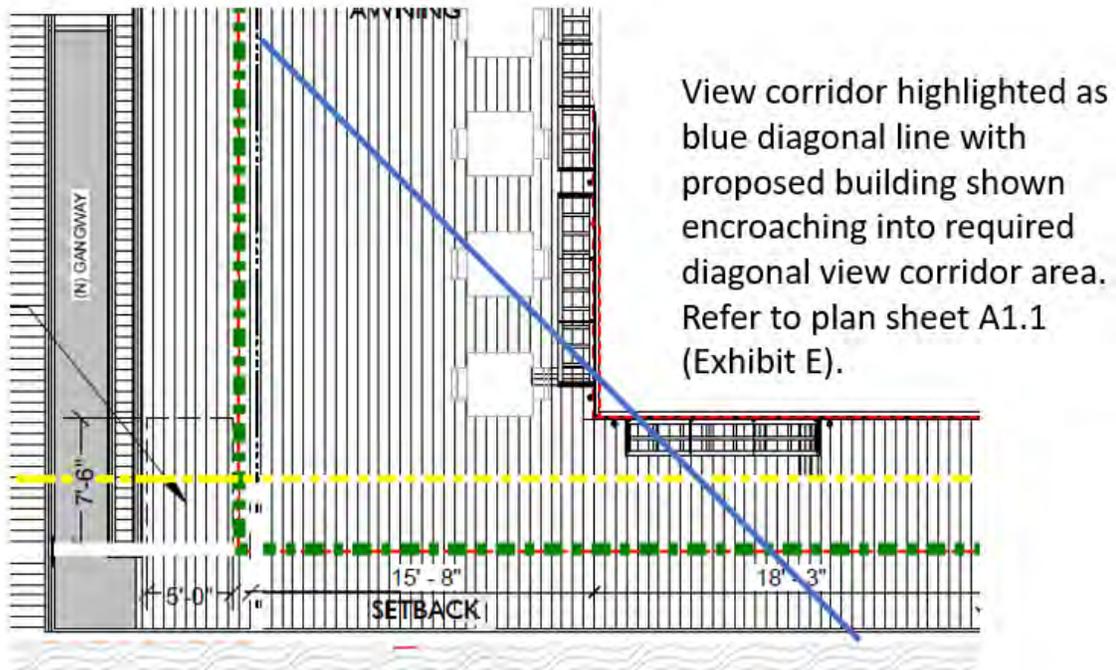


Existing Libertine building

CONCEPTUAL REVIEW

Planning Commission reviewed this project as a Conceptual Review on February 1, 2022 (Staff report link below). At the meeting, the PC provided feedback and comments to the Applicant related to the design and exceptions requested. PC comments included:

1. Provide the full 8-foot width street sidewalk, **(Application includes this).**
2. Comply with front setback as well as the second-floor lot coverage, **(Front setback complies, but second-floor front setback is 5'4" where 10 feet is the requirement.)**
3. Change the architectural design, to eliminate the sawtooth roof design as the design looks residential not commercial. Also re-orient the second floor so the rooms are located on the north and public viewing deck is on the south side of the building which would have the advantage of improving views from blufftop/top of Centennial Plaza **(Design revised based on input from Commissioners – changes shown on next page).**
4. Provide a 45-degree view corridor at southwest corner. **(Application includes a view corridor where none previously was shown at the Conceptual Review meeting, however as shown on site plan, there is a small encroachment into the view corridor as shown in the image from plan sheet A1.1 below).**



In addition, after the Conceptual Review meeting, Commissioners Roschen and Stewart met with the Applicant and City staff to discuss the architectural design and provide further feedback on ways to improve design as well as views across the site from the bluff. The applicant has worked to incorporate much of the feedback provided.

The changes in the project design are depicted below showing a contrast between the Conceptual Review plans and the CUP plans:

Conceptual Review elevation image from February 2022 Planning Commission meeting



CUP plans submitted for approval with revised design reflecting feedback from Commissioners.



PROJECT SETTING:

The location is a City lease site (87-88 and 87W-88W) occupied with the existing two-story Libertine building. The first floor is occupied by a bar/restaurant area and second floor is unused office/meeting space. The building predates City incorporation and has a recognized historic parking credit of 79 parking spaces based on the original building uses.

| Adjacent Zoning/Land Use | | | |
|---------------------------------|---|--------|---|
| North : | Waterfront (WF/PD, S.4) / Visitor-serving commercial; lodging | South: | Waterfront (WF/PD, S.4) visitor-serving commercial and fishing dock |
| East: | Commercial Visitor-Serving(C-VS, PD/S.4), Commercial | West: | Harbor |

| Site Characteristics | |
|-----------------------------|--|
| Overall Site Area | 7,402sf (Project proposal includes lease line adjustment. Project area such as street where it is public right of way will also require a special encroachment permit from Public Works). |
| Existing Use | City land and water lease – Existing use is visitor-serving commercial (restaurant, bar) and adjacent street end with 5 parking spaces mostly on-site. Existing side-tie dock and supporting piles proposed for replacement. |
| Terrain | Land portion previously developed. |
| Vegetation/Wildlife | Eelgrass report found no eelgrass present where the walkway and dock would be added. |
| Access | Embarcadero |
| Archaeological Resources | No known resources. |

| General Plan, Zoning Ordinance & Local Coastal Plan Designations | |
|---|---|
| General Plan/ Local Coastal Plan | Visitor-serving commercial uses |
| Land Use Designation | Waterfront Commercial /Industrial |
| Base Zone District | WF, Waterfront Zoning district |
| Coastal Land Use Plan Community Character Area | Embarcadero |
| Zoning Overlay District | PD, Planned Development overlay |
| Special Treatment Area | S.4 |
| Waterfront Master Plan | Planning Area 3: Embarcadero Visitor Area |
| Coastal Zone | Coastal Commission original jurisdiction. Applicant required to obtain Coastal Development Permit from Coastal Commission prior to issuance of any building permit. |

| Development Standards | | |
|---|---|---|
| <i>Those standards highlighted in red indicate exceptions requested based on the Planned Development overlay. Refer to public benefit discussion.</i> | | |
| | Requirement | Proposed |
| Front Setback 2nd floor Front Setback | 5'0" average 10' from back of sidewalk | 1 st floor= 5'4" 2nd floor = 5'4" |
| Side Setbacks | 0' interior side 5'0" average (exterior side) | interior side – 1'0" exterior side – 2' 9" (average) Lease site boundary cannot be adjusted south into public right of way (street) area. Therefore, portion of exterior staircase extends past lease line which will require special encroachment permit where lease line boundary cannot be modified. |
| Rear Setback (Waterfront) | 10' | 15' 8" from face of building to land lease boundary line. 15 foot Harborwalk is from edge of tables to railing. |
| Height | 17' or up to 25' w/ PC finding of significant public benefit | 25' (see public benefit discussion) |
| Roof Requirement: 80% > 4:12 Pitch Area | Minimum 80% | 88% of Roof Area at 4:12 pitch |
| Lot Coverage | 70% maximum of land portion | 70% |
| 2nd Floor Lot Coverage | 70% of allowed first floor coverage | 64% |
| FAR (floor area ratio) | No requirement in 1997 Code (Max 1.25 in 2022 Code) | 1.14 |
| Parking Requirements (MBMC 17.44): | Proposed project does not trigger additional parking requirements. This is based on past City recognition of 79 historic parking spaces. Proposed building uses will otherwise require 67 parking spaces. One 10' x 35' Loading Zone spaces to be provided on street. Project compliant with parking standards. Creation of plaza will require removal of 11 street-end parking spaces. | |
| View Requirement Corridor | Per the Waterfront Master Plan, corner lease sites can utilize diagonal view corridors (45-degree angle) to meet view corridor requirement as alternative to the standard requirement which is 30% of lease width for two-story buildings where lease site is >50 feet wide. The project plans show a | |

| | |
|--|--|
| | small encroachment into the southwest building corner on the site plan (Plan sheet A1.1 and image shown on page 3 above) |
|--|--|

REGULATIONS:

The project was reviewed and evaluated under both the 1997 and 2022 Zoning Code. The application was deemed complete in February 2023, and is being presented for approval pursuant to the 1997 Zoning Code because the 2022 Zoning Code/Coastal Implementation Plan (IP) has not yet been certified by the Coastal Commission. Those Zoning Code portions of the IP that are not subject to Coastal Commission certification therefore are legally in effect and were included in the project evaluation.

The project meets the standards in all areas except for second floor front setback, a small area of view corridor encroachment into the 45 degree angle requirement at the southwest building corner, and building height. The building height is proposed at 25 feet from average natural grade where the standard height limit is 17 feet on the west side of the Embarcadero.

The lease site is zoned WF/PD/S.4 as a waterfront zone and the land use designation is waterfront commercial/industrial and is in a Planned Development (PD) overlay zone (MBMC 17.40.030) which applies special standards to primary zoning districts. The S.4 Overlay Zone requires all projects to undergo architectural review. In addition, Chapter 17.38 of the 2022 Zoning Code requires that all new commercial construction projects undergo Design Review by Planning Commission which is addressed in this staff report. Although the 1997 Zoning code did not expressly have a design review chapter, the PD overlay with the submittal requirements for concept and precise plan approvals by Planning Commission and the S.4 treatment overlay function in the same regard as Design Review. Staff is recommending that the project be approved as a combined concept/precise plan approval because the plans include all the required elements of a Precise Plan submittal, and Planning Commission previously reviewed this project as a conceptual review in February 2022.

PROJECT DETAILS / DESIGN REVIEW:

The Applicant has provided a Redevelopment Description that provides detail on the proposed project as well as project design (Exhibit B). The project plans presented during the 2022 Conceptual Review meeting showed a waterfront rustic design with a sawtooth roof. After receiving input from the Planning Commission, the Applicant has revised the project design to reflect a modern maritime design. The project included materials commonly found on the waterfront including cement plaster, metal panels, and cement fiber boards. The revised architectural design and choices of material types creates a wood and steel finish look to the building with a sleek modern design (See color and material boards plan sheet A5.1).

Project plans show the floor plan layout included as plan sheet A2.2 and A2.3. First floor plans include the proposed restaurant with a main dining area, covered dining with glass sectional roll-up doors and outdoor patio as well as coffee shop, and first floor hotel entry lobby area.

Second floor plans include 7 hotel room units in a north south orientation ranging in size from 285sf to 357sf. Five of the rooms have south facing private patios with privacy screening. One of the units is shown with open seating outside the hotel room.

An alternate second floor plan has also been submitted for Planning Commission consideration and approval (Exhibit C). The alternate plan still shows 7 hotel units, but instead two hotel units on the west side of the building are oriented in an east west direction to maximize views of the bay. In this configuration, the building footprint and exterior wall would not change. The size of the hotel units in the alternate layout range from 250sf to 384sf.

The existing basement would not be demolished but rather is proposed to be expanded to include a larger brewing area, storage/mechanical room and other business storage areas. The expanded square footage area is proposed on the east side of the building, with no change to below ground level elevation.

The demo plan is shown on plan sheet A2.1 and identifies the street end as the construction staging area with temporary fencing. Public access along Rose's Landing Harborwalk and the publicly accessible dock would still be available and accessible along the south side of the staging area.

Elevations:

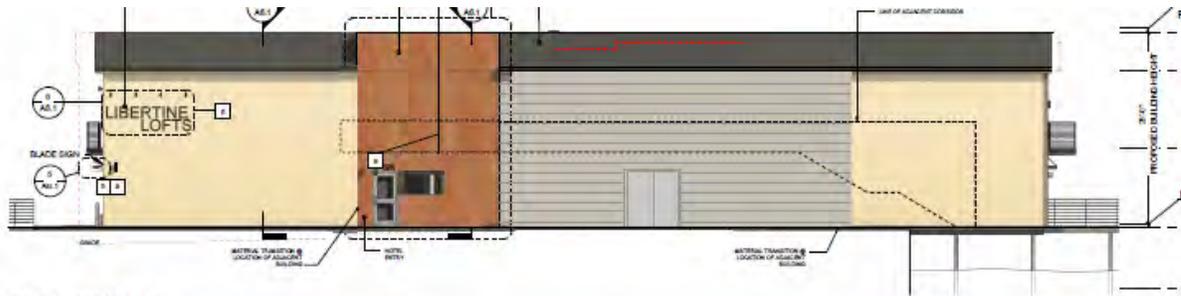
The existing building is considered nonconforming under the current code because it both exceeds height requirement maximum of 17 feet and because no existing view corridor is provided for a lease site of this size. The L-shaped configuration of the building as a two-story development fully blocks any required view corridor. The Applicant's proposal is also for a two-story building, but it improves the view corridor by providing diagonal view corridors as required by the Waterfront Master Plan and lowers the height of the building along the southwest as shown in the east elevation image below. The red dashed line illustrates the difference in height from existing to proposed.



Proposed east elevation



Proposed west elevation



3 NORTH EXTERIOR ELEVATION

North elevation of building facing the neighboring Harborwalk Plaza development. Hotel lobby check in for the proposed “Libertine Lofts” 7-unit hotel would be accessed through the alleyway and is visible in the visual simulations depicted on plan sheet A9.2. The trash enclosure for the building would also be accessible from this elevation.



4 SOUTH EXTERIOR ELEVATION

The south exterior elevation shown above depicts the first-floor restaurant, covered dining, open outdoor dining area, and exterior staircase that provides public access to a second level public viewing deck. The Applicant’s project description states that the public view deck would be open to the public at certain times. To maximize coastal access, staff is recommending a condition of approval that the public view deck be made open and available during daylight hours (Planning condition 6). The second-floor hotel rooms will each have private fenced patio areas with direct access to the viewing deck. The hotel unit fronting Embarcadero would have its own private balcony.

Public Access Improvements/ Harborwalk:

As stated, the Applicant is proposing to extend the Harborwalk across the rear of the lease filling in a gap in the City’s Harborwalk. The Waterfront Master Plan requirement for new development is 10 feet in width and the Applicant is proposing 15’ which would connect the lease site to the north with the street end to the south.

The proposed coastal access signage is shown on plan sheet D.1. This includes new dock signage, Harborwalk public coastal access signage, and a proposed working

waterfront historical interpretive sign. Planning condition #7 has been added to require proposed historical sign copy to be submitted for review and approval by the Community Development Director prior to issuance of a building permit.

Dock and Gangway Replacement:

In addition to the proposed new Harborwalk, the project also includes replacement of the existing side tie dock to create two boat slips. Plan sheet D1 shows replacement of 7 new steel piles, sleeving of 3 existing wood piles with an epoxy grout method to support the Harborwalk and dock and gangway along with new floating main float, utility pedestal, new gangway and vertical harborwalk connection to the street end (Plan sheet D2). To accommodate this work, the project proposal includes a request for a lease line adjustment to the water lease. The proposed water lease would extend west 15 feet to the edge of the new dock and extend south 7' 4" to the edge of the vertical Harborwalk access at the southwest building corner. The lease line adjustment enables the land and water lease lines to be reflective of the uses within those boundaries. (Plan sheet D1.) The handrail proposed for the Harborwalk would match the adjacent lease site to the north.

Visual Simulations

The Applicant has submitted multiple visual simulations included on plan sheet A9.1 and A9.2. The simulations include the proposed building against the accessway and redeveloped Harborwalk Plaza building to the north as well as from the bluff top.



Color and Materials

Plan sheet A5.1 depicts the proposed color and materials. Project plans show the proposed color and materials on these plan sheets as well as in the visual simulations. The project proposes use of composite wood and shiplap siding, corten panels, and standing seam metal roof.



Lighting / Landscaping

Proposed landscaping is shown on plan sheet A1.3 with drought tolerant native plantings bordering the outdoor seating area and other perimeter plantings around the building and on the second level viewing deck. Landscaping plans include a planting schedule and complies with State water efficient landscaping requirements as specified on plan sheet A1.3.

Lighting details as discussed above are shown on plan sheet A1.4 with the fixture schedule noting both exterior wall sconces and 30" bollard lighting at the south lease site boundary line. Per manufacturer spec sheets, the proposed wall lighting fixtures have a rated color temperature of 3000 Kelvin and CRI of 96; the proposed bollard lights are 2700 Kelvin and CRI of 80; and wall signage spotlight is also 3000 Kelvin and 90 CRI which complies with the 2022 Zoning Code exterior lighting requirements (Planning condition 16).

Master Sign Program

The Applicant has included in the plans the proposed signage for the project. Per the City's updated sign ordinance from the 2022 Zoning Code, a master sign program is required for signage at multi-business site. The project is requesting approval for a total of 24sf of signage on the primary façade (Embarcadero), 45.88sf proposed on the south facing secondary façade, and 36.38 sf proposed on the north facing secondary facade where per the Sign Ordinance a maximum allowance of 75 sf would be allowed on the primary façade and 60 sf would be allowed on the secondary façades. The goal of the master sign program is to ensure signage is uncluttered, consistent, and fairly distributed between tenants. Plan sheet A8.1 includes an

itemized table of proposed signage calculations. Elevation plan sheets A5.1 and A5.2 show sign locations and sign copy is shown on plan sheets A8.1. The sign package includes 1 large logo wall sign in the shape of a “L”, 2 smaller “L” logo wall signs, and a collection of smaller wall and pub signs. The table included on plan sheet 8.1 is for business signs only as public coastal access and dock signs are not included in square footage allowance.

Per the Sign Ordinance, pub signs are meant to be 30 ft apart and a minimum of 15 feet from the edge of a façade. The project’s two proposed pub signs are located on the façade facing the Embarcadero; however, this façade is only 25 ft wide. In addition, plan sheet A5.1 shows an additional pub sign “Libertine Loft” on the north elevation which was not included in the sign calculation table. Should the PC approve the extra pub sign, it would still be within the max square footage allowed, but would need to be moved 15 feet from the edge of the façade. Planning Commission can approve the pub signs on the east elevation to allow them closer than the minimum distance required from each other and the façade edge with the conditional use permit review.

Consistency with 1996 Waterfront Master Plan (WMP)

The proposal is within the Waterfront Master Plan and is within Planning Area 3: Embarcadero Visitor Area. This portion of the Embarcadero contains the majority of the shopping and eating establishments as well as the most intense mix of pedestrian and vehicle activity. The Waterfront Master Plan includes guidance for development of Area 3, including, in part, lateral access along the bay front of commercial buildings that connect to lateral access components of adjacent buildings, view corridors, and sidewalk improvements. The proposed project addresses each of these components by constructing new 15’ Harborwalk where none previously existed, improves the public viewshed from the bluff top looking across the building as the design of the building reduces the existing two story construction at the southwest corner as visible in the east elevation (Plan sheet A5.1), including a 2nd level open public viewing deck, adding new public coastal access signage, improved overall commercial signage aesthetics through the sign program proposed for the new building, provides overnight accommodations, and preserves scenic vistas at the street ends which enhances public amenities in this area with the creation of the public plaza. Additional enhanced public amenities are required by the WMP, including benches, trash containers, and informational signs. Staff is recommending a condition of approval be added to include a minimum of three trash receptacles with self-closing lids consistent with other recent waterfront projects (Planning condition 17), location of a minimum of two public benches located in the plaza area, (Planning condition 18) and addition of a 4-8 capacity bike rack (Planning condition 19). With the incorporation of these conditions of approval, the project would be consistent with the Waterfront Master Plan proposals for Planning Area 3.

Consistency with 2018 Downtown Waterfront Strategic Plan (DWSP)

The DWSP includes waterfront design guidelines for the waterfront area that would apply to this lease site.

Building design – The project is designed to improve overall public views through the site by creating diagonal view corridors as well as an open second floor public viewing deck that reduces the height of the existing building.

Character-defining Elements and Architectural Quality – The choice of materials and colors creates a modern maritime look with the design choice of composite wood and shiplap siding, corten panels, and standing seam metal roof.

Design Materials – Harborwalk railing proposed to be stainless cable railing and designed to create lateral continuity with adjacent lease site.

Commercial Signage – Proposed signage is a modern block lettering design with characteristic Libertine “L” logo

Public Signage and Wayfinding – Project plans include sign plan with public coastal access signage and proposed historical interpretive panel sign.

Low Cost Visitor Serving Accommodations

The LCP also requires provision of low-cost visitor serving accommodation pursuant to Policy LU-6.1 which requires lower cost visitor-serving overnight accommodations be provided and encouraged. In addition, Policy LU-6.5 requires that accommodations on State Tidelands include lower-cost units. The Applicant has provided a proposed list of amenities and proposed rates in support of the requirement (Exhibit D). Consistent with previously approved Tideland projects, staff is recommending a condition of approval be added which would require 25% of units defined as higher cost accommodations to be provided toward this requirement, unless otherwise modified by the coastal development permit approved by the Coastal Commission (Planning Condition 8). The threshold for determining a lower-cost accommodation is specified in the new Zoning Code which is either used as the City’s Lower-Cost Accommodation Technical Memo, Smith Travel Research data, or not to exceed 75% of the prior year’s Statewide average daily room rate.

PROJECT ANALYSIS AND PUBLIC BENEFIT:

The project as proposed exceeds development standards related to view corridor, second floor front setback, and height. Pursuant to the PD overlay, Planning Commission can approve the project requested exceptions upon finding that there is significant public benefit provided as part of the project.

To offset the requested exceptions, the Applicant’s proposal for significant public benefit includes 50% wider than required Harborwalk (15 foot where minimum 10 foot is the requirement), second floor public viewing deck, publicly accessible dock, and

funding and installation of public plaza improvements, portable stage for community events, new sidewalk, electrical for the plaza area, curb and street enhancements, as well as proposed pedestrian and drop off area.

Plaza Improvements

The proposed plaza improvements are part of the series of public benefits offered by the project in support of the request for exceptions that includes 1.) a proposed 25 feet height which can be allowed up to 25' with significant public benefit per the WMP, but where otherwise 17 feet is the standard height maximum, 2.) second floor front setback, and 3.) small view corridor encroachment at the southwest building corner as shown on the site plan. The plaza improvements are shown on plan sheet A1.2 which is labeled as a proposed Friday/Saturday concert layout plan. This includes removal of the 11 street end parking spaces on both sides of the street and converting the street area to a public plaza using stabilized decomposed granite surfacing material, installation of electrical via three power underground boxes spaced throughout the plaza, and area for a removable stage to be used during special events. The concert layout plan also includes a portable crowd barrier and identifies location of controlled entry/exit point without impacting coastal access pathways. In the City's adopted Downtown Waterfront Strategic Plan, one of the top public improvements identified by the General Plan Advisory Committee (GPAC) was creating an outdoor performance area. This is also consistent with GP/LCP policy (CIR2.2) for a public plaza in the street end by creating distinct lateral access connections across the street ends on the west side of the Embarcadero including by relocating parking from these areas which this project achieves. As a public benefit proposal, the use of the public plaza as a concert venue will be during summer weekends free to the public similar to summer concert series held in other local communities. Other dates throughout the year would be available for the City to control this space for events, farmers markets, weddings, fairs, etc. The more specific plaza public benefit included in the Applicant's Redevelopment proposal (Exhibit B) includes:

- Metered Electrical connections at three locations across plaza
- Metered Water connections at two locations across plaza
- Removal of hardscapes and asphalt paving at plaza area
- Concrete curb transitions and stabilized DG Surfacing across plaza area
- Reconfigure curb DI drainage through plaza area
- Perform any additional improvements requested by City paid for by adjacent lease sites or City can be performed during the construction phase

Visual simulations included on plan sheets A9.1 and A9.2 include depiction of the public plaza below:



ENVIRONMENTAL:

Previous eelgrass studies done in this area show no presence of sensitive eelgrass habitat. The most recent eelgrass survey was done on October 16, 2022, for this project. The survey was performed by Tenera Environmental and found no eelgrass below where the walkway and dock would be added. The nearest eelgrass patch was directly offshore of the public floating dock south of the Libertine Pub. Based on the California Eelgrass Mitigation Policy (CEMP) protocols, where potential habitat is defined as being within 5 meters surrounding eelgrass, approximately 11% of the seabed (18 m²) beneath where the planned dock and walkway would be constructed represents potential habitat for eelgrass. The eelgrass report findings are consistent with past eelgrass report findings as well. Unless otherwise waived by CEMP or through the Army Corps permitting process, the project would be required to provide a pre-construction survey prior to construction (Planning condition 10) The project will be subject to marine mammal monitoring during construction with implementation of best management practices (BMPs) as conditioned by Planning conditions 11-15. The project based on size meets the requirement for a categorical exemption under CEQA, Section 15302, Class 2b under replacement or reconstruction of commercial structures with a new structure of substantially the same, size, purpose, and capacity is allowed for which the proposed Libertine Brewing project would qualify for an exemption. Additionally, none of the Categorical Exemption exceptions, noted under section 15300.2, apply to the project.

PUBLIC NOTICE:

Notice of a public hearing on this item was posted at the site and published in the Tribune newspaper on December 8, 2023, and mailed directly to all property owners and occupants of record within 500 feet of the subject site. The notices invited the public to attend the hearing and express any concerns they may have regarding the proposed project.

CONCLUSION:

PC should include direction on the proposed alternate second floor plan and whether it supports allowing the projecting signs on the west and north building sides to be less than 30 feet apart as described in the staff report.. This project offers an opportunity to redevelop an existing underutilized commercial building and improve the visual character at a prominent central Embarcadero location. The proposal to redevelop the site and provide a mixed -use development with restaurant, coffee shop, and 7 hotel units as a new source of overnight accommodations with condition to meet low-cost visitor serving accommodations in a desired waterfront area. The project also proposes significant new Harborwalk public access by filling in the gap between the Harborwalk Plaza and the street end providing a 15-foot wide Harborwalk where 10 feet is the requirement. The architecture as shown in the color and materials board matches existing materials and elevations of other waterfront properties. The sign program as proposed is a modern minimalist design that provides an attractive updated appearance to the proposed new building. Furthermore, the project is consistent with the Downtown Waterfront Strategic Plan for outdoor dining, exterior lighting, and a sign program which encourages projecting signs oriented towards pedestrians and bicyclists and consistent with the Waterfront Master Plan planning proposals.

The project as proposed provides for enhanced public access which meets City goals in the Waterfront Master Plan and with approval of a master sign program will add to the ambiance of the waterfront area. It is consistent with the City's General Plan and Local Coastal Program (LCP). With the incorporation of recommended conditions, staff recommends that Planning Commission forward a favorable recommendation of this combined Concept Plan/Precise Plan to City Council for approval.

EXHIBITS:

Exhibit A – Planning Commission Resolution 19-23

Exhibit B – Applicant's Project Summary received February 2023

Exhibit C – Alternate 2nd Floor floor plan submitted by Applicant, October 10, 2023

Exhibit D – Proposed Room Occupancy and Rates for Low Cost Visitor Serving Accommodation Requirements

Exhibit E – Plans/ Reductions received November 1, 2023

Online Link:

1. Conceptual Review staff report, 2/01/2022 Planning Commission meeting
<https://www.morrobayca.gov/ArchiveCenter/ViewFile/Item/5840>

Exhibit A

RESOLUTION NO. PC 19-23

A RESOLUTION OF THE MORRO BAY PLANNING COMMISSION FOR COMBINED CONCEPT/PRECISE PLAN CONDITIONAL USE PERMIT APPROVAL (#CUP22-09) FOR DEMOLITION AND RECONSTRUCTION OF TWO-STORY WITH BASEMENT MIXED-USE BUILDING INCLUDING RESTAURANT, COFFEE SHOP, BREWING AREA, 7 UNIT HOTEL, OUTDOOR DINING, RECONSTRUCTION OF NEW SIDE-TIE DOCK AND GANGWAY, MASTER SIGN PROGRAM APPROVAL, HARBORWALK AND PUBLIC ACCESS IMPROVEMENTS, INCLUDING REMOVAL OF 11 PUBLIC PARKING SPACES IN STREET-END FOR CREATION OF NEW PUBLIC PLAZA, AT 801 EMBARCADERO, LIBERTINE BREWING

WHEREAS, the Planning Commission of the City of Morro Bay conducted a public hearing at the Morro Bay Veteran's Hall, 209 Surf Street, Morro Bay, California, on December 19, 2023, for the purpose of considering combined Concept Plan/Precise Plan approval of Conditional Use Permit #CUP22-09 and forwarded a favorable recommendation with conditions to the City Council for approval; and

WHEREAS, notices of said public hearing were made at the time and in the manner required by law; and

WHEREAS, the Planning Commission has duly considered all evidence, including the testimony of the applicant, interested parties, and the evaluation and recommendations by staff, presented at said hearing.

NOW, THEREFORE, BE IT RESOLVED by the Planning Commission of the City of Morro Bay as follows:

Section 1: Findings. Based upon all the evidence, the Commission makes the following findings:

California Environmental Quality Act (CEQA)

A. That for purposes of the California Environmental Quality Act, Case No. CUP22-09 is categorically exempt under Section 15302, Class 2b where under replacement of reconstruction of commercial structure with a new structure of substantially the same, size, purpose, and capacity is allowed for which the proposed Harborwalk Plaza project would qualify for an exemption. In addition, an eelgrass survey was performed on October 16, 2022 which found no eelgrass growing in the proposed waterfront project area. The project will be subject to marine mammal monitoring during construction with implementation of best management practices (BMPs) as conditioned by Planning conditions 10-15. Additionally, none of the Categorical Exemption exceptions, noted under section 15300.2, apply to the project.

Conditional Use Permit Findings

A. The project will not be detrimental to the health, safety, morals, comfort and general welfare of the persons residing or working in the neighborhood in that demolition/reconstruction of mixed use two story building of 7 hotel units and ground floor restaurant and coffee shop uses with reconstructed dock system at 801 Embarcadero are permitted uses within the zoning

Exhibit A

district and said structures comply with all applicable project conditions and City regulations and is consistent with the City's Local Coastal Program. In addition, as shown on project plans

- B. The project will not be injurious or detrimental to property and improvements in the neighborhood and the general welfare of the City in that the proposed hotel use, new restaurant, coffee shop, outdoor dining, reconstructed side-tie dock and gangway along with public plaza will provide a visitor-serving recreational opportunity which will provide additional benefit and improvement to a visitor-serving commercial use and is consistent with the character of the existing development.

Waterfront Master Plan Findings

- A. The proposed project makes a positive contribution to the visual and public accessibility to the bay while increasing and maintaining commercial fishing industry:
 - a. Meets the Waterfront plan height limit and maximum building coverage, bulk, and scale requirements in that the proposed project does not exceed the maximum height allowed and interesting articulation breaks up the bulk and scale, and complies with roof sloping requirements.
 - b. In the case of granting height greater than 17 feet, the proposed project also provides significant public benefit pursuant to the Planned Development Overlay zone requirements in that the proposed project is providing significant public benefit in the form of a 15 foot wide Harborwalk where 10 foot is the requirement, a second floor public viewing deck, publicly accessible dock, and creation of public plaza improvements and event space.
 - c. The proposed project provides the amenities identified in the WF Plan, facilitates pedestrian visual and physical access to the waterfront, and takes advantage of outward views and characteristics of the topography in that the building including a 2nd level open public viewing deck, adding new public coastal access signage, improved overall commercial signage aesthetics through the sign program proposed for the new building, provides overnight accommodations, and preserves scenic vistas at the street ends which enhances public amenities in this areas with the creation of the public plaza. The open second floor public viewing deck enhances the views as seen from the bluff top looking across the building towards the bay.
 - d. The proposed project makes a positive contribution to the working fishing village character and quality of the Embarcadero area in that the new project will add to the pedestrian orientation with outdoor dining area, public plaza improvements, which will maintain and enhance views of the bay.
 - e. The proposed project recognizes the pedestrian orientation of the Embarcadero and provides an interesting and varied design that will enhance the pedestrian experience in that the new building will open up to the passing pedestrian through creation of 15 foot Harborwalk/bayside lateral access where none currently exists.
 - f. The project gives its occupants and the public some variety in materials and/or application in that the building will consist of composite wood and shiplap siding, corten

Exhibit A

panels and standing seam metal roof and the outdoor dining area will be bordered by drought tolerant landscaping in an attractive planter area.

- g. The project contains the elements of harmony, continuity, proportion, simplicity, and balance, and its appearance matches its function and the uses proposed in that the new structure will provide more horizontal and vertical articulation, provide bay views with the second level public viewing deck, and creation of 15-foot wide Harborwalk/bayside lateral access all of which provides articulation that is consistent with the character of the waterfront.
- h. The proposed project does not diminish, either directly or by cumulative impact of several similar projects, the use, enjoyment, or attractiveness of adjacent buildings and provides a visual and pedestrian transition to its immediate neighbor in that the existing and new construction is in keeping with the architectural style, massing, materials, scale, and use of its surroundings.

Planned Development Overlay Finding

- A. The Planning Commission finds the project as conditioned with the provision of public benefits including 15 foot Harborwalk where 10 foot is otherwise required, second floor public viewing deck, publicly accessible dock, and creation of public plaza improvements and event space in the adjacent street end constitutes greater than normal benefits and warrants modification of standards to allow a reduction in the second floor front setback, a small encroachment into the required diagonal view corridor at the southwest building corner, allow projecting pub signs as shown on project plans on the east and north elevation to be located less than 30 feet apart and also less than 15 feet from edge of facade and also to allow building height up to 25 feet where otherwise 17 feet would be the standard building height.

Architectural Consideration

- A. As required by Ordinance Section 17.48.200 the Planning Commission finds that the architectural treatment and general appearance of all proposed structures and open areas are in keeping with the character of the surrounding areas, are compatible with any design themes adopted by the city, and are not detrimental to the orderly and harmonious development; of the city or to the desirability of investment of occupation in the area.

Design Review Finding

- A. Pursuant to 2022 Zoning Code Chapter 17.38, the Planning Commission finds that the overall design of the project including its form, scale, massing, site plan, exterior design, and landscaping will implement the General Plan Vision for Community Character Areas for the particular area in which it is located as well as complement the natural and built features of surrounding properties and incorporate sustainable development features.
- B. The project design is appropriate to the function of the project and will provide an attractive and comfortable environment for occupants, visitors, and the general community.
- C. Project details, materials, signage and landscaping, are internally consistent, fully integrated with one another, and used in a manner that is visually consistent with the proposed architectural design.
- D. The design of streetscapes, including street trees, lighting, and pedestrian furniture, is consistent with the intended character of the area.

Exhibit A

- E. Hardscape areas are designed and developed to buffer surrounding land uses; compliment pedestrian-oriented development; enhance the environmental quality of the site, including minimizing stormwater run-off and the heat-island effect; and achieve a safe, efficient, and harmonious development.
- F. Lighting and lighting fixtures are designed to complement buildings, be of appropriate scale, provide adequate light over walkways and parking areas to create a sense of pedestrian safety, avoid creating glare, and conform to dark sky principles.
- G. Landscaping is designed to be compatible with and enhance the vision for the Community Character Area in which the development is located as well as the architectural character and features of the buildings on site.

Downtown Waterfront Strategic Plan Finding

- A. The Planning Commission finds that the project as proposed is consistent with the Waterfront Specific Design Guidelines in the 2018 Downtown Waterfront Strategic Plan as evaluated in the staff report. The project redesigns the lease site with the demolition and reconstruction of the existing two story building and improves the view corridor and improves overall public views through to the Bay. The project proposes design materials consistent with the fishing village character of the community and consistent with the materials of the adjacent lease site. The project proposes diagonal view corridors, and provides 15 feet of Harborwalk bayside lateral access where none currently exists. The project proposes a nautical design theme through the proposed commercial signage. The project as conditioned includes enhanced amenities such as a new public plaza, benches and informational signs, and the project also proposed appropriate lighting to encourage safety and comfort, but with downcast, shielded lighting fixtures.

Section 2. Action. The Planning Commission does hereby approve Conditional Use Permit #CUP22-09 subject to the following conditions:

STANDARD CONDITIONS

1. This permit is granted for the land described in the staff report dated December 11, 2023, for the project at 801 Embarcadero depicted on plans dated November 1, 2023, on file with the Community Development Department, as modified by these conditions of approval, and more specifically described as follows: Site development, including all buildings and other features, shall be located and designed substantially as shown on Planning Commission approved plans submitted for CUP22-09, unless otherwise specified herein.
2. Inaugurate Within Two Years: Unless the construction or operation of the structure, facility, or use is commenced not later than two (2) years after the effective date of this Resolution and is diligently pursued, thereafter, this approval will automatically become null and void; provided, however, that upon the written request of the applicant, prior to the expiration of this approval, the applicant may request up to two extensions for not more than one (1) additional year each. Any extension may be granted by the City's Community Development Manager (the "Director"), upon finding the project complies with all applicable provisions of the Morro Bay Municipal Code (the "MBMC"), General Plan and

Exhibit A

certified Local Coastal Program Land Use Plan (LCP) in effect at the time of the extension request.

3. Changes: Minor changes to the project description and/or conditions of approval shall be subject to review and approval by the Community Development Director. Any changes to this approved permit determined, by the Director, not to be minor shall require the filing of an application for a permit amendment subject to Planning Commission review.
4. Compliance with the Law: (a) All requirements of any law, ordinance or regulation of the State of California, the City, and any other governmental entity shall be complied with in the exercise of this approval, (b) This project shall meet all applicable requirements under the MBMC, and shall be consistent with all programs and policies contained in the LCP and General Plan for the City.
5. Hold Harmless: The applicant, as a condition of approval, hereby agrees to defend, indemnify, and hold harmless the City, its agents, officers, and employees, from any claim, action, or proceeding against the City as a result of the action or inaction by the City, or from any claim to attack, set aside, void, or annul this approval by the City of the applicant's project; or applicants failure to comply with conditions of approval. Applicant understands and acknowledges the City is under no obligation to defend any legal actions challenging the City's actions with respect to the project. This condition and agreement shall be binding on all successors and assigns.
6. Compliance with Conditions: The applicant's establishment of the use or development of the subject property constitutes acknowledgement and acceptance of all Conditions of Approval. Compliance with and execution of all conditions listed hereon shall be required prior to obtaining final building inspection clearance. Deviation from this requirement shall be permitted only by written consent of the Director or as authorized by the Planning Commission. Failure to comply with any of these conditions shall render this entitlement, at the discretion of the Director, null and void. Continuation of the use without a valid entitlement will constitute a violation of the MBMC and is a misdemeanor.
7. Compliance with Morro Bay Standards: This project shall meet all applicable requirements under the MBMC, and shall be consistent with all programs and policies contained in the LCP and General Plan of the City.
8. Conditions of Approval: The Findings and Conditions of Approval shall be included as a full-size sheet in the Building Plans.

BUILDING CONDITIONS:

A. PRIOR TO ISSUANCE OF A BUILDING PERMIT:

1. Building permit plans shall be submitted by a California licensed architect or engineer when required by the Business & Professions Code, except when otherwise approved by the Chief Building Official.
2. The owner shall designate on the building permit application a registered design professional who shall act as the Registered Design Professional in Responsible Charge. The Registered Design Professional in Responsible Charge shall be responsible for

Exhibit A

reviewing and coordinating submittal documents prepared by others including phased and staggered submittal items, for compatibility with design of the building.

3. The owner shall comply with the City's Structural Observation Program. The owner shall employ the engineer or architect responsible for the structural design, or another engineer or architect designated by the engineer of record or architect responsible for the structural design, to perform structural observation as defined in Section 220. Observed deficiencies shall be reported in writing to the owner's representative, special inspector, contractor and the building official. The structural observer shall submit to the building official a written statement that the site visits have been made and identify any reported deficiencies that, to the best of the structural observer's knowledge, have not been resolved.
4. The owner shall comply with the City's Special Inspection Program. Special inspections will be required by Section 1704 of the California Building Code. All Special Inspectors shall first be approved by the Building Official to work in the jurisdiction. All field reports shall be provided to the City Building Inspector when requested at specified increments in order for the construction to proceed. All final reports from Special Inspectors shall be provided to the Building Official when they are complete and prior to final inspection.
5. Mitigation measures for natural occurring asbestos require approval from San Luis Obispo County Air Pollution Control District.
6. A soils investigation performed by a qualified professional shall be required for this project. All cut and fill slopes shall be provided with subsurface drainage as necessary for stability; details shall be provided. Alternative, submit a completed City of Morro Bay soils report waiver request.
7. BUILDING PERMIT APPLICATION. To apply for building permits submit three (3) sets of construction plans to the Building Division.
8. The Title sheet of the plans shall include:
 - a. Occupancy Classification(s)
 - b. Construction Type
 - c. Maximum height of the building allowed and proposed
 - d. Floor area of the building(s)
 - e. Fire sprinklers proposed or existing
 - f. Minimum building setback allowed and proposed

All construction will conform to the 2022 California Building Code (CBC), 2022 California Residential Code (CRC), 2022 California Fire Code (IFC), 2022 California Mechanical Code (CMC), 2022 California Plumbing Code (CPC), 2022 California Electrical Code (CEC), 2022 California Energy Code, 2022 California Green Building Code (CGBC), Title 14 and 17 of the Morro Bay Municipal Code.

(Code adoption dates are subject to change. The code adoption year is established by application date of plans submitted to the Building Division for plan review.)

B. CONDITIONS TO BE MET DURING CONSTRUCTION:

BUILDING DIVISION:

Exhibit A

1. **SITE MAINTENANCE.** During construction, the site shall be maintained so as to not infringe on neighboring property, such as debris and dust.
2. **ARCHAEOLOGICAL MATERIALS.** In the event unforeseen archaeological resources are unearthed during any construction activities, all grading and or excavation shall cease in the immediate area and the find left untouched. The Building Official shall be notified so that the extent and location of discovered materials may be recorded by a qualified archaeologist, Native American, or paleontologist, whichever is appropriate. The qualified professional shall evaluate the find and make reservations related to the preservation or disposition of artifacts in accordance with applicable laws and ordinances. If discovered archaeological resources are found to include human remains, or in any other case when human remains are discovered during construction, the Building Official shall notify to county coroner. If human remains are found to be of ancient age and of archaeological and spiritual significance, the Building Official shall notify the Native American Heritage Commission. The developer shall be liable for costs associated with the professional investigation.
3. **FOUNDATION SETBACK VERIFICATION:** Prior to the placement of concrete and upon completed form installation, a licensed surveyor is required to measure and record the distance from the proposed foundation walls to the established lot lines. The contractor shall submit these findings in letter format to the building inspector upon the request for a foundation inspection. Letter shall specify the findings of front, sides and rear yard setbacks as defined in Title 17 of the MBMC. The Building Official shall have discretion on a case-by-case basis for some lot types.
4. **BUILDING HEIGHT VERIFICATION:** Prior to roof sheathing or shear wall inspection, a licensed surveyor is required to measure and record the height of the structure. The contractor shall submit this finding in letter format to the building inspector upon the request for roof sheathing/shear wall inspection. Letter shall specify the recorded height of structure as defined in Title 17 of the MBMC. The Building Official shall have discretion on a case-by-case basis for some site-specific projects.
5. **EXISTING BUILDINGS:** Where windows are required to provide emergency escape and rescue openings, replacement windows shall comply with the maximum sill height requirements of section R310.2.2 and the minimum opening area requirements of section R310.2.1 of the 2022 California Residential Code.

C. CONDITIONS TO BE MET PRIOR TO FINAL INSPECTION AND ISSUANCE OF CERTIFICATE OF OCCUPANCY:

BUILDING DIVISION:

1. Prior to Building Division final approval all required inspections from the other various divisions must have been completed and verified by a city inspector. All required final inspection approvals must be obtained from the various departments and documented on the permit card.
2. Prior to building division final approval and request for final inspection, all required inspections from the other various divisions and departments must be completed and

Exhibit A

verified by a city inspector. All required final inspection approvals must be obtained from the various departments and documented on the permit card. This permit card shall then be turned into the building division for scheduling of the final building inspection.

3. Any as-built drawings that were required by the building inspector or plans examiner must be submitted for approval prior to the request for final inspection.
4. If structural observations were required, the final structural observation report shall be submitted to the building division prior to issuance of the certificate of occupancy or final inspection approval.
5. If special inspections were required, the final special inspection report shall be submitted to the building division prior to the issuance of the certificate of occupancy or final inspection approval.
6. Final soils summary report from the geotechnical representative indicating compliance with the required conditions set forth in the soils report.
7. Final T-24 energy reports (Certificates of Installation).

Fire Department Conditions:

1. Fire Protection Systems and Equipment. An approved automatic fire sprinkler system shall be provided throughout this project, pursuant to Morro Bay Municipal Code, Section 14.60.200.
2. Submit all plans and specification sheets for the required automatic fire sprinkler system to the Fire Department for review and approval prior to installation. Sprinkler plans shall be submitted prior to issuance of a Building Permit. The sprinkler system shall be in accordance with NFPA Standard 13. All Marine floating docks and gangway construction shall be in accordance with Morro Bay Municipal Code, Chapter 14.52 and 2007 California Fire Code (Section 905), a Class III Standpipe System is Required for the proposed Floating Dock.
3. Fire Alarms. Plans and specifications for the automatic fire sprinkler system and fire alarm system shall be submitted to the Fire Department for review and approval. (CFC 1001.3 and 1001.4) The fire sprinkler and alarm systems shall be supervised by a central station and constructed in accordance with NFPA 72.
- 4.. Elevator Car to Accommodate Ambulance Stretcher. Where elevators are provided, at least one elevator shall be provided for fire department emergency access to all floors. The elevator car shall be of such a size and arrangement to accommodate an ambulance stretched 24-inches by 84-inches with not less than 5-inch radius corners, in the horizontal, open position and shall be identified by the international symbol for emergency medical services (star of life). The symbol shall not be less than 3-inches high and shall be placed inside on both sides of the hoist way door frame. (MBMC 14.08.090)

Public Works Conditions:

The following Public Works conditions shall be satisfied prior to Building Plan submittal:

1. Lease Line Adjustment: A lease line adjustment is required to extend western lease line

Exhibit A

due to the proposed lease boundary line adjustments and requires payment of fees, a legal description and lease exhibit created by a licensed surveyor, a City Council Resolution approving the lease line adjustment, and a signed agreement recorded with the County. (MBMC 8.14.020)

2. Right of Way: A Special Encroachment Permit Agreement is required for structures and new design items within the city right way (where public parking current exists). (MBMC 8.14.020)
3. Stormwater Management: The City has adopted Low Impact Development (LID) and Post Construction requirements. All proposed projects must complete the "Performance Requirement Determination Form" to determine if any requirements should be submitted. The requirements can be found in the Stormwater management guidance manual on the City's website: <https://www.morrobayca.gov/DocumentCenter/View/11828/MB-Stormwater-Management-MAIN-Manual> (MBMC 14.48.140)
4. Frontage Improvements: The installation of frontage improvements and upgrades to deteriorated frontage improvements are required. Show the installation of a City standard driveway approach per detail B-6, 8-foot minimum sidewalk per detail B-5, curb and gutter per B-1, and curb ramps per Caltrans detail A88A. Show and label 18" asphalt cutback at all portions of curb and gutter to be replaced. (MBMC 14.44.020)
5. Frontage Improvements: Spot elevations on Topographic Map suggest sidewalk cross-slope exceeds 2%. Show on plans replacement of all nonconforming sidewalks with ADA compliant sidewalks per Caltrans DIB 82-06 4.3.5(1).
6. Sewer Lateral: Indicate and label if private sewer lateral pipe will be replaced or to remain in place. If the existing sewer lateral is proposed to remain in place, then perform a video inspection of the lateral (from the clean-out at structure to the connection at the sewer mainline pipe) and submit to Public Works via flash drive, prior to building permit plan approval. Requirements for the sewer video inspection can be located on the City's website at the following location: <https://www.morrobay.ca.us/DocumentCenter/View/13500/Private-Sewer-Line-Video-Requirements>. Lateral shall be upgraded, repaired or replaced as required to prohibit inflow/infiltration. All repairs or replacements identified from sewer video, shall be noted on approved set of plans, prior to plan approval. (MBMC 14.07.030)
7. Sewer Backwater Valve: Indicate and label sewer backwater valve on plan. A backwater valve, extended to and accessible from grade for maintenance, shall be installed on every Building sewer. Exception: Installation of backwater valve shall not be required when, to the satisfaction of Building Official, it is determined that the intent and purpose of this section is otherwise met. (MBMC 14.07.010.C).
8. Erosion and Sediment Control Plan: For small projects less than one acre and less than 15% slope, provide a standard erosion and sediment control plan. Show on plans the control measures to provide protection against erosion of adjacent property and prevent sediment or debris from entering the City right of way, adjacent properties, any harbor, waterway, or ecologically sensitive area. Guidelines for the control plan may be found on the City's website at the following location: <https://www.morrobayca.gov/documentcenter/view/462>

Exhibit A

9. Water Meter: Indicate on plans location and sizes of both water meter and water lateral. Coordinate sizes with Fire Sprinkler plans as necessary. (MBMC 13.04.010 & 14.04.010.C)
10. Water Backflow Prevention Device: Verify and label all new or existing water backflow preventers. Water backflow preventer devices are required for fire water systems, irrigation systems (on a dedicated water meter), systems which may change in character of use (commercial rentals, etc.), gray water systems, or any plumbing system which has cross-connections or the ability to allow water of deteriorated sanitary quality to enter the public water supply. Add note to plan that device is required to be an approved domestic water backflow prevention device. (MBMC 13.08.040)
11. Grading and Drainage: Indicate on plans the existing and updated contours, drainage patterns, spot elevations, finish floor elevation and all existing and proposed drainage pipes and structures. Clarify how runoff around structure will be directed to City right-of-way. (CBC 107.2.1)
12. Utilities: Show all existing and proposed locations of the sewer lateral, water service, and water and sewer mains on the building plans. Include sizes where appropriate. Note the location of all overhead utilities and construction underground service entrances per the CBC.
13. Debris Barrier: A Floating Debris Barrier shall be installed around the waterside perimeter of the construction site and maintained throughout the duration of the project. Note the beginning and end termini of the Floating Debris Barrier on Construction Plans. Silt screens and/ or straw waddles may be needed to prevent demolition/repair debris and sediments from entering the bay in the area of the piling repairs. The location of screens and waddles in this area should also be noted on the plans.
14. Flood Zone Requirements: A Flood Hazard Development Permit is required. The City's Flood Hazard Prevention Ordinance describes the requirements to obtain this permit. Pertinent requirements include, but are not limited to:
 - a) Per Section 14.72.050 A.3.a., new or substantial improvement construction, shall have the lowest floor (including basement) elevated two feet above the base flood elevation. Elevation data shall be based on NAVD 1988.
 - b) Submit a FEMA Elevation Certificate which will indicate the base flood elevation to be used with the proposed construction drawings. (Prior to Final Sign-off, submit an Elevation Certificate to indicate the finish elevations of the completed building.)
 - c) Verify that all mechanical and electrical machinery and controls (heating, A/C, etc.) is above BFE or flood proofed.

Add the following Notes to the Plans:

1. Any damage, as a result of construction operations for this project, to City facilities, i.e. curb/berm, street, sewer line, water line, or any public improvements shall be repaired at no cost to the City of Morro Bay.
2. No work shall occur within (or use of) the City's Right of Way without an encroachment permit. Encroachment permit application and requirements are available on the City's website at the following location: <https://www.morro-bay.ca.us/197/Public-Works>.
 - A standard encroachment permit shall be required for the proposed driveway; the

Exhibit A

driveway shall comply with B-9 (Driveway Ramps: Size & Location).

- A sewer encroachment permit shall be required for any repairs or installation of a sewer lateral within the City right-of-way or within a utility easement.
- If a construction dumpster is used, the dumpster location shall be on private property, unless allowed by a temporary encroachment permit within the City right-of-way.

Planning Conditions:

1. A Coastal Development Permit shall be submitted to the Community Development Department prior to issuance of a building permit.
2. Inspection: The applicant shall comply with all City conditions of approval and conditions imposed by the California Coastal Commission and obtain final inspection clearance from the Planning Division at the necessary time in order to ensure all conditions have been met.
3. Bayside Lateral Public Accessway (Harborwalk). The bayside lateral access, also known as the Harborwalk, shall maintain a minimum 15-foot wide coastal access with open unobstructed access at all times with no tables or dining encroachments in order to maximize public access. Any uses that obstruct the lateral access such as private uses or barriers including furniture, planters, ropes, or restaurant seating within the 15 foot lateral access shall be prohibited.
4. Floating dock. The floating dock shall be publicly available for general public pedestrian access and either short-term or long-term use by recreational or commercial boats. Signs discouraging the public from walking on the docks during daylight hours are prohibited. The dock shall be open to the general public during at least daylight hours (i.e. one hour before sunrise to one hour after sunset).
5. Dock material as shown on Project Plans dated November 1, 2023 shall be revised with the building plan submittal to be composite decking material in lieu of fiberglass decking in order to have consistent materials pursuant to the DWSP design guidelines unless otherwise required by the preconstruction eelgrass survey and the California Eelgrass Mitigation Policy (CEMP).
6. The second floor public view deck as part of the public benefit shall be made open and available to the public during daylight hours.
7. Historical interpretive sign copy shall be reviewed and approved by the Community Development Director prior to issuance of the building permit.
8. Twenty five percent of hotel rooms shall be set at rates equal to the City's area low-cost threshold pursuant to LUP Policy LU-6.5 or as otherwise approved consistent with the coastal development permit. The low cost threshold would be established based on the City's Lower Cost Visitor Serving Accommodations Technical Memorandum, or Smith Travel Research data or not to exceed 75 percent of the prior year's statewide average daily rate.
9. The diagonal view corridors at southwest and southeast building corners shall be maintained with no furniture item or table umbrellas to exceed 30 inches in height per the Waterfront Master Plan. No podium, hostess stand or station shall be allowed within the required view corridor.

Exhibit A

10. Eelgrass – Applicant shall be subject to the California Eelgrass Mitigation Policy (CEMP) which requires that a pre-construction survey shall be completed within 30-60 days prior to issuance of a building permit. Post-construction survey shall be completed within 30 days of construction completion or as otherwise determined by the National Marine Fisheries Service (NMFS) in order to determine amount of impact if any and CEMP-required annual reporting and mitigations. Any eelgrass habitat shall be documented and reported to the Community Development Director. If the report identifies a reduction in eelgrass coverage then a plan shall be prepared to identify the appropriate mitigations necessary and in line with the specifications for mitigation of eelgrass habitat as provided for in the California Eelgrass Mitigation Policy, dated October 2014 or successor guiding document.
11. A Marine Wildlife Contingency Plan shall be developed and approved by the City of Morro Bay prior to the initiation of pile driving activities. This plan shall describe specific methods that will be used to reduce pile-driving noise. Power to the pile driver shall be ramped up to allow marine wildlife to detect a lower sound level and depart the area before full-power noise levels are produced. The plan shall identify a USFWS-approved biologist to monitor all construction within the water-lease area who shall be retained by the applicant. The plan shall describe on-site marine wildlife monitoring and reporting requirements as well as identify specific conditions when the biological monitor shall be allowed to stop work, such as observance of a marine mammal within 100 feet of the project area. The biologist shall be responsible to monitor for compliance with all environmental mitigation measures, and regulatory permit conditions (as applicable). The approved biological monitor shall be present onsite during construction and shall have the authority to stop construction if any individuals of southern sea otter are seen within 100 feet of the project area. Construction will be allowed to resume after sighted otters have left the 100-foot radius of the project area. The species shall not be disturbed or forced from the project site by equipment, noise, or other disruptive activity. The monitor will have discretionary authority to temporarily halt the project if it is determined that the otter, or other marine mammal, could be affected by the project, even if the animal is beyond the 100-foot boundary. All construction crew employees shall be informed on the requirements of this condition.
12. A project-specific Oil Spill Response and Recovery Plan that includes specifics on reporting and response procedures, available on-site equipment and contracted services, and responsibilities shall be completed and approved prior to the initiation of construction activities. Specifically, the project shall include the following Best Management Practices (BMPs) and shall be included on building plans submitted for approval:
 - a. No refueling of equipment without adequate containment and spill response equipment. The barge shall have only double contained fuel storage below decks, with the spill containment and clean up kits on-site and easily accessible. Spill containment and clean up kits shall include the following:
 - b. 150 feet Absorbent Boom 200 square feet Absorbent Tarp (for use during pile driving operations)
 - c. Barrel Absorbent Pads
 - d. Container Absorbent Granules
 - e. Rainwater runoff pollution from equipment stored on deck shall be prevented through ongoing equipment maintenance and appropriate double containment.
 - f. The work area shall be contained within a boom to prevent debris from falling into the water.

Exhibit A

- g. All equipment fueling shall take place on the barge, with containment in-place. No refueling between vessels shall occur.
 - h. An Absorption Tarp shall be placed underneath any portable equipment while in use.
 - i. No equipment shall be permitted to enter the water with any petroleum products.
 - j. All equipment used during pile driving operations shall be in good condition without fuel or oil leakage.
 - k. Should any equipment begin to leak, that equipment shall be removed immediately from the barge and repaired or replaced.
 - l. All vessels shall have portable, regularly serviced sanitation equipment. No overboard discharge is permitted.
13. Prior to issuance of a building permit, a pile driving plan and hydroacoustical noise mitigation plan shall be submitted to the Community Development Director to ensure that underwater noise generated by pile driving activities is minimized to the maximum extent feasible and does not exceed: (1) an accumulated 187 dB SEL as measured 5 meters from the source; and (2) peak dB above 208 dB as measured 10 meters from the source as determined by the Fisheries Hydroacoustic Working Group. In the instance anything other than a vibratory hammer is to be used for pile driving activities, the plan shall provide for a hydro-acoustical monitor to ensure that underwater noise generated by pile driving activities does not exceed such limits. The plan shall identify the type of method used to install pilings. Vibratory hammers shall be used where feasible; if another method is used, a bubble curtain shall be employed to contain both noise and sediment. The plan shall also provide for additional acoustical BMPs to be applied if monitoring shows underwater noise above such limits (including, but not limited to, alternative pile driving methods (press-in pile placement, drilling, dewatered isolation casings, etc.) and additional noise dampening measures (sound shielding and other noise attenuation devices).
14. Netting or fencing around and underneath the project site shall be installed to catch and remove debris released during and after construction.
15. To reduce potential turbidity-associated impacts, silt screens should be used when and where they will be effective. The relatively high tidal currents within Morro Bay could reduce the effectiveness of silt screens and should be considered prior to placing of these screens.
16. Exterior lighting fixtures shall include specifications on the building plans submittal for approval consistent with Zoning Code section 17.14.090 that ensure exterior lighting is cut-off, shielded, or downward fixtures and is between 2600 and 3500 Kelvin and has a CRI of 85 or greater.
17. A minimum of three trash cans with self-closing lid or other bird deterrent as approved by the Community Development Director shall be identified on plans to be included with the building permit submittal.
18. A 4-8 capacity public bike rack shall be installed on the site and placed so as not to impede public pedestrian flow. Location and brand of bike rack shall be included with the building permit submittal. Bike rack shall be consistent with other City facilities or as otherwise approved by the Community Development Director.

Exhibit A

19. Two benches available for general public use shall be located in the general public plaza area.
20. Building plans submitted for approval shall meet all accessibility requirements to both adjacent lease site and public ways and match the grades without requirement for handrails providing a smooth transition between lease sites.

PASSED AND ADOPTED by the Morro Bay Planning Commission at a regular meeting thereof held on this 19th day of December, 2023 on the following vote:

AYES:
NOES:
ABSENT:
ABSTAIN:

Chairperson William Roschen

ATTEST

Scot Graham, Secretary

The foregoing resolution was passed and adopted this 19th day of December, 2023.

801 Embarcadero Redevelopment of Lease Site

Proposer: California Coastal Investments, LLC, Eric Newton

Overview

California Coastal Investment, LCC(CCI) proposes to demolish and reconstruct the existing structure currently occupied by Libertine Brewing Company. CCI shares the same ownership and management of the current established tenant, Libertine Brewing Company. Libertine has had a long and successful tenancy at this location. Our propose development includes providing a new code and current planning compliant structure housing a coffee shop, restaurant, outdoor/indoor dining, brewing area, second floor view deck, 7 unit hotel/vacation rental, harborwalk/coastal access improvement, lower dock area, and site public improvements.

Project Description

THIS PROJECT WILL DEMOLISH THE MAJORITY OF AN EXISTING 4677 SF TWO STORY BUILDING WITH BASEMENT AND RECONSTRUCT INTO A 5206 SF MIXED-USE BUILDING(529 ADDITIONAL SF) FEATURING AN UPDATED RESTAURANT WITH INDOOR/OUTDOOR DINING, UPGRADED BASEMENT AREA, NEW COFFEE SHOP, NEW 7 UNIT HOTEL, NEW SECOND LEVEL VIEWING DECK, NEW PUBLIC DOCK, AND SIGNIFICANT SITE IMPROVEMENTS.

THE UPDATED RESTAURANT WILL INCLUDE OUTDOOR DINING AT THE EAST/WEST SIDES, AREAS FOR LIVE MUSIC, COVERED OUTDOOR DINING, ADA IMPROVEMENTS, KITCHEN/BAR UPGRADES AND A CONFERENCE/EVENT SPACE. THE SECOND LEVEL 7 UNIT HOTEL/VACATION RENTAL WILL HAVE PRIVATE PATIOS WITH ACCESS FROM THE SECOND LEVEL VIEWING DECK.

SITE IMPROVEMENTS INCLUDE A NEW 15 FOOT HARBORWALK ACCESS IMPROVEMENTS WITH NEW PILINGS, CONTINUOUS COASTAL ACCESS FROM BOTH NORTH AND SOUTH ENDS, LOWER DOCK AREA WITH RAMP, EMBARCADERO PUBLIC IMPROVEMENTS BOTH ON THE LEASE SITE AND ADJACENT CITY PARCEL, NEW PASSENGER LOADING AND DROP OFF ZONE, AND PLAZA IMPROVEMENTS.

THE SOUTH LEASE LINE GOING WEST/EAST WILL BE ADJUSTED 10 FOOT TO THE SOUTH AND WEST TO INCLUDE THE HARBORWALK AND COASTAL ACCESS IMPROVEMENTS IN TO THE LEASE SITE.

THE PROJECT AS CONFIGURED EXCEEDS THE SETBACK REQUIREMENT AT SECOND FLOOR ALONG THE EMBARCADERO STREET FRONTAGE, EXCEEDS THE 17 FOOT HEIGHT, AND THE VIEW CORRIDOR 45 DEG ANGLE AT THE SW BUILDING CORNER. HOWEVER, SIGNIFICANT PUBLIC BENEFIT HAS BEEN PROVIDED TO MITIGATE FOR THESE MODIFICATIONS THAT ARE REQUESTED.

Exhibit B

Description of Program Requirements

We are requesting a conditional use permit for approval to demolish, renovate, and expand the use of an existing building from a restaurant/office/assembly room to a multi-faceted destination within the original footprint that includes the following:

The Restaurant will plan to continue the legacy of Libertine Brewing as the tenant. Modifications to increase the casual dining experience will include complete reconfiguration of the restaurant, kitchen, and bathroom areas. Additions to the restaurant will include an outdoor seating area on the Embarcadero east side, covered patio area, conference/event room, and dining on the new harborwalk west side. Exterior modifications to include windows and doors to achieve indoor/outdoor dining when the weather permits. We will be requesting to continue liquor, wine and beer sales in all restaurant areas including the patios at the SE embarcadero side, harborwalk side, and second floor deck. We have the intent to provide live music at the indoor and outdoor patio areas that will not only entertain our patrons but other visitors in the plaza area. Live Music is requested to be played at any of the three patio areas as long as we do not impede access and egress. Exterior music is requested to be played from 12PM to 9PM and interior music is requested from 12pm to Midnight. No Amplified music will be played indoors after 10PM. If music is on the Harborwalk side, a 10 foot clear pathway will be designated. Live music is requested to include one musician up to multiple musicians with amplified equipment(band) options.

The Brewing Area will be located in the basement area, which will continue the brewing operation at this location as we have done in the past. This time we will concentrate of small batch seltzers and specialty beers.

The Hotel/Vacation Rentals shall include 7 units with varying amenities and size with a modern style. Most rooms shall have private enclosed decks off a main deck with great views of the Harbor on the shared view deck. In addition, the rentals will include shared use of the common area second floor deck with entertaining features such as games and seating areas. Two units shall be designated as low-cost rooms as required by the Coastal Commission and rates will be consistent to the State mandated amounts. The main front door access to the rooms will be from the north end of the building with a shared common access easement with the Harborwalk Development to the North adjacent parcel.

Second Floor View Deck shall provide views of the harbor, harborwalk, and plaza area. View deck will be open to the public at certain times and with approval of the management. Events and reservation of the space for private parties will be offered with the restaurant assistance. Fire pits, seating, lounge areas, and games will be placed strategically to provide the enjoyment of the patrons.

The Coffee Shop shall be located on the Embarcadero Street side and feature a full coffee menu and food including pastries and the infamous Libertine Breakfast Burrito and other items. Coffee Shop Patrons will have access to the outdoor seating area and covered patio areas shared with the Restaurant in the mornings.

Harborwalk/Coastal Access Improvements shall provide continuous harborwalk, at a minimum of 10 feet clear, from the north parcel south to the city owned dock area and to the embarcadero street sidewalks. The harborwalk along the west side of the building will extend 20 feet from the building, 15 feet of walkway and 5 feet of dining area.

Dock Lease Area shall include a 50 foot floating dock which will feature transient and short term rental. The public will have access to the dock area from a ramp above on the harborwalk.

Site Public/Plaza Improvements shall include replacement of the sidewalk along Embarcadero Street, continued sidewalk/gutter improvements to meet up with Rosa's Lease site, sidewalk improvement

Exhibit B

from the street west to the harborwalk, loading/unloading zone in front of the plaza, electrical/ water connections at Plaza area, and removal/replacement of asphalt with stabilized decomposed granite including transitions.

We feel our proposed uses and site/building renovation is consistent with the current master plans and will be a significant attraction to bring locals and new tourists to the Harborwalk/Embarcadero area. We believe that our concept along with the building/site improvements will further elevate this area as a destination.

Building Configuration/Design

Our Building/Site improvements include the following:

- Renovated exterior featuring a Modern Maritime Design. Building substrate includes various materials to break up and provide depth. Materials will include cement plaster, metal panels, and cement fiber boards.
- New structural components in all locations of the building
- Refreshed restaurant including new dining area, kitchen, and bathrooms.
- Live Music from two areas at the restaurant level.
- Addition of 7 Short Term Hotel/Vacation Rental Units with private enclosed decks.
- Open deck at second for vacation rentals, event rental and restaurant patrons.
- Complete Upgraded Mechanical, Electrical, and Plumbing Infrastructures.
- 15 Foot Clear Harborwalk around structure.
- New 50 Foot Floating Dock
- Improve View Corridor.
- Covered Patio Area.
- Patio Dining on Embarcadero Street side.
- Patio Dining on Harborwalk Side
- Public Improvements to include sidewalk, curb and street renovations adding pedestrian and Drop Off improvements.
- Remove certain inappropriate structures out of the plaza area such as the trash enclosure and the parking lot.
- Title 24/Energy Efficiency Upgrades.
- Accessibility Upgrades.

Project Design Modifications from Master Plans

- Exceeds 17 feet height limit, Building will not exceed 24'-10" above natural grade.
- View Corridors are compliant with the exception of the Southwest corner 45 degree angle requirement has been deleted on the first floor to retain the restaurant area. View through the structure by increasing window quantity and heights along this area are proposed to mitigate this requirement along with relocating the lease line to the south. In addition, the

Exhibit B

harborwalk corridor requirement has been widened to 15 feet. View corridor on the new structure is significantly improved from the previous existing building configuration.

- The south lease line going east to west has been adjusted 7'-4 ½" feet to the south. This adjustment will bring the harborwalk/coastal access into the lease site footprint and now the maintenance will be on the tenant.
- The 10 foot setback on second floor along the Embarcadero Street has not been achieved to maintain the vertical façade of the original characteristic of the previous building.

Public Benefit Proposed

- Additional 300 SF of Harborwalk width.
- Public Access to the New Floating Dock.
- Limited Public Access to the Second Floor View Deck.
- Public sidewalk/gutter improvements Along Embarcadero Street to Rose's lease site in front of plaza.
- Inclusion of a loading/drop off area.
- Design of Plaza Area

Additional Public Benefit Proposal

CCI proposes additional public benefit in return for the conditional use permit to provide a concert venue to the plaza area. Sheet A1.2 provide a layout of the venue with barricades, screening areas, stage layout, and utility points of connection. Concert venues will be held from Memorial Day through Labor Day continuous on a Fridays or Saturdays night between the hours of 4:30 PM to 8 PM. This venue will be free to the public with food and alcohol drink sold with the appropriate ABC License. The venue will be comparable to the concert venue held in San Luis Obispo(Concerts in the Plaza). Outside the designated agreed upon continuous event dates, the City will have the ability to control this space for events, farmers markets, weddings, fairs, etc. The possibilities for a rented gathering space will be limitless. In return for this conditional weekly use permit, we propose the following additional public benefit:

- Metered Electrical connections at three locations across plaza
- Metered Water connections at two locations across plaza
- Removal of hardscapes and asphalt paving at plaza area
- Concrete curb transitions and stabilized DG Surfacing across plaza area
- Reconfigure curb DI drainage through plaza area
- Perform any additional improvements requested by City paid for by adjacent lease sites or City can be performed during the construction phase

Summary

To summarize, CCI would like to not only continue operating our established restaurant at this location but to bring other amenities to the Embarcadero area, bring new tax revenue sources to the City, and

Exhibit B

renovate this existing building including site improvements. The businesses will provide more employment and tax revenues to the City. Not to mention, enhance the infrastructure of City's Harborwalk. We also aim to provide a substantial development of the plaza area in conjunction with the City's vision.

We appreciate the contributions/assistance of the Planning Commission Staff to communicate certain requirements that would help us in the development of this proposal. After several modifications we feel that our current proposal will meet our program intent for the property while adhering to the community development comments and City Departmental requirements.

We ask that the Planning Commission unanimously approve this conditional use and design.

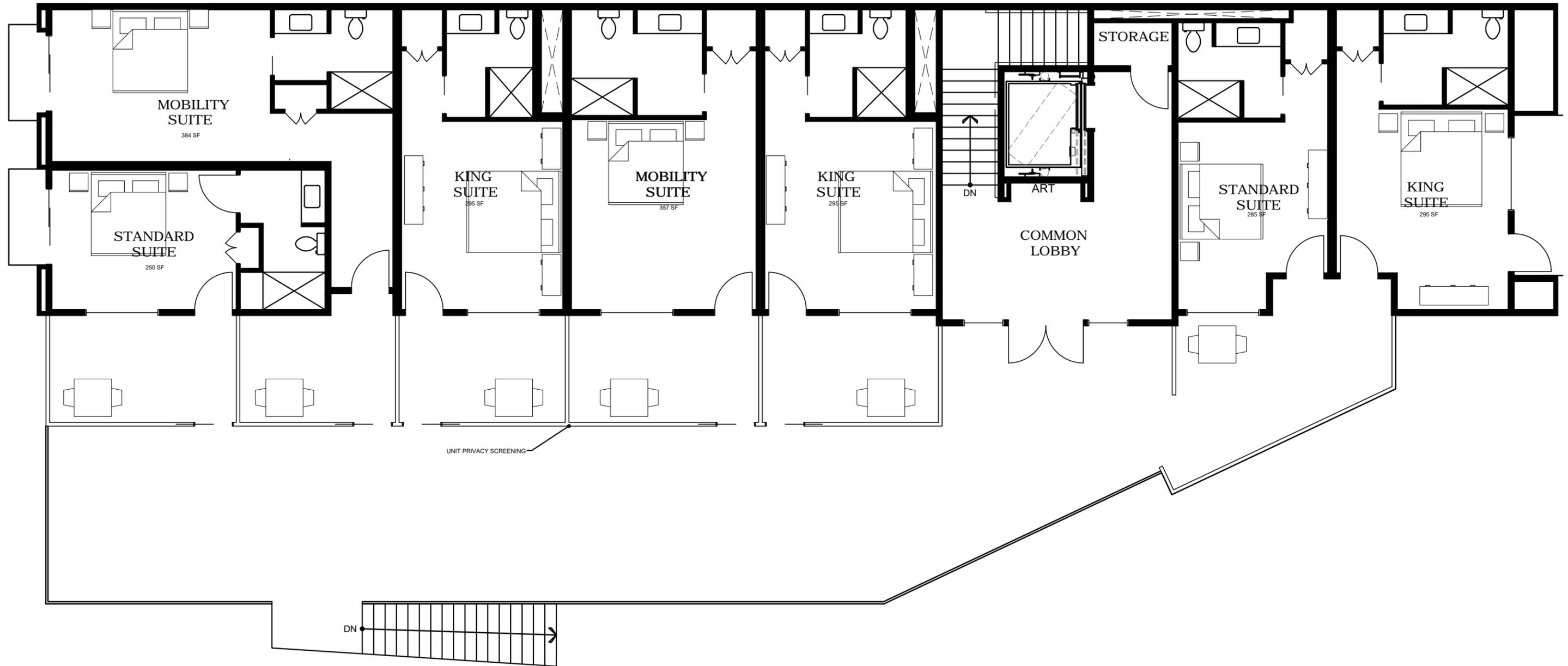


Exhibit D

Libertine Lofts Proposed Room Occupancy and Rates

Room Cost Ranges

Higher Cost = > \$197

Moderate Cost = \$197 - \$145

Low Cost = < \$145

| Room # | Unit Type | Occupancy Range | Cost Category | Maximum Peak Season Rate | Significant Amenities |
|--------|------------|-----------------|---------------|--------------------------|---|
| 1 | King Suite | 2 - 4 | High | >\$197 | Private Deck with view of Bay and Rock |
| 2 | Standard | 2 | High | >\$197 | Private Patio off Community Deck |
| 3 | King Suite | 2 - 3 | High | >\$197 | Private Patio off Community Deck |
| 4 | King Suite | 2 - 4 | High | >\$197 | Private Patio off Community Deck |
| 5 | King Suite | 2 - 3 | High | >\$197 | Private Patio off Community Deck |
| 6 | Standard | 2 | Low * | \$145 | Shared Private Patio off Community Deck |
| 7 | King Suite | 2 - 4 | High | >\$197 | Shared Private Patio off Community Deck and Private Deck over Embarcadero |

Note: Rates are subject to increase annually adjusted for CPI.

Note: * Only one room has been designated as Low Cost due offsetting the significant public benefit provided by the improvements to the plaza area.

Amenities provided to all rooms.

1. Modern Maritime Hip Design Characteristics.
2. Daybeds and additional bedding available on request.
3. Discounts @ Restaurant/Bar/Coffee Shop on Premises.
4. Rooms 6/7 and 2/3 will have connecting Doors.
5. Negotiated Discounts at local businesses - i.e. Kayaks, Bikes, Excursions, Etc.
6. Wireless Internet.

Exhibit D

7. Community Deck with Panoramic Views.
8. Games at Available Community Deck - Cornhole, Giant Jenga, Etc.
9. LEED Certified Building Construction and High Efficient Design.
10. Smart TVs
11. VIP Access to Concerts in the Plaza off Community Deck.
12. Gas Fire Pits on Community Deck.

LIBERTINE MORRO BAY

A NEW COMMERCIAL AND HOSPITALITY BUILDING

801 EMBARCADERO, LEASE SITES 86 AND 86W
MORRO BAY, CA



VICINITY MAP



SUBJECT PROPERTY

ARCHITECTURAL ABBREVIATIONS

| | | | | | |
|-------|------------------------|-------|--------------------------------------|----------|--------------------------------|
| @ | AT | FJ | FLOOR JOIST | PR | PAIR |
| ∅ | ANGLE | FO | FACE OF FLOOR | PVC | POLYVINYL CHLORIDE |
| ∅ | CENTERLINE DIAMETER | FLR | FLOOR | PREFAB R | PREFABRICATED RADIUS/RISER |
| AB | ANCHOR BOLT | FLUOR | FLUORESCENT | R | ROOF DRAIN |
| AC | AIR CONDITIONING | FND | FOUNDATION | RD | REDWOOD |
| ADJ | ADJACENT | FTG | FOOTING | RDWD | REDWOOD |
| AFF | ABOVE FINISH FLOOR | FHWS | FLATHEAD WOOD SCREW | REFR | REFRIGERATOR |
| ALUM | ALUMINUM | FURR | FURRED | REINF | REINFORCEMENT |
| BD | BOARD | GA | GAUGE | REQD | REQUIRED |
| BLDG | BUILDING | GD | GARBAGE DISPOSAL | RM | ROOM |
| BLK | BLOCK | GLU | GLU LAM BEAM | RO | ROUGH OPENING |
| BLKG | BLOCKING | GS | GALVANIZED STEEL | RS | ROUGH SAWN REDWOOD |
| BM | BEAM | GYP | GYP SUM BOARD | RWD | REDWOOD |
| BO | BOTTOM OF | GB | GYP SUM BOARD | SF | SQUARE FEET |
| BOF | BOTTOM OF FRAMING | HB | HOSE BIBB | SHLF | SHELF |
| BO | BOTTOM OF | HDR | HEADER | SHLV | SHELVING |
| BOBM | BOTTOM OF BEAM | HGT | HEIGHT | SHT | SHEATHING |
| | | HTR | HEATER | S&P | SHELF AND POLE SELECT |
| | | HVAC | HEATING/VENTILATING/AIR CONDITIONING | SH | SINGLE HUNG SHEET |
| CAB | CABINET | HW | HOT WATER | SHT | SHEATHING |
| CB | CATCH BASIN | IN | INCH | SHWR | SHOWER |
| CJ | CONTROL JOINT | INT | INTERIOR | SIM | SIMILAR |
| CLG | CEILING | INSUL | INSULATION | SKL | SKYLIGHT |
| CLR | CLEAR | INSUL | INSULATION | SL | SLIDER (WINDOW) |
| CMU | CONCRETE MASONRY UNIT | JST | JOIST | SLDG | SLIDING |
| CO | CLEANOUT | LAM | LAMINATE | SQ | SQUARE |
| COL | COLUMN | LAV | LAVATORY | STL | STEEL |
| COMP | COMPOSITE SHINGLES | LAV | LAVATORY | STOR | STORAGE |
| CONC | CONCRETE | LAV | LAVATORY | STRUCT | STRUCTURAL |
| CONST | CONSTRUCTION | MATL | MATERIAL | T | TREAD |
| CONT | CONTINUOUS | MAX | MAXIMUM | T&B | TOP & BOTTOM TONGUE AND GROOVE |
| CSK | COUNTER SINK | MB | MACHINE BOLT | TC | TRASH COMPACTOR |
| CSMT | CASEMENT | MC | MEDICINE CABINET | TOB | TOP OF |
| CT | CERAMIC TILE | MECH | MECHANICAL | TOF | TOP OF BEAM |
| CTSK | COUNTERSINK | MED | MEDIUM | TOM | TOP OF MASONRY |
| CTR | CENTER | MFG | MANUFACTURER | TOP | TOP OF PARAPET |
| CW | COLD WATER | MIN | MINIMUM | TOPL | TOP OF PLATE |
| | | MISC | MISCELLANEOUS | TOS | TOP OF SHEATHING |
| DS | DOWNSPOUT | MTL | METAL | THK | THICK |
| DBL | DOUBLE | N | NORTH | TMPR | TEMPERED GLASS |
| DIA | DIAMETER | NAT | NATURAL | TV | TELEVISION |
| DIAG | DIAGONAL | NO | NOT IN CONTRACT | UNO | UNLESS NOTED OTHERWISE |
| DIM | DIMENSION | NTS | NOT TO SCALE | VIF | VERIFY IN FIELD |
| DN | DOWN | O | OVER | W | WITH |
| DR | DOOR | OBS | OBSCURE | WO | WITHOUT |
| DW | DISHWASHER | OC | ON CENTER | WC | WATER CLOSET |
| | | OD | OUTSIDE DIAMETER | WD | WOOD |
| EA | EACH | OF | OWNER FURNISHED, CONTRACTOR | WH | WATER HEATER |
| EJ | EXPANSION JOINT | OH | OVERHEAD | WI | WROUGHT IRON |
| ELEC | ELECTRICAL | OPG | OPENING | WIN | WINDOW |
| ENC | ENCLOSURE | OS | OVERFLOW SCUPPER | WP | WATERPROOF |
| EQ | EQUAL | PEMB | PRE-ENGINEERED | WR | WATER RESISTANT |
| EW | EACH WAY | PERF | PERFORATE | WWF | WELDED WIRE FABRIC |
| (E) | EXISTING | PLYWD | PLYWOOD | WWW | WELDED WIRE MESH |
| EXT | EXTERIOR | | | | |
| FAU | FORCED AIR UNIT | | | | |
| FF | FINISH FLOOR | | | | |
| FG | FIXED GLASS | | | | |
| FHMS | FLATHEAD MACHINE SCREW | | | | |
| FIN | FINISH | | | | |

PROJECT DESCRIPTION

SCOPE OF THIS PROJECT INCLUDES THE FOLLOWING
THIS PROJECT WILL DEMOLISH THE MAJORITY OF AN EXISTING 4677 SF TWO STORY BUILDING WITH BASEMENT AND RECONSTRUCT INTO A 5206 SF MIXED-USE BUILDING (529 ADDITIONAL SF) FEATURING AN UPDATED RESTAURANT WITH INDOOR/OUTDOOR DINING, UPGRADED BASEMENT AREA, NEW COFFEE SHOP, NEW 7 UNIT HOTEL, NEW SECOND LEVEL VIEWING DECK, NEW PUBLIC DOCK, AND SIGNIFICANT SITE IMPROVEMENTS.

THE UPDATED RESTAURANT WILL INCLUDE OUTDOOR DINING AT THE EAST/WEST SIDES, AREAS FOR LIVE MUSIC, COVERED OUTDOOR DINING, ADA IMPROVEMENTS, KITCHEN/BAR UPGRADES AND A CONFERENCE/EVENT SPACE. THE SECOND LEVEL 7 UNIT HOTEL/VACATION RENTAL WILL HAVE PRIVATE PATIOS WITH ACCESS FROM THE SECOND LEVEL VIEWING DECK.

SITE IMPROVEMENTS INCLUDE A NEW 15 FOOT HARBORWALK ACCESS IMPROVEMENTS WITH NEW PILINGS, CONTINUOUS COASTAL ACCESS FROM BOTH NORTH AND SOUTH ENDS, LOWER DOCK AREA WITH RAMP, EMBARCADERO PUBLIC IMPROVEMENTS BOTH ON THE LEASE SITE AND ADJACENT CITY PARCEL, NEW PASSENGER LOADING AND DROP OFF ZONE, AND PLAZA IMPROVEMENTS.

THE PROJECT AS CONFIGURED EXCEEDS THE SETBACK REQUIREMENT AT SECOND FLOOR ALONG THE EMBARCADERO STREET HEIGHTS THE 17 FOOT HEIGHT, AND THE VIEW CORRIDOR 45 DEG ANGLE AT THE SW BUILDING CORNER. HOWEVER, SIGNIFICANT PUBLIC BENEFIT HAS BEEN PROVIDED TO MITIGATE FOR THESE MODIFICATIONS THAT ARE REQUESTED.

GENERAL NOTES

- ALL WORK SHALL CONFORM TO: (A) THE MINIMUM STANDARDS OF THE LATEST EDITION OF THE INTERNATIONAL BUILDING CODE AND ALL RELATED DOCUMENTS PUBLISHED BY THE I.C.C. WHICH HAVE BEEN ADOPTED BY THE LOCAL GOVERNING AGENCY; (B) ALL REGULATIONS AND ORDINANCES OF ALL LOCAL GOVERNING AGENCIES; (C) ANY SPECIAL CONDITIONS REQUIRED BY THE LOCAL GOVERNING AGENCIES; AND (D) ALL CALIFORNIA STATE CODE AMENDMENTS (BUILDING STANDARDS CODE) TITLE 24
- ALL CODES REFERENCED SHALL BE CALIFORNIA EDITIONS. THE CODES REFERENCED IN THESE PLANS ARE AS FOLLOWS:
 - 2022 CALIFORNIA RESIDENTIAL CODE (CRC)
 - 2022 CALIFORNIA MECHANICAL CODE (CMC)
 - 2022 CALIFORNIA PLUMBING CODE (CPC)
 - 2022 CALIFORNIA FIRE CODE (CFC)
 - 2022 CALIFORNIA ELECTRICAL CODE (CEC)
 - 2022 CALIFORNIA GREEN CODE (CGC)
 - CALIFORNIA STATE ENERGY CONSERVATION STDS. (TITLE 24)
- ALL WORK DESCRIBED IN THE DRAWINGS SHALL BE VERIFIED BY THE CONTRACTOR FOR DIMENSION, GRADE, EXTENT AND COMPATIBILITY TO THE EXISTING SITE. ANY DISCREPANCIES AND UNEXPECTED CONDITIONS THAT AFFECT OR CHANGE THE WORK DESCRIBED IN THE CONTRACT DOCUMENTS SHALL BE BROUGHT TO THE ARCHITECT'S ATTENTION IMMEDIATELY. DO NOT PROCEED WITH THE WORK IN THE AREA OF DISCREPANCIES UNTIL ALL SUCH DISCREPANCIES ARE RESOLVED. IF THE CONTRACTOR CHOOSES TO DO SO, HE SHALL BE PROCEED AT HIS OWN RISK.
- OMISSIONS FROM THE DRAWINGS AND SPECIFICATION OR THE MISDESCRIPTION OF THE WORK WHICH IS MANIFESTLY NECESSARY TO CARRY OUT THE INTENT OF THE DRAWINGS AND SPECIFICATIONS, OR WHICH IS CUSTOMARILY PERFORMED, SHALL NOT RELIEVE THE CONTRACTOR FROM PERFORMING SUCH OMITTED OR MISDESCRIBED DETAILS OF THE WORK AS IF FULLY AND COMPLETELY SET FORTH AND DESCRIBED IN THE DRAWINGS AND SPECIFICATIONS.
- DIMENSIONS SHOWN SHALL TAKE PRECEDENCE OVER DRAWING'S SCALE OR PROPORTION. LARGER SCALE DRAWINGS SHALL TAKE PRECEDENCE OVER SMALLER SCALE DRAWINGS.
- THE CONTRACTOR SHALL FOLLOW ALL APPLICABLE INDUSTRIAL SAFETY REGULATIONS. THE LOCAL GOVERNING AGENCY, THE ARCHITECT, AND THE OWNER SHALL NOT BE RESPONSIBLE FOR ENFORCING SAFETY REGULATIONS.
- THE ARCHITECT OF RECORD SHALL BE RESPONSIBLE FOR REVIEWING AND COORDINATING ALL SUBMITTAL DOCUMENTS PREPARED BY OTHERS, INCLUDING DEFERRED SUBMITTAL ITEMS, FOR COMPATIBILITY WITH THE DESIGN OF THE BUILDING. 2022 CBC APPENDIX CHAPTER 107.3.4
- NO HAZARDOUS MATERIALS SHALL BE STORED AND / OR USED WITHIN THE BUILDING, WHICH EXCEED THE QUANTITIES LISTED IN CHAPTER 27 OF THE 2022 CFC
- CONTRACTOR TO NOTIFY OWNER PRIOR TO COMMENCING WITH ANY WORK. CONTRACTOR SHALL CONFORM TO ANY REQUIREMENTS FOR NOISE AND DUST CONTROL TRASH, STORAGE, WORK HOURS, SITE ACCESS, SIGNAGE, ETC. AS DIRECTED BY THE OWNER.
- CONTRACTOR IS RESPONSIBLE FOR SCHEDULING INSPECTIONS BY THE BUILDING DEPT. AND OTHER AGENCIES AS REQUIRED.
- PRIOR TO ISSUANCE OF THE BUILDING PERMIT, THE GENERAL CONTRACTOR SHALL SUBMIT A SOLID WASTE RECYCLING PROGRAM TO THE BUILDING DEPARTMENT FOR REVIEW AND APPROVAL. THE PROGRAM SHALL ADDRESS AND INCLUDE, BUT IS NOT NECESSARILY LIMITED TO: CONCRETE WASTE, GYPSUM BOARD, WOOD, METAL AND EXCESS EXCAVATION MATERIALS.
- THE APPROVED PROJECT ALLOWED TO BE CONSTRUCTED BY THE BUILDING PERMIT SHALL CONFORM TO THE FIRE SAFETY PLAN REQMTS. AS DEEMED NECESSARY BY THE FIRE DEPT. HAS JURISDICTION FOR THE BLDG PERMIT. PRIOR TO BEGINNING CONSTRUCTION THE PROPERTY OWNER SHALL READ THE FIRE SAFETY PLAN ISSUED BY THE FIRE DEPT AND BECOME FULLY AWARE OF ALL NECESSARY FIRE PROTECTION REQMTS AS MANY OF THESE FIRE PROTECTION REQMTS MAY REQUIRE THE INSTALLATION OF FIRE SPRINKLERS / SPECIAL SAFETY GLAZED WINDOWS / SPECIAL DRIVEWAY-ROADWAY REQMTS AND OTHER SPECIAL CONSTRUCTION

CODE ANALYSIS

| | |
|--------------------|---|
| APN | 066-322-008 |
| LEGAL DESCRIPTION | CY MB PM 3/10 PAR 20 (LS 86) |
| LOCAL JURISDICTION | MORRO BAY, SLO COUNTY |
| LOCAL CODE | MORRO BAY MUNICIPAL CODE, TITLE 17 |
| LOCAL ZONING | WF/PD/S.4 WATER FRONT, PLANNED DEVELOPMENT, DESIGN CRITERIA |
| FIRE ZONE | N/A |
| FLOOD ZONE | ZONE AE |
| COASTAL ZONE | Y |

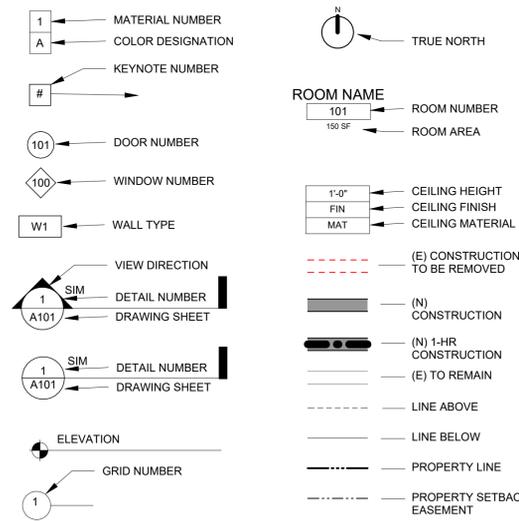
BUILDING SUMMARY

| | EXISTING | PROPOSED |
|-------------------|--------------------|--|
| OCCUPANCY | A-2 | A-2, B, R-1 |
| CONSTRUCTION TYPE | V-B | V-B |
| NO. STORIES | 2 WITH BASEMENT | 2 WITH BASEMENT |
| NO. UNITS | (1) BAR/RESTAURANT | (1) BAR/RESTAURANT (1) COFFEE SHOP (7) HOTEL ROOMS |
| SPRINKLERS | Y | Y |

PARKING ANALYSIS

| | EXISTING | PROPOSED | | |
|--|-----------------------------|-----------------------|----------------|----------------|
| LOT COVERAGE CALCS | | | | |
| LAND PORTION OF PARCEL | 5,430 SF | 5,430 SF | | |
| 1ST FLOOR BUILDING AREA OVER LAND PORTION | 3,304 SF | 4,100 SF | | |
| 1ST FLOOR COVERAGE (ALLOWED 70%) | (3,304/5,430) = 60.8% | (3,800/5,430) = 70% | | |
| ALLOWED FIRST FLOOR COVERAGE (ALLOWED 70%) | 3,800 SF | 3,800 SF | | |
| 2ND FLOOR AREA OVER LAND PORTION | 2,777 SF | 2,433 SF | | |
| 2ND FLOOR COVERAGE (70% OF ALLOWED 1ST FLOOR BUILDING COV) | (2,777 / 3,800) = 73.1% | (2,433 / 3,800) = 64% | | |
| WATER PORTION OF PARCEL | 1,957 SF | 1,957 SF | | |
| SQUARE FOOTAGE OF BUILDING OVER WATER (1ST FLOOR) | 1,047 SF | 1,047 SF | | |
| SQUARE FOOTAGE OF BUILDING OVER WATER (2ND FLOOR) | 1,047 SF | 544 SF | | |
| FLOOR AREA RATIO (FAR) CALCS | | | | |
| LAND PORTION OF PARCEL | 5,430 SF | 5,430 | | |
| 1ST FLOOR BUILDING AREA OVER LAND PORTION | 3,304 SF | 4,100 SF | | |
| 2ND FLOOR BUILDING AREA OVER LAND PORTION | 2,777 SF | 2,433 SF | | |
| FLOOR AREA RATIO (FAR) | 1.12 | 1.25 | 1.14 | |
| LANDSCAPE AREA | | | | |
| PLANTERS AT 1ST FLOOR | 172 SF | 87 SF | | |
| POTTED PLANTS AT 2ND FLOOR | 0 SF | 118 SF | | |
| TOTAL | 172 SF | 205 SF | | |
| ROOF SLOPES | | | | |
| "FLAT" AREA | 383 SF | 3026 / 3409 = 887 | | |
| 4:12 MIN. AREA | 3026 SF | | | |
| TOTAL | 3409 SF | 80% 88% SLOPED | | |
| SETBACKS | EXISTING | ALLOWED | ACTUAL 1ST FLR | ACTUAL 2ND FLR |
| FRONT [STREET] | -2'-0" | 5'-0" AVG | 5'-4" | 5'-4" |
| REAR [WATER] | -15'-8" | 10'-0" | 15'-8" | 15'-8" |
| SIDE [PROJECT NORTH] | 1'-0" | 0'-0" | 1'-0" | 1'-0" |
| SIDE [PROJECT SOUTH] | 0'-0" | 0'-0" | 2'-9" | 26'-0" |
| BUILDING HEIGHT ABOVE A.N.G. | -24'-7 1/2" | 25'-0" | 25'-0" | |
| AVERAGE NATURAL GRADE | REFER TO SURVEY SHEET | | | |
| ADJACENT USES | | | | |
| NORTH | RESTAURANT / RETAIL | | | |
| EAST | RESTAURANT / RETAIL | | | |
| SOUTH | PLAZA (RESTAURANT / RETAIL) | | | |
| WEST | N/A - WATER | | | |

SYMBOL LEGEND



IMPERVIOUS SURFACE

| | EXISTING | PROPOSED |
|----------------------|----------|----------|
| LAND PORTION OF SITE | 5,430 SF | 6,200 SF |
| TOTAL CHANGE | - | 770 SF |

- PROPOSED SIGNIFICANT BENEFITS
- ADD'L 5FT HARBORWALK WIDTH (APPROX 300 SF)
 - PUBLIC ACCESS TO NEW PRIVATE DOCK
 - LIMITED PUBLIC ACCESS TO 2ND FLOOR VIEW DECK
 - PUBLIC SIDEWALK/GITTER IMPROVEMENTS ALONG EMBARCADERO STREET ALONG WIDTH OF PROPOSED PLAZA
 - NEW LOADING/DROP-OFF AREA
 - DESIGN FOR PUBLIC PLAZA

ADDITIONAL PUBLIC BENEFITS WITH APPROVAL TO USE PLAZA FOR PUBLIC CONCERNS:

- METERED ELECTRICAL CONNECTIONS AT THREE LOCATIONS ACROSS PLAZA
- METERED WATER CONNECTIONS AT TWO LOCATIONS ACROSS PLAZA
- REMOVAL OF HARDCAPE AND ASPHALT PAVING AT PLAZA AREA
- CONCRETE CURB TRANSITIONS AND STABILIZED DG SURFACING ACROSS PLAZA AREA
- RECONFIGURE CURB DI DRAINAGE THROUGH PLAZA AREA
- PERFORM ANY ADDITIONAL IMPROVEMENTS REQUESTED BY CITY PAID FOR BY ADJACENT LEASE SITES OR CITY, CAN BE PERFORMED DURING THE CONSTRUCTION PHASE

REQUESTED EXCEPTIONS

- HEIGHT EXCEPTION: PROPOSED BUILDING EXCEEDS 17FT
- PROPOSED BUILDING SHALL NOT EXCEED 25FT
- 2ND FLOOR SETBACK AT STREET FRONTAGE/RIGHT OF WAY
- 10FT REQUIRED, 0FT PROPOSED, TO MAINTAIN TWO-STORY VOLUME SIMILAR TO EXISTING BUILDING
- FRONT FACE IS BROKEN UP BY BALCONY/awning
- MINOR VIEW CORRIDOR ENCRoACHMENT AT SOUTHWEST CORNER
- LEASE LINE ADJUSTMENT MITIGATES MUCH OF THE CONCERN
- ADDITIONAL GLAZING AT SOUTHWEST CORNERS MAINTAINS VIEW THROUGH BUILDING

NOTE: WE ARE PROPOSING A LEASE LINE ADJUSTMENT, THE EXTENTS OF WHICH ARE INDICATED ON THE PROPOSED SITE PLAN, SHEET A1.1. ALL CALCULATIONS ARE BASED ON THE PROPOSED LEASE LINE ADJUSTMENT.

SHEET INDEX

| ARCHITECTURAL | |
|---------------|--|
| A0.1 | COVER SHEET |
| D1 | DOCK/PILE PLAN - SITE PLAN & GENERAL NOTES |
| D2 | DOCK/PILE PLAN - CONSTRUCTION PLAN |
| S1 | SURVEY |
| A1.1 | SITE PLAN |
| A1.2 | FRIDAY / SATURDAY PROPOSED CONCERT LAYOUT PLAN |
| A1.3 | LANDSCAPE PLANS |
| A1.4 | LIGHTING PLANS |
| A2.1 | DEMO PLAN |
| A2.2 | FLOOR PLANS |
| A2.3 | FLOOR AND ROOF PLAN |
| A5.1 | BUILDING ELEVATIONS |
| A5.2 | ELEVATIONS WITH CONTEXT |
| A6.1 | SECTIONS |
| A7.1 | SCHEDULES |
| A8.1 | SIGNAGE |
| A9.1 | PROJECT IMAGES |
| A9.2 | PROJECT IMAGES |

| LOADING | |
|------------------------|---|
| 10' x 35' Loading Zone | 1 |
| TOTAL PARKING PROVIDED | 1 |

| TOTALS | |
|------------------------------------|------|
| TOTAL SPACES REQUIRED | 66.9 |
| HISTORIC PARKING CREDITS AVAILABLE | 79 |

TOTAL SHEETS: 18

DIRECTORY

OWNER:
CALIFORNIA COASTAL INVESTMENTS, LLC
2436 BROAD ST
SAN LUIS OBISPO, CA
TEL: 805-544-5583
REP: ERIC NEWTON
EMAIL: admin@newtonconstruction.com

DESIGN BY:
OUTLIER
418 BROADWAY
CHICO, CA
TEL: 805.791.7610
REP: TREVOR MILLER, AIA
EMAIL: trevor@otr.co

ARCHITECT:
HAB DESIGN GROUP
330 S HALCYON RD
ARROYO GRANDE, CA 93420
805-544-4334
REP: C.J. HORSTMAN, AIA
EMAIL: c.horstman@habgroup.net

MORRO BAY STAMP AREA



ARCHITECTS
DESIGNERS
CREATIVE SOLUTION HUNTERS

330 S HALCYON ROAD
ARROYO GRANDE, CA 93420
HABGROUP@NET
805-544-4334



ARCHITECT OF RECORD

COVER SHEET
LIBERTINE MORRO BAY
801 EMBARCADERO
LEASE SITES 86 & 86W
MORRO BAY, CA

SHEET TITLE

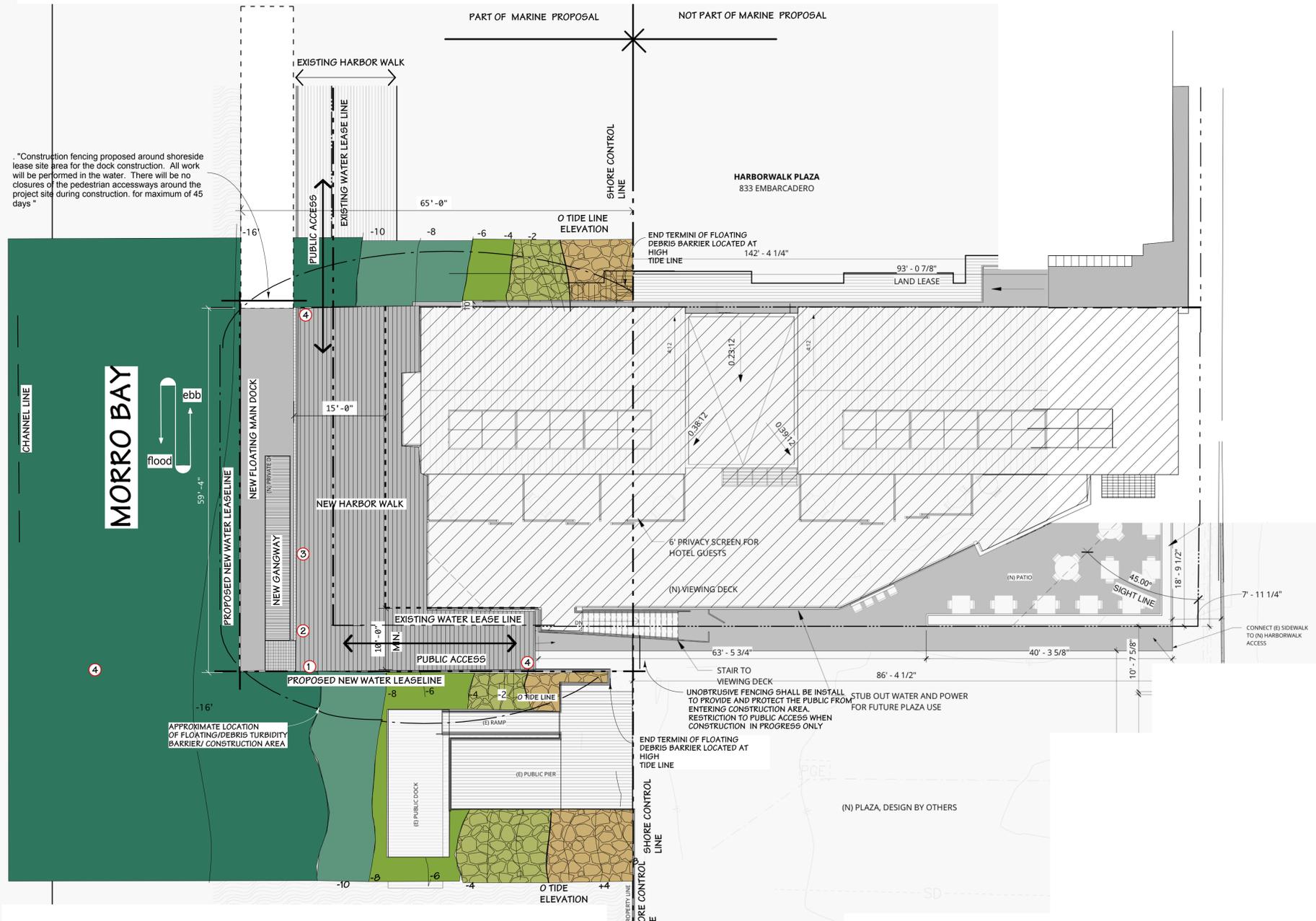
THESE DRAWINGS ARE INSTRUMENTS OF SERVICE AND ARE THE PROPERTY OF OUTLIER OR MILLER ARCHITECT GROUP. ALL COMMON COPYRIGHT AND OTHER PROPERTY RIGHTS RESERVED. THIS DOCUMENT SHALL NOT BE REPRODUCED, COPIED, DISCLOSED, OR USED IN CONNECTION WITH ANY WORK OR PROJECT OTHER THAN THE SPECIFIC PROJECT FOR WHICH IT HAS BEEN PREPARED, OR ASSIGNED TO ANY THIRD PARTY WITHOUT FIRST OBTAINING THE EXPRESS WRITTEN CONSENT OF OTR. VISUAL CONTACT WITH THIS DOCUMENT SHALL CONSTITUTE CONCLUSIVE EVIDENCE OF ACCEPTANCE OF THESE RESTRICTIONS.

REVISION HISTORY

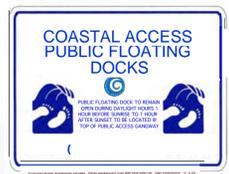
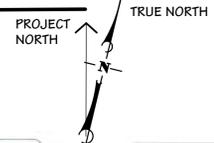
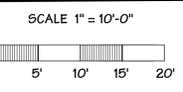
| NO. | DESC. | DATE |
|-----|-------|------|
| | | |
| | | |
| | | |
| | | |

| APP # | |
|-------------|-------------|
| APN # | 006-322-008 |
| JOB # | 20-185 |
| DATE | 2023-11-01 |
| DRAWN BY: | TW |
| CHECKED BY: | TM |

A0.1
SHEET NUMBER



MARINA SITE PLAN



1 SIGNAGE SHALL BE 24" WIDE X 18" HIGH METAL SIGN W/ IMAGES MOUNTED FLAT ON 4X4 POST w/ white background & blue lettering
A sign that states "Caution: due to fluctuation of water elevation, this dock/pier is only accessible between tidal elevations of +7' to 0. use with caution, to be located @ top of gangway access .

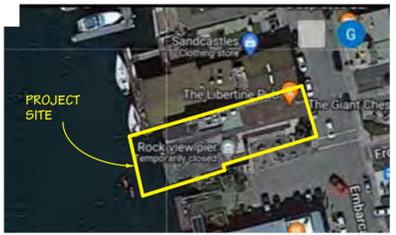
2 SECURITY SIGN @ TOP OF GANGWAY
SIGNAGE SHALL BE 24" WIDE X 18" HIGH METAL SIGN W/ IMAGES ON CHAIN GUARD w/ white background & blue lettering

3 INTERPRETIVE SIGNAGE DEPICTING COMMERCIAL AND SPORTFISHING IN MORRO BAY

4 SIGNAGE SHALL BE 24" WIDE X 18" HIGH METAL SIGN W/ IMAGES MOUNTED FLAT ON 4X4 POST w/ white background & blue lettering
PUBLIC BOARDWALK TO REMAIN OPEN 24 HOURS A DAY TO BE LOCATED UPCAST & DOWNCAST & ENTRANCE TO COURTYARD

SITE INFORMATION

| LEASE INFORMATION | | MARINA INFORMATION | |
|---|-------------|--|--|
| EXISTING LAND LEASE | 5430 S.F.. | ENCASE OR SLEEVE EXISTING 16" DIA. PILES --3 | |
| PROPOSED LAND LEASE | 6200 S.F.. | INSTALL NEW STEEL/EPOXY PILING ----- 7 | |
| EXISTING WATER LEASE | (1957 S.F.) | EXISTING FLOAT LENGTH----- 52- LF. | |
| PROPOSED WATER LEASE | (2235 S.F.) | PROPOSED SLIP LENGTH----- 52 LF. | |
| TOTAL LEASE AREA | 8435. S.F. | EXISTING MAIN FLOAT AREA ----- (416 S.F.) | |
| EXISTING DECKING----- | 587 S.F | PROPOSED MAIN FLOAT AREA ----- (416 S.F.) | |
| PROPOSED HARBOR WALK----- | 1360 S.F.. | | |
| BUILDING USE --MIX USE GROUP B-2/TYPE ----- | V | | |



VICINITY PHOTO

DATE 1-10-22 GOOGLE EARTH

PROPOSED IMPROVEMENTS

- INSTALL MORROBAY HARBORWALK 15' WIDE. INCLUDING NEW HANDRAIL
- REPLACE AND INSTALL 7 NEW 16" STEEL PILES. SLEEVE 3 EXISTING PILING
- INSTALL NEW STEEL SUPPORT BEAMS
- ENLARGE AND REPLACE EXISTING DEMOLISHED DOCK W/ NEW FLOATING MAIN FLOAT INCLUDING NEW MARINE UTILITY PEDESTALS
- CONNECT FLOATING MAIN FLOAT TO ADJACENT FLOAT. INSTALL NEW 10' VERTICAL HARBORWALK ACCESS TO ADJACENT STREET END
- REMOVE AND RELOCATE NEW H.C. ACCESSIBLE GANGWAY
- EXTEND EXISTING WATER LEASE 15' TO THE WEST AND 7'-4" TO THE SOUTH

LEGAL DESCRIPTION

OWNERS----- CALIFORNIA COASTAL INVESTMENT LLC
2436 BROAD ST. SAN LUIS OBISPO, CALIF.
805 544-5583 ERIC NEWTON

SITE ADDRESS----- 801 Embarcadero
MORRO BAY, CALIF

LEASE SITES----- 86 W
Morro Bay, California
COUNTY OF SAN LUIS OBISPO, CALIFORNIA

APN.----- 066-322 008
ZONE----- H. WF. (PD/5.4)

GENERAL NOTES

NOTE!
THE CONSTRUCTION COORDINATORS INFORMATION SHALL BE POSTED ON SITE
CONSTRUCTION COORDINATOR SHALL BE PAUL GILLEN
495 Embarcadero 93442 805 772-7472
ALL WORK SHALL BE COMPLETED IN A GOOD WORKMANSHIP MANNER
CONTRACTOR SHALL HAVE ON SITE 2022 COPY OF C.B.C. ALL WORK SHALL COMPLY W/ 2022 C. B.C.
CITY OF MORRO BAY. CODES AND REQUIREMENTS, CONDITIONS OF APPROVAL CALIFORNIA COASTAL COMMISSIONS STANDARD AND SPECIAL CONDITIONS, ARMY CORPS OF ENGINEERS AND REGIONAL WATER QUALITY CONTROL BOARD
CONTRACTOR SHALL NOTIFY ARCHITECT AND OWNER PRIOR TO CHANGES OF CONSTRUCTION FOR APPROVAL.
STAGING AREA SHALL BE LOCATED INLAND
CONSTRUCTION PRACTICES SHALL BE AS REQUIRED BY CITY OF MORRO BAY CODES AND REQUIREMENTS, CALIFORNIA COASTAL COMMISSION CONDITIONS OF APPROVAL.
SILT SCREENS SHALL BE PLACED WITHIN THE AREA OF ALL IN-WATER CONSTRUCTION OR DISTURBANCE TO REDUCE POTENTIAL TURBIDITY ASSOCIATED IMPACTS. ALL CONSTRUCTION SHALL OCCUR WITHIN THE PROJECT FOOTPRINT.
NOTE! PILING SHALL BE EMBEDDED MIN20' OR REFUSAL AS PER SPECIAL INSPECTION & OBSERVATION AND APPROVED BY PROJECT ARCHITECT (SEE 5-1)
ARCHITECT SHALL SUBMIT REPORT TO CITY OF THE INSTALLATION OF PILES FOLLOWING INSTALLATION OF THE PILING
NOTE!
SPECIAL OBSERVATIONS FOR MARINE MAMMALS BY QUALIFIED PERSONAL SHALL BE REQUIRED DURING PILING DRIVING INSTALLATION
NOTE!
A POST MEETING REPORT SHALL BE PROVIDED TO PLANNING TO DOCUMENT THAT TRAINING OCCURRED
FIRE SAFETY DURING CONSTRUCTION AND DEMOLITION SHALL BE IN ACCORDANCE WITH 2022 CALIFORNIA FIRE CODE CHAPTER 35, THIS CHAPTER PERQUIRES MINIMUM SAFEGUARDS FOR CONSTRUCTION ALTERATIONS AND DEMOLITION OPERATIONS TO PROVIDE REASONABLE SAFETY OF LIFE AND PROPERTY FROM FIRE DURING SUCH OPERATIONS
ALL CONTRACTORS AND SUBCONTRACTORS SHALL APPLY (BMP) BEST MANAGEMENT PRACTICES THROUGHOUT COURSE OF CONSTRUCTION
CONSTRUCTION PRACTICES SHALL BE AS REQUIRED BY CITY OF MORRO BAY CODES AND REQUIREMENTS, CALIFORNIA COASTAL COMMISSION CONDITIONS OF APPROVAL
ALL CONTRACTORS AND SUBCONTRACTORS SHALL COMPLY WITH ALL CONDITIONS OF THE PERMIT THROUGHOUT THE CONSTRUCTION OF THE PROJECT.

INDEX TO SHEETS

- A-1 SITE PLAN GENERAL NOTES
- A-2 CONSTRUCTION PLAN/SECTION
- A-3 CITY CONDITIONS
- A-4 COASTAL CONDITIONS
- A-5 A.C.E. CONDITIONS

1-18-23
4-6-23



LAND/SEA INTERFACE
GENE DOUGHERTY-ARCHITECT
1-805-772-8434
C 18794

LIBERTINE OFFSHORE DEVELOPMENT
FOR
ERIC NEWTON
NEWTON CONSTRUCTION & MANAGEMENT, INC.
800 EMBARCADERO, MORRO BAY, CALIF

SITE PLAN GENERAL NOTES

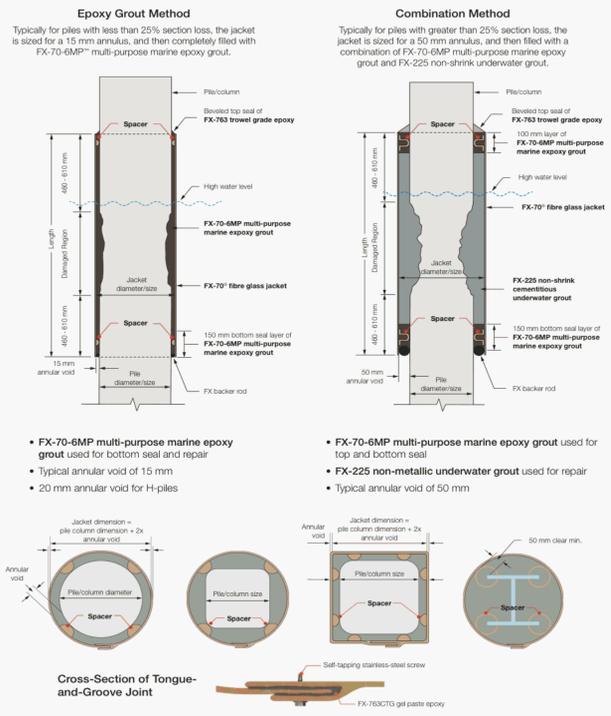
SCALE: AS NOTED
DRAWN: GD

SHEET **D1** OF 6 SHEET

6/7/2022 10:41:50 AM

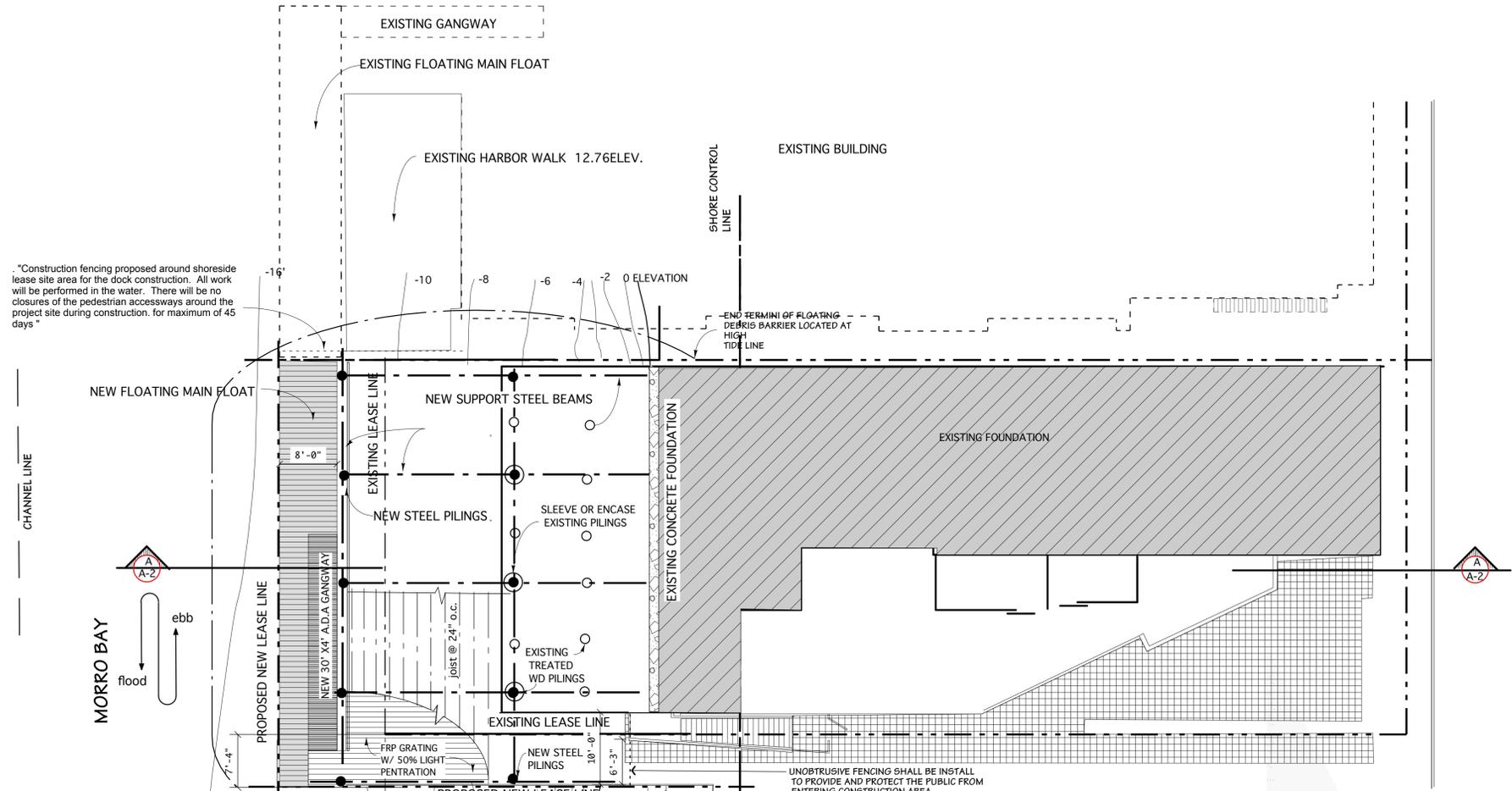
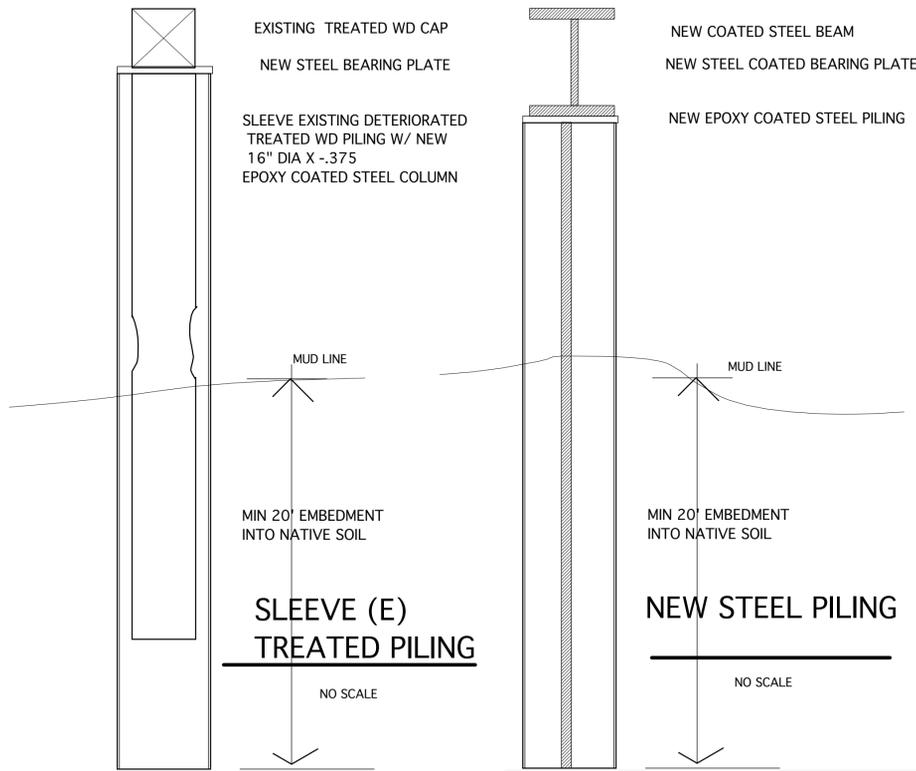
FX-70® Structural Pile Repair and Protection System

System Components

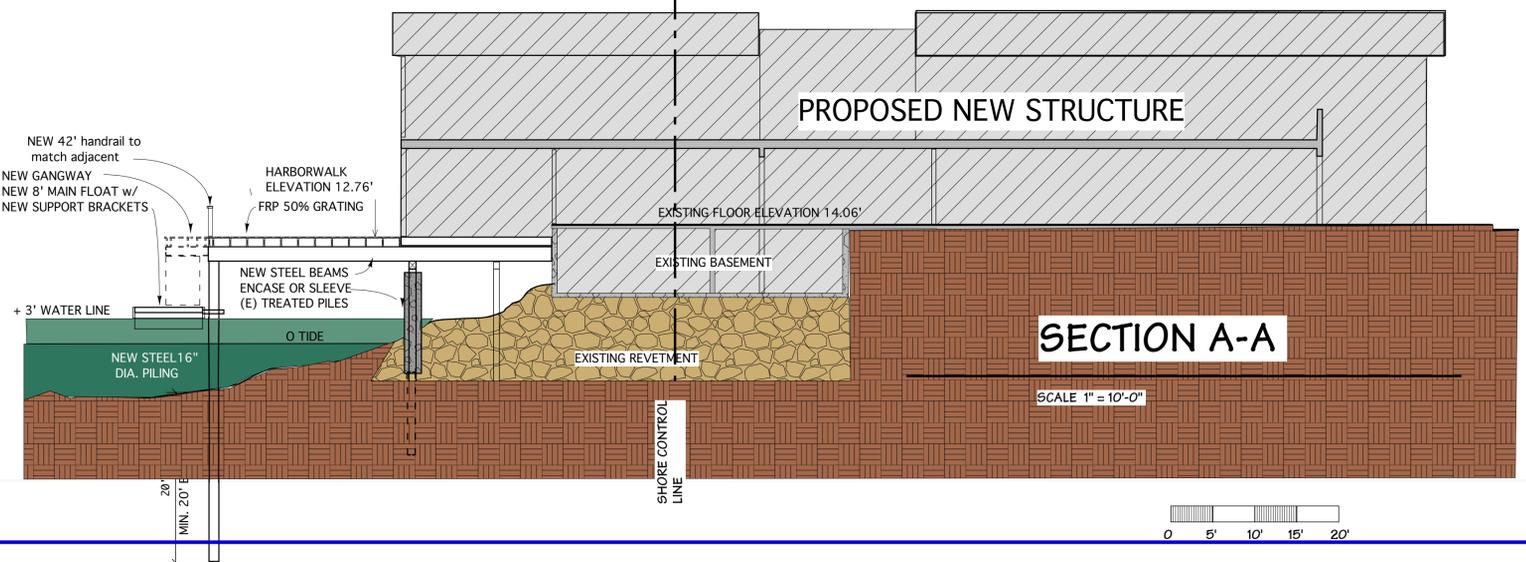
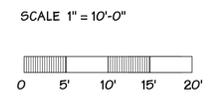


EXISTING PILING EPOXY ENCASEMENT

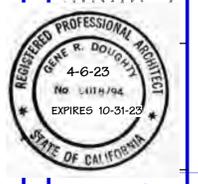
NO SCALE



CONSTRUCTION PLAN



SECTION A-A



LAND/SEA INTERFACE
GENE DOUGHTY-ARCHITECT
1-805-772-8436
C 18794

LIBERTINE OFFSHORE DEVELOPMENT
FOR
ERIC NEWTON
NEWTON CONSTRUCTION & MANAGEMENT, INC.
800 EMBARCADERO, MORRO BAY, CALIF

CONSTRUCTION PLAN
SECTION A-A

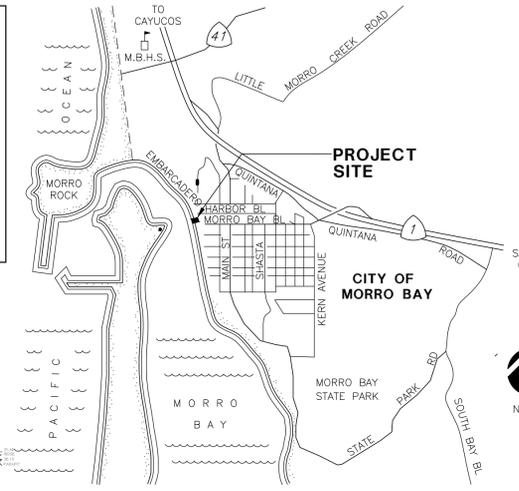
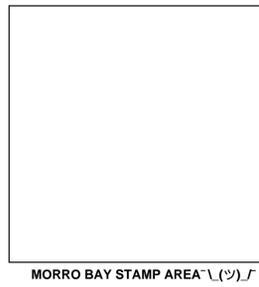
1-18-23
4-6-23
SCALE: AS NOTED
DRAWN: GD

SHEET
D2

HIGHEST GRADE AT BUILDING FOOTPRINT: 14.10'
 LOWEST GRADE AT BUILDING FOOTPRINT: 12.11'
 DIFFERENCE: 14.10'-12.11' = 1.99'

AVERAGE NATURAL GRADE (ANG): 13.10'

MAX BLDG HEIGHT: 25' ABOVE ANG = 25' + 13.10' = 38.10'



SYMBOL LEGEND:

| | | | |
|-----|----------------------|----------------|-------------------|
| x | FENCE LINE | RETAINING WALL | |
| SS | SEWER MAIN | PG&E BOX | |
| W | WATER MAIN | GM | GAS METER |
| G | GAS MAIN | 77 | TELEPHONE BOX |
| ETC | ELEC/TELEPHONE/CABLE | 57 | SIGNAL BOX |
| OHE | OVERHEAD ELECTRIC | 27 | CABLE T.V. BOX |
| | DROP INLET AT CURB | 77 | ELECTRIC BOX |
| | DROP INLET | 7 | TELEPHONE MANHOLE |
| | STORM DRAIN MANHOLE | JP | JOINT POLE |
| | FIRE HYDRANT | PP | POWER POLE |
| | WATER WELL | | GUY WIRE |
| | WATER VALVE | | |
| | WATER METER | | |
| | SEWER MANHOLE | | |
| | SEWER CLEANOUT | | |
| | MONITORING WELL | | |

ABBREVIATIONS

| | | | |
|------|------------------------|-----|--------------------------|
| AC | ASPHALT CONCRETE | IP | IRON PIPE |
| AP | ANGLE POINT | GB | GRADE BREAK |
| BM | BENCH MARK | GM | GAS METER |
| BLDG | BUILDING | HP | HIGH POINT |
| BOW | BACK OF WALK | LT | LIGHT |
| CB | CATCH BASIN | MH | MANHOLE |
| CF | CURB FACE | PP | POWER POLE |
| CO | CLEAN OUT | PVC | POLYVINYL PIPE |
| COL | COLUMN | RB | REBAR |
| COR | CORNER | RCP | REINFORCED CONCRETE PIPE |
| CONC | CONCRETE | R10 | CANOPY RADIUS |
| CMP | CORRUGATED METAL PIPE | SD | STORM DRAIN |
| CMU | CONCRETE MASONRY UNITS | SL | POINT ON SLOPE |
| CRN | CROWN OF STREET | SS | SEWER |
| DI | DROP INLET | STP | STEP |
| EG | EXISTING GRADE | STR | STAIRS |
| EP | EDGE OF PAVEMENT | TOP | TOP OF SLOPE |
| FD | FOUND | TOE | TOE OF SLOPE |
| FL | FLOW LINE | TW | TOP OF WALL |
| FF | FINISH FLOOR | W | WATER |
| FW | FACE OF WALL | WL | WALL |
| HSE | HOUSE COR | WM | WATER METER |
| GR | GRASS | WV | WATER VALVE |
| GM | GAS METER | | |
| IP | IRON PIPE | | |

SURVEYOR'S STATEMENT:
 THIS MAP REPRESENTS A FIELD SURVEY OF SURFACE FEATURES AND ELEVATIONS PERFORMED ON OCTOBER 19TH, 2021.

MICHAEL B. STANTON, PLS 5702 DATE _____

SURVEYOR'S NOTES:

- NO TITLE SEARCH (TITLE REPORT) WAS PROVIDED TO THE SURVEYOR. EASEMENTS OR OTHER FEE CONVEYANCES WHICH MAY AFFECT THE SUBJECT PROPERTY HAVE NOT BEEN PLOTTED.
- ONLY THE SURFACE EVIDENCE OF UNDERGROUND UTILITIES HAVE BEEN MEASURED IN THE FIELD ON THIS SURVEY. IF APPROXIMATE UNDERGROUND ALIGNMENTS ARE SHOWN, I MAKE NO WARRANTY AS TO THE ACTUAL LOCATION, TYPE OR DEPTH OF THOSE UNDERGROUND UTILITIES. CALL UNDERGROUND SERVICE ALERT (USA) AT 1-800-642-2444 TO VERIFY THE ACTUAL LOCATION OF UTILITIES PRIOR TO ANY EXCAVATION. THE SURVEYOR ALSO HAS MADE NO INVESTIGATION AS TO SUBSURFACE ENVIRONMENTAL CONDITIONS THAT WOULD AFFECT THE USE OR DEVELOPMENT OF THIS PROPERTY.
- IT WILL BE THE ARCHITECT'S RESPONSIBILITY TO VERIFY SETBACK AND HEIGHT RESTRICTIONS WITH THE LOCAL GOVERNING AGENCY.
- THE SIGNED AND SEALED ORIGINAL DRAWINGS OF THIS MAP CONSTITUTE THE FINAL WORK PRODUCT. MBS LAND SURVEYS WILL NOT BE LIABLE FOR ELECTRONIC VERSIONS OF THIS MAP PROVIDED TO OTHER PARTIES.
- THE BOUNDARY LINES SHOWN HEREON WERE COMPILED FROM RECORD INFORMATION (I.E. RECORDED MAPS OR DEEDS) AND ARE NOT INTENDED TO REPRESENT THE TRUE OR ACTUAL BOUNDARY LINES OF THE SUBJECT PROPERTY. TO DETERMINE THE ACTUAL BOUNDARIES OF THE PARCEL WILL REQUIRE A COMPLETE BOUNDARY SURVEY, THE SETTING OF PROPERTY MONUMENTS AND THE FILING OF A CORNER RECORD OR RECORD OF SURVEY IN CONFORMANCE WITH STATE LAW (LS ACT SEC. 8762). APPROXIMATE DIMENSIONAL TIES FROM THE BOUNDARY LINES SHOWN TO PHYSICAL FEATURES (E.G. BUILDINGS, FENCES, WALLS OR TREES, ETC.) SHOWN ON THIS MAP CAN BE DERIVED BY SCALING THE FINISHED WORK PRODUCT WHICH IS PLOTTED AT THE SCALE INDICATED.

BENCH MARK:
 THE BENCH MARK FOR THIS PROJECT IS AN NGS MONUMENT SET IN THE TOP OF A CONCRETE PILLAR NEAR A FLAG POLE LYING SOUTHWEST OF TEH DORN'S RESTAURANT AT THE WEST CORNER OF MORRO BAY BLVD AND MARKET ST.
 PID: FV0401
 DESIGNATION: TIDAL 5
 ELEV: 36.66' NAVD88 (ELEVATION TAKEN FROM PRIOR SURVEY IN 2006, ELEVATION HAS SINCE BEEN UPDATED IN NGS DATA SHEETS.)

BASIS OF BEARINGS:
 THE BASIS OF BEARINGS FOR THIS PROJECT IS BASED ON FOUND MONUMENTS ALONG EMBARCADERO RD. BETWEEN HARBOR ST AND MORRO BAY BLVD.
 BEARING N 12° 57' 19" W.

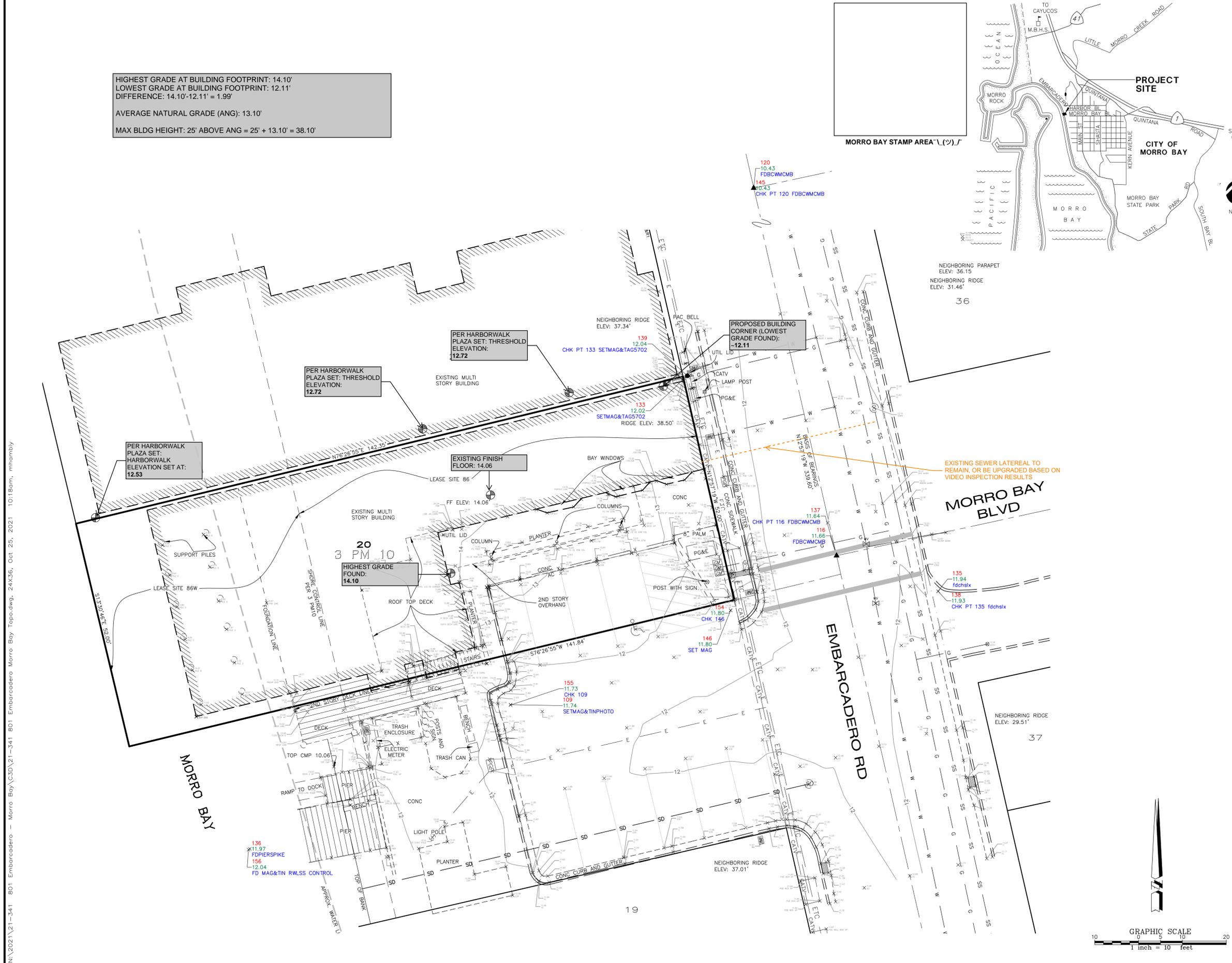
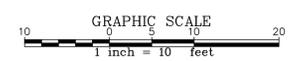
SITE DATA:
 ADDRESS: 801 EMBARCADERO RD, MORRO BAY, CA
 ASSESSOR'S PARCEL NO. 066-322-008

TOPOGRAPHIC MAP
 PARCEL 21 AS SHOWN ON PARCEL MAP NO. MB 68-30 FILED IN BOOK 3 AT PAGE 10, IN THE CITY OF MORRO BAY, COUNTY OF SAN LUIS OBISPO, CALIFORNIA

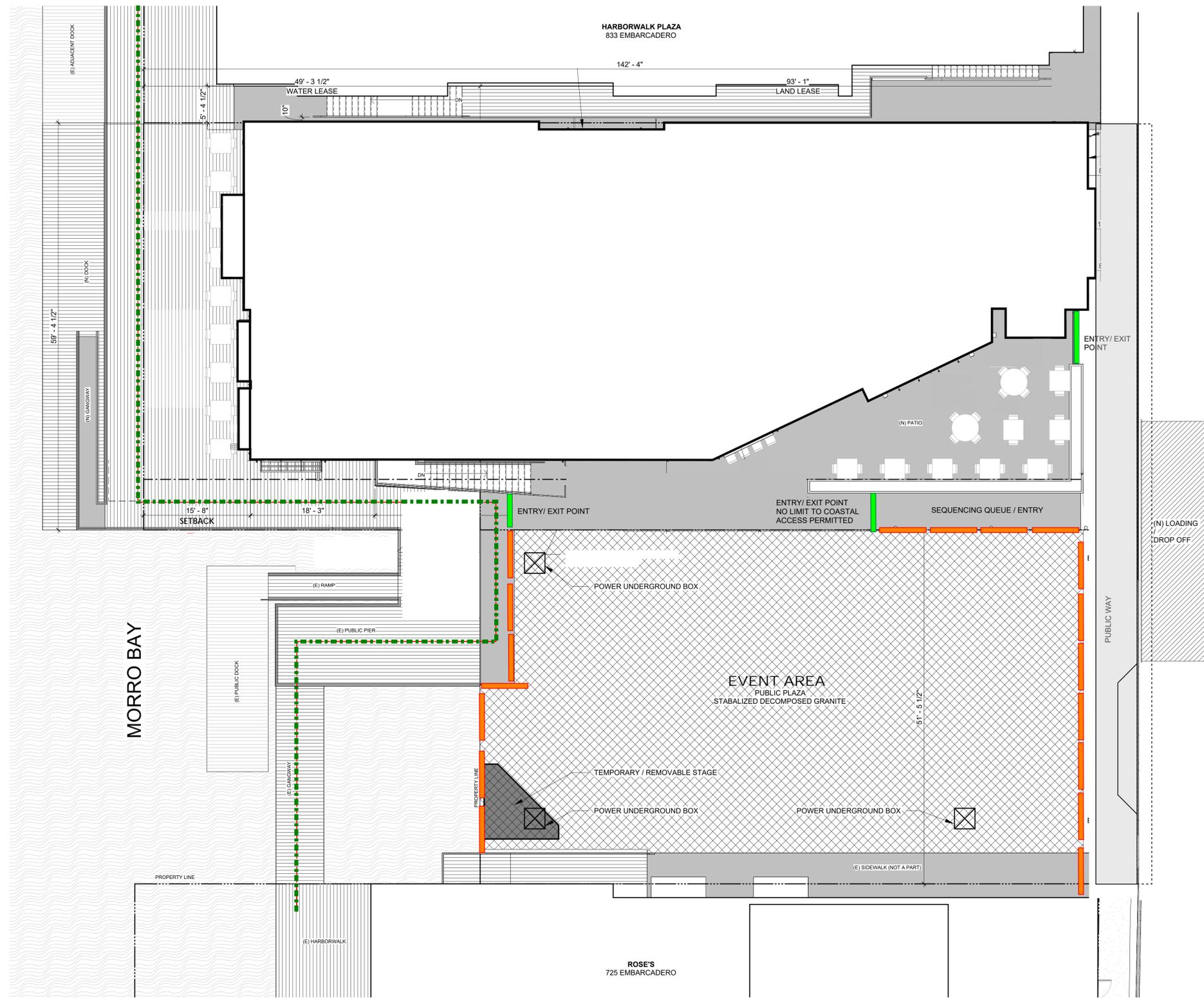
AT THE REQUEST OF ERIC NEWTON

MBS LAND SURVEYS
 MICHAEL B. STANTON, PLS 5702
 3559 SOUTH HIGUERA ST.
 SAN LUIS OBISPO, CA 93401
 805-594-1960

October 25, 2021 JOB #21-341



N:\2021\21-341 - Morro Bay\c3d\21-341_801_Embarcadero Morro Bay_Topo.dwg, 24x35, Oct 25, 2021 10:18am, mstanton



EVENT PLAN NOTES & LEGEND

E. SIDEWALK AND/OR WALKWAY AREAS TO REMAIN FREE AND CLEAR OF ANY OBSTRUCTIONS AND TO ALLOW FOR SAFE PASSAGE OF THE GENERAL PUBLIC. ANY CONSTRUCTION FENCING SHALL BE BEHIND THE PROPERTY LINE. ALL CONSTRUCTION-RELATED DEBRIS TO BE PLACED ON PRIVATE PROPERTY.

- PORTABLE CROWD BARRIER
- CONTROLLED ENTRY POINT/ EXIT

Portable Safety Barrier - Galvanized, Flat Feet



[More Images](#)

Temporarily manage foot traffic around job sites, festivals and sporting events.

- Welded 1 1/2" diameter frame with 3/4" diameter uprights.
- Removable feet for easy stacking and storage.
- Barriers interlock to create long runs.
- Easy to set up and take down.
- Hot dipped. Excellent rust resistance.
- Flat Feet - Sit flush on ground to prevent tripping in high-traffic areas.

1 EVENT PLAN
1/8" = 1'-0"



MORRO BAY STAMP AREA



ARCHITECTS
DESIGNERS
CREATIVE SOLUTION HUNTERS

330 S. HALCYON ROAD
ARROYO GRANDE, CA 93420
HABGROUP.NET
805-544-4334



ARCHITECT OF RECORD

FRIDAY / SATURDAY
PROPOSED CONCERT
LAYOUT PLAN
LIBERTINE MORRO BAY
801 EMBARCADERO
LEASE SITES 86 & 86W
MORRO BAY, CA

SHEET
TITLE

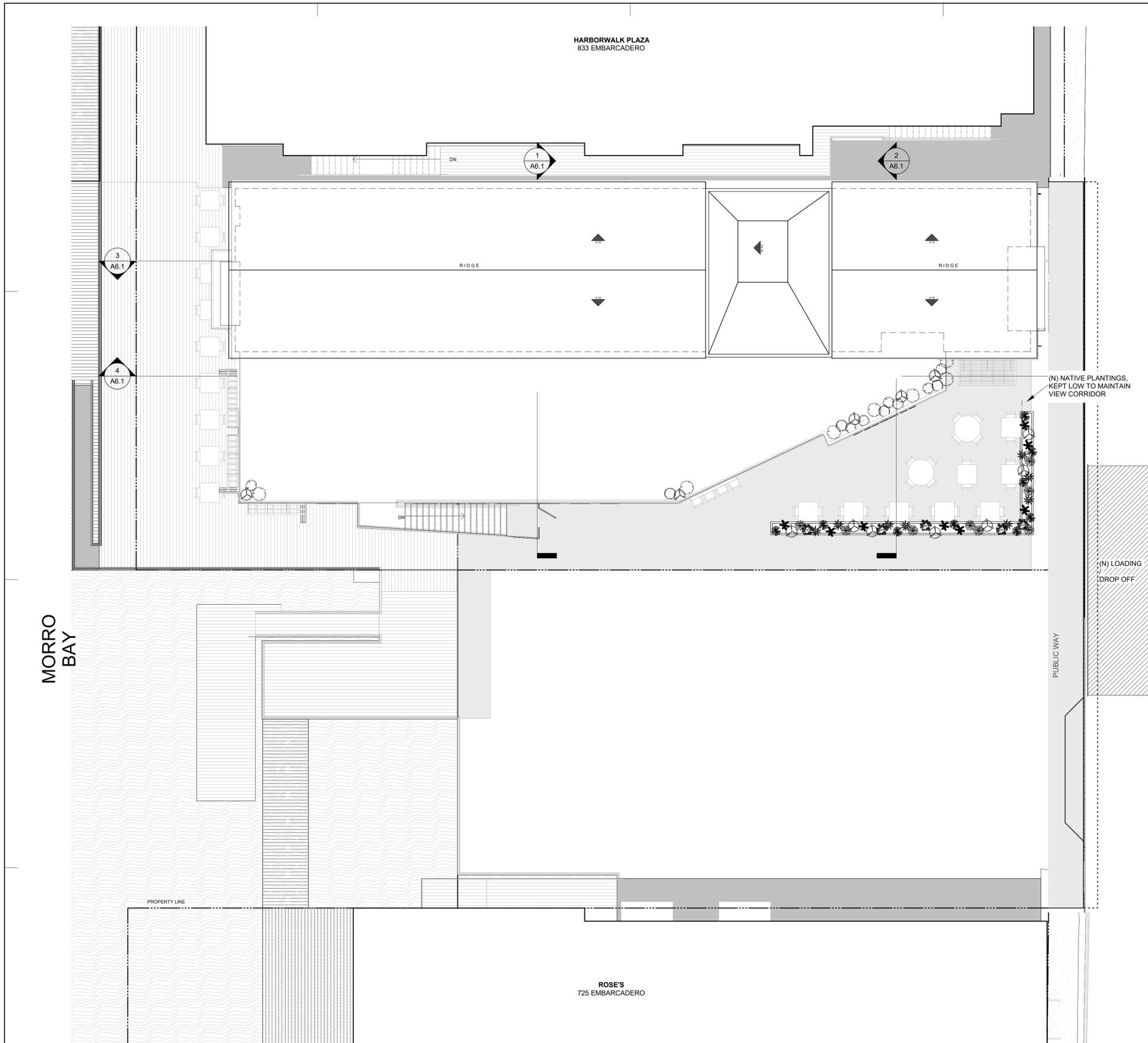
THESE DRAWINGS ARE INSTRUMENTS OF SERVICE AND ARE THE PROPERTY OF OUTSIDE/INSIDE ARCHITECT GROUP. ALL COMMON COPYRIGHT AND OTHER PROPERTY RIGHTS RESERVED. THIS DOCUMENT SHALL NOT BE REPRODUCED, COPIED, DISCLOSED, OR USED IN CONNECTION WITH ANY WORK OR PROJECT OTHER THAN THE SPECIFIC PROJECT FOR WHICH IT HAS BEEN PREPARED, OR ASSIGNED TO ANY THIRD PARTY WITHOUT FIRST OBTAINING THE EXPRESS WRITTEN CONSENT OF OJL. VISUAL CONTACT WITH THIS DOCUMENT SHALL CONSTITUTE CONCLUSIVE EVIDENCE OF ACCEPTANCE OF THESE RESTRICTIONS.

REVISION HISTORY

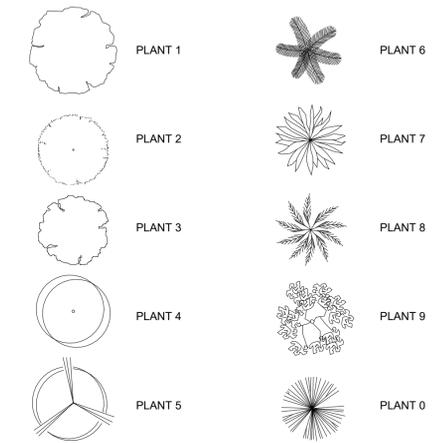
| NO. | DESC. | DATE |
|-----|-------|------|
| | | |
| | | |
| | | |
| | | |
| | | |

| | |
|-------------|-------------|
| APP # | -- |
| APN # | 006-322-008 |
| JOB # | 20-185 |
| DATE | 2023-11-01 |
| DRAWN BY: | TW |
| CHECKED BY: | TM |

A1.2
SHEET NUMBER



PLANTING LEGEND



PLANTING SCHEDULE

CONNECT TO LOW FLOW IRRIGATION SYSTEM

| KEY | DESCRIPTION | MATURE HEIGHT | COUNT |
|---------|---|-----------------------|-------|
| Plant 0 | KALANCHOE PUMILA (FLOWER DUST PLANT) | 12" HT. x 24" WIDE | 9 |
| Plant 1 | AGAVE BRACTEOSA (SQUID AGAVE) | 12" HT. x 18" WIDE | 8 |
| Plant 2 | PELARGONIUM PELTATUM L'ELEGANTE (L'ELEGANTE GERANIUM) | 12" HT. x 18" WIDE | 4 |
| Plant 3 | ERIGERON GLAUCUS (SEASIDE DAISY) | 12" HT. x 18" WIDE | 6 |
| Plant 4 | TEUCRIUM LUCIDREYS (GERMANDER) | 12" HT. x 24" WIDE | 2 |
| Plant 5 | CAREX COMANS 'BRONZE' (BRONZE HAIR SEDGE) | 12" HT. x 30" WIDE | 13 |
| Plant 6 | SALVIA SONOMENSIS (CREEPING SAGE) | 12" HT. x 30" WIDE | 8 |
| Plant 7 | SCAEVOLA ALBIDA 'MAUVE CLUSTER' (FAIRY FAN FLOWER) | 6" HT. x 36" OR MORE | 8 |
| Plant 8 | APTENIA CORDIFOLIA (RED APPLE) | 12" HT. x 24" OR MORE | 8 |
| Plant 9 | LAVANDULA 'HIDCOTE SUPERIOR' (ENGLISH LAVENDER) | 16" HT. x 18" WIDE | 5 |

MAWA = Maximum Applied Water Allowance

MAWA = (Eto - Eppt)(0.62)/(0.7)(LA)+(0.3)(SLA)
 Where:
 MAWA = Maximum Applied Water Allowance (gallons per year)
 Eto = Reference Evapo-transpiration (for location in inches per year)
 Eppt = Effective Precipitation (no more than 25% of local Eto, typically 10%)
 0.62 = conversion factor to gallons
 0.7 = Eto Adjustment Factor (average Ks of 5 divided by 0.7 irrigation efficiency)
 LA = Total irrigated Landscape Area (in square feet) including Special Landscape Area (SLA)
 SLA = Portion of the total irrigated Landscape Area identified as Special Landscape Area (recreational turf)
 0.3 = The additional ET Adjustment Allowance Factor for Special Landscape Area (1.0 - 0.7 = 0.3)

| | | | | | | | |
|--------------------------|-------|-------------|------|----------------|-----|-----|---|
| Enter Eto @ site here = | 39.9 | inches/year | | | | | |
| Enter Eppt @ site here = | 0.1 | inches/year | | | | | |
| Enter LA @ site here = | 115 | square feet | | | | | |
| Enter SLA @ site here = | 0 | square feet | | | | | |
| MAWA = | 39.9 | 0.1 | 0.62 | 0.7 | 115 | 0.3 | 0 |
| MAWA = | 1,986 | Gal./Year | 0.01 | Acre Feet/Year | | | |
| | 3 | Units/Year | | | | | |

ETWU = Estimated Total Water Use

ETWU = (Eto)(0.62)((PF x HA)/(IA + SLA))
 Where:
 ETWU = Estimated Total Water Use in gallons per year
 Eto = Reference Evapo-transpiration (for location in inches per year)
 0.62 = conversion factor to gallons
 PF = Plant Factor from WU/COLS
 HA = Hydrozone Area (high, medium, low water use areas) (square feet)
 IA = Irrigation Efficiency (minimum 0.7)
 Special Landscape Area (square feet)

| Hydrozone | Plant water Use Type(s) | Plant Factor (PF) | Area (square feet) | PF x Area (square feet) | Application Efficiency | Calc. Factor |
|-----------|-------------------------|-------------------|--------------------|-------------------------|------------------------|--------------|
| 1 | High | 0.0 | 0 | 0 | 1.00 | 0 |
| 2 | Medium | 0.0 | 0 | 0 | 1.00 | 0 |
| 3 | Low | 0.5 | 115 | 58 | 1.00 | 58 |
| 4 | | 0.0 | 0 | 0 | 1.00 | 0 |
| 5 | | 0.0 | 0 | 0 | 1.00 | 0 |
| 6 | SLA | 1.0 | 0 | 0 | 1.00 | 0 |
| | | | Sum | 58 | Sum | 58 |

*Plant Factor from WU/COLS

| | | | | |
|--|-------|--------------|----|------------|
| ETWU = (Eto)(0.62)((PF x HA)/(IA + SLA)) | 39.9 | 0.62 | 58 | 0 |
| ETWU = | 1,422 | Gallons/Year | 2 | Units/Year |
| | 0.0 | Acre-Ft/Year | | |

ETWU must be less than MAWA to comply

1 PROPOSED LANDSCAPE PLAN
1/8" = 1'-0"



MORRO BAY STAMP AREA



ARCHITECTS
DESIGNERS
CREATIVE SOLUTION HUNTERS

330 S. HALCYON ROAD
ARROYO GRANDE, CA 93420
HABGROUP.NET
805-544-4334



ARCHITECT OF RECORD

LANDSCAPE PLANS

LIBERTINE MORRO BAY
801 EMBARCADERO
LEASE SITES 86 & 86W
MORRO BAY, CA

SHEET TITLE

THESE DRAWINGS ARE INSTRUMENTS OF SERVICE AND ARE THE PROPERTY OF HARBORWALK ARCHITECT GROUP. ALL COMMON COPYRIGHT AND OTHER PROPERTY RIGHTS RESERVED. THIS DOCUMENT SHALL NOT BE REPLICATED, COPIED, DISCLOSED, OR USED IN CONNECTION WITH ANY WORK OR PROJECT OTHER THAN THE SPECIFIC PROJECT FOR WHICH IT HAS BEEN PREPARED, OR ASSIGNED TO ANY THIRD PARTY WITHOUT FIRST OBTAINING THE EXPRESS WRITTEN CONSENT OF OJL. VISUAL CONTACT WITH THIS DOCUMENT SHALL CONSTITUTE CONCLUSIVE EVIDENCE OF ACCEPTANCE OF THESE RESTRICTIONS.

REVISION HISTORY

| NO. | DESC. | DATE |
|-----|-------|------|
| | | |
| | | |
| | | |

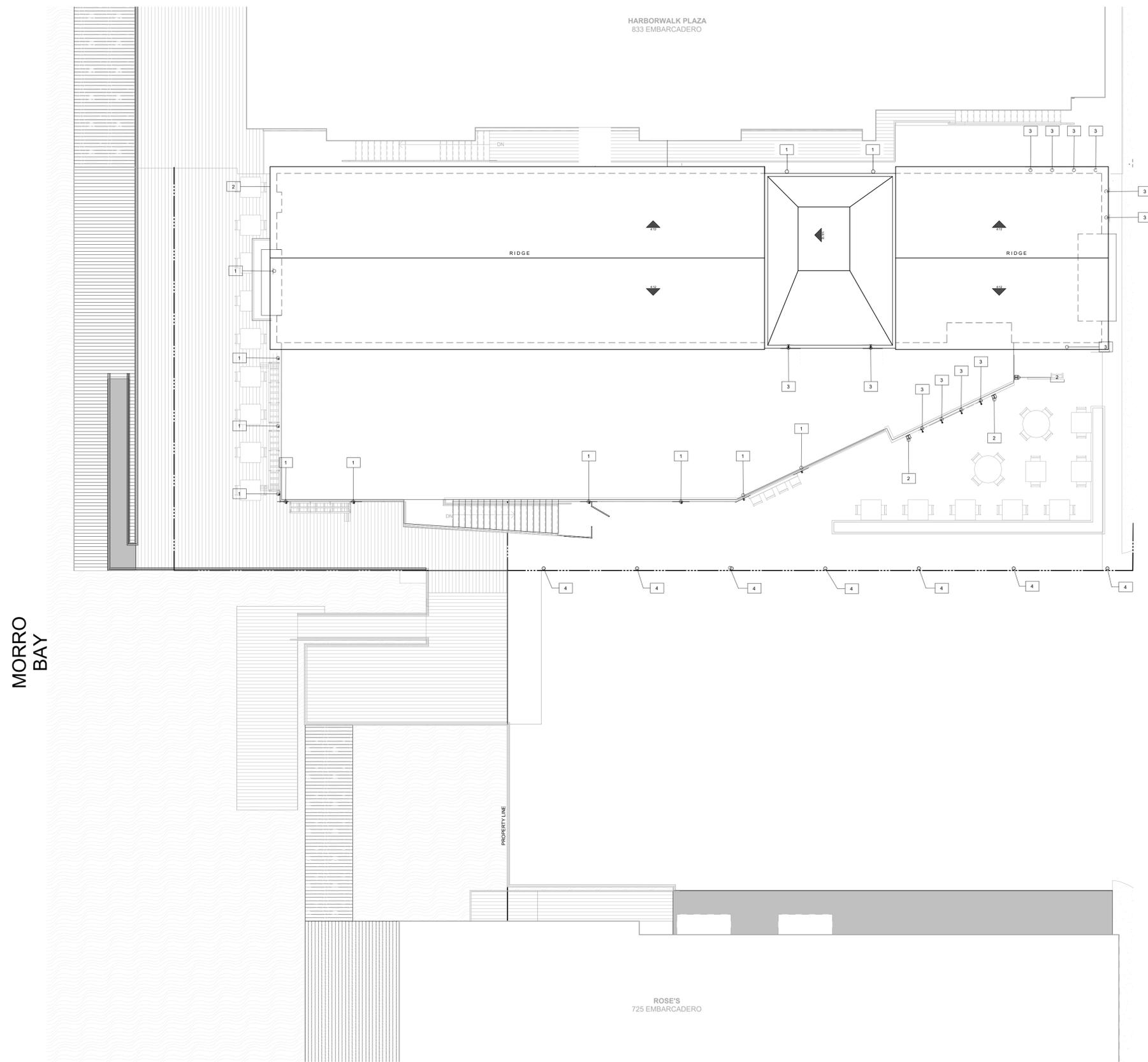
| | |
|-------------|-------------|
| APP # | -- |
| APN # | 006-322-008 |
| JOB # | 20-185 |
| DATE | 2023-11-01 |
| DRAWN BY: | TW |
| CHECKED BY: | TM |

A1.3

SHEET NUMBER

LIGHTING FIXTURE SCHEDULE

| REFER TO ELEVATIONS FOR PRECISE LOCATION | | | | | |
|--|------|---|---------------------|---------|-------|
| SYMBOL | MARK | DESCRIPTION | MODEL | MANUF. | COUNT |
| | 1 | 9" W x 6"H WALL SCONCE, 8W | ATLANTIS 1646SK-LED | HINKLEY | 21 |
| | 2 | 6" W x 16"H WALL SCONCE, 11W | ATLANTIS 1648SK-LED | HINKLEY | 4 |
| | 3 | COMPACT WALL-MOUNT SIGNAGE SPOTLIGHT, 19W | BEGA 77 702 | HINKLEY | 13 |
| | 4 | 30" LED BOLLARD, 8W | ATLANTIS 15602SK | HINKLEY | 7 |



2 PROPOSED LIGHTING PLAN
1/8" = 1'-0"

MORRO BAY STAMP AREA



LIGHTING PLANS
LIBERTINE MORRO BAY
801 EMBARCADERO
LEASE SITES 86 & 86W
MORRO BAY, CA

SHEET TITLE

THESE DRAWINGS ARE INSTRUMENTS OF SERVICE AND ARE THE PROPERTY OF OUTREVIEW OR MILLER ARCHITECT GROUP. ALL COMMON COPYRIGHT AND OTHER PROPERTY RIGHTS RESERVED. THIS DOCUMENT SHALL NOT BE DUPLICATED, COPIED, DISCLOSED, OR USED IN CONNECTION WITH ANY WORK OR PROJECT OTHER THAN THE SPECIFIC PROJECT FOR WHICH IT HAS BEEN PREPARED, OR ASSIGNED TO ANY THIRD PARTY WITHOUT FIRST OBTAINING THE EXPRESS WRITTEN CONSENT OF O.U.G. VISUAL CONTACT WITH THIS DOCUMENT SHALL CONSTITUTE CONCLUSIVE EVIDENCE OF ACCEPTANCE OF THESE RESTRICTIONS.

REVISION HISTORY

| NO. | DESC. | DATE |
|-----|-------|------|
| | | |
| | | |
| | | |
| | | |

| | |
|-------------|-------------|
| APP # | -- |
| APN # | 006-322-008 |
| JOB # | 20-185 |
| DATE | 2023-11-01 |
| DRAWN BY: | TW |
| CHECKED BY: | TM |

A1.4
SHEET NUMBER

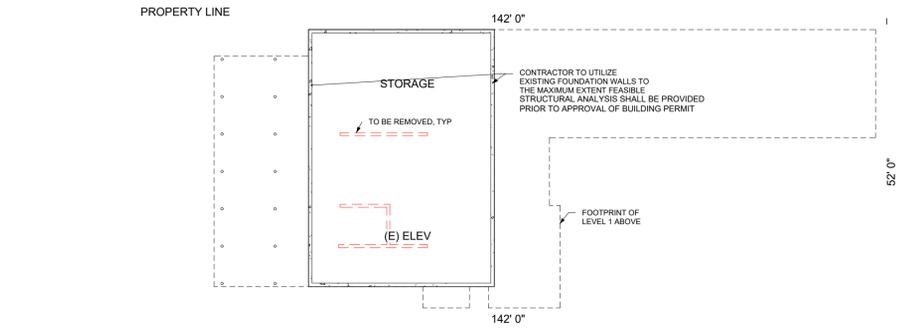
1/20/2023 5:35:17 PM

DEMOLITION GENERAL NOTES

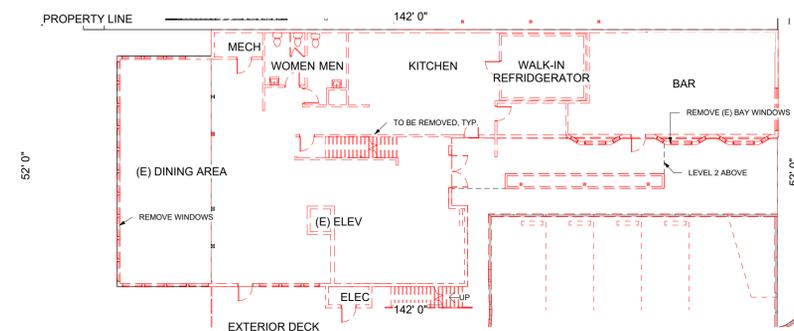
- A. ALL WORK SHALL CONFORM TO ALL REGULATIONS, CODES AND ORDINANCES ADOPTED BY THE STATE AND LOCAL GOVERNING AGENCIES; ANY SPECIAL CONDITIONS REQUIRED BY STATE AND/OR LOCAL GOVERNING AGENCIES; AND ALL REGULATIONS AND ORDINANCES REQUIRED BY FEDERAL GOVERNING AGENCIES. CODE REFERENCED IN THIS SUBMITTAL: 2007 CALIF. BLDG CODE
- B. ALL WORK DESCRIBED IN THE DRAWINGS SHALL BE VERIFIED BY THE CONTRACTOR FOR DIMENSION, GRADE, EXTENT AND COMPATIBILITY TO THE FIELD CONDITIONS. ANY DISCREPANCIES AND UNEXPECTED CONDITIONS THAT AFFECT OR CHANGE THE WORK DESCRIBED IN THESE DRAWINGS SHALL BE BROUGHT TO THE DESIGNERS ATTENTION IMMEDIATELY. DO NOT PROCEED WITH THE WORK IN THE AREA OF DISCREPANCIES UNTIL ALL SUCH DISCREPANCIES ARE RESOLVED.
- C. DIMENSIONS SHOWN SHALL TAKE PRECEDENCE OVER DRAWING SCALE OR PROPORTION. LARGER SCALE DRAWINGS SHALL TAKE PRECEDENCE OVER SMALLER SCALE DRAWINGS
- D. WHERE DEMOLITION IS INDICATED, CONTRACTOR SHALL DISCONNECT AND CAP ALL UTILITIES, ELECTRICAL CONDUITS, ETC. PER CODE, WHERE SUCH ITEMS ARE NOT INDICATED TO BE REUSED, CAP ALL ABANDONED PENETRATIONS ABOVE FINISHED CEILING.
- E. CONTRACTOR TO NOTIFY OWNER PRIOR TO COMMENCING WITH ANY WORK. CONTRACTORS SHALL CONFORM TO ANY REQUIREMENTS FOR NOISE AND DUST CONTROL, TRASH, STORAGE WORK HOURS, SITE ACCESS, ETC. AS DIRECTED BY THE OWNER.
- F. CONTRACTOR IS RESPONSIBLE FOR REPAIR, REPLACEMENT OR CLEAN UP OF ANY DAMAGE CAUSED BY THEIR WORK TO ANY PORTION OF EXISTING IMPROVEMENTS.
- G. CONTRACTOR IS RESPONSIBLE FOR COORDINATION AND SCHEDULING OF INSPECTIONS BY THE BUILDING DEPARTMENT AND OTHER AGENCIES AS REQUIRED.
- H. REMOVE FROM SITE AND LEGALLY DISPOSE OF REFUSE, DEBRIS, RUBBISH, AND OTHER MATERIALS RESULTING FROM DEMOLITION OPERATIONS. THE SITE SHALL BE LEFT BROOM CLEAN. COORDINATE DISPOSAL LOCATION W/ PROPERTY MANAGEMENT.
- I. ARRANGE AND PAY FOR DISCONNECTING, REMOVING AND CAPPING UTILITY SERVICES WITHIN AREAS OF DEMOLITION. DISCONNECT AND STUB-OFF.
- J. CAP OFF EXISTING PLUMBING, ELECTRICAL, AND MECHANICAL NOT UTILIZED IN NEW SCHEME PER CODE AND CLEAR OF NEW WORK; CAP ABANDONED FLOOR/CEILING PENETRATIONS BELOW FINISH FLOOR OR ABOVE CEILING.
- K. CLOSE OPENINGS IN EXTERIOR SURFACES TO PROTECT EXISTING WORK FROM WEATHER AND EXTREMES OF TEMPERATURE AND HUMIDITY.
- L. REMOVE, CUT, AND PATCH WORK IN A MANNER TO MINIMIZE DAMAGE AND TO PROVIDE A MEANS OF RESTORING PRODUCTS AND FINISHES TO ORIGINAL CONDITION.
- M. REFINISH VISIBLE EXISTING SURFACES TO REMAIN IN RENOVATED ROOMS AND SPACES, TO SPECIFIED CONDITION FOR EACH MATERIAL, WITH A NEAT TRANSITION TO ADJACENT FINISHES. PATCHES SHOULD NOT BE VISIBLE FROM A DISTANCE OF FIVE FEET OR GREATER
- N. WHERE NEW WORK ABUTS OR ALIGNS WITH EXISTING, PERFORM A SMOOTH AND EVEN TRANSITION. PATCHED WORK TO MATCH EXISTING ADJACENT WORK IN TEXTURE AND APPEARANCE.
- O. WHEN FINISHED SURFACES ARE CUT SO THAT A SMOOTH TRANSITION WITH NEW WORK IS NOT POSSIBLE, TERMINATE EXISTING SURFACE ALONG A STRAIGHT LINE AT A NATURAL LINE OF DIVISION AND MAKE RECOMMENDATION TO DESIGNER/ENGINEER.
- P. DO NOT REMOVE OR ALTER STRUCTURAL COMPONENTS WITHOUT WRITTEN APPROVAL.

DEMOLITION LEGEND

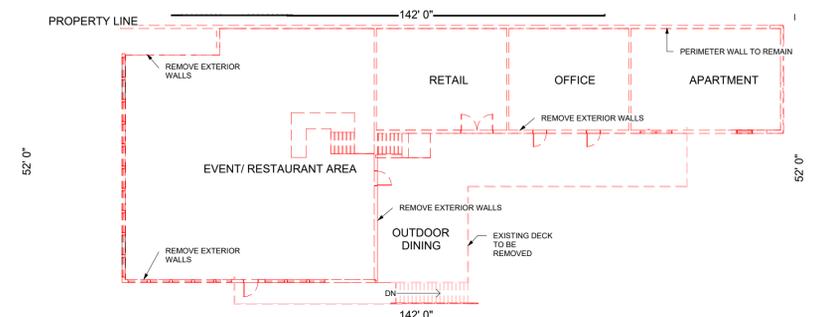
- EXISTING WALLS TO BE REMOVED AND DISPOSED OF, CONTRACTOR TO VERIFY ALL LOAD-BEARING CONDITIONS AND PROVIDE TEMPORARY SHORING IN NECESSARY. CONTACT ARCHITECT IF ANY PROBLEMS BECOME APPARENT DURING DEMOLITION WORK.



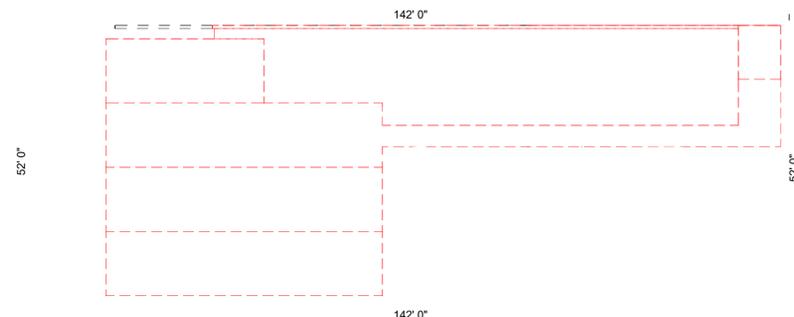
1 EXISTING BASEMENT PLAN DEMO
1/16" = 1'-0"



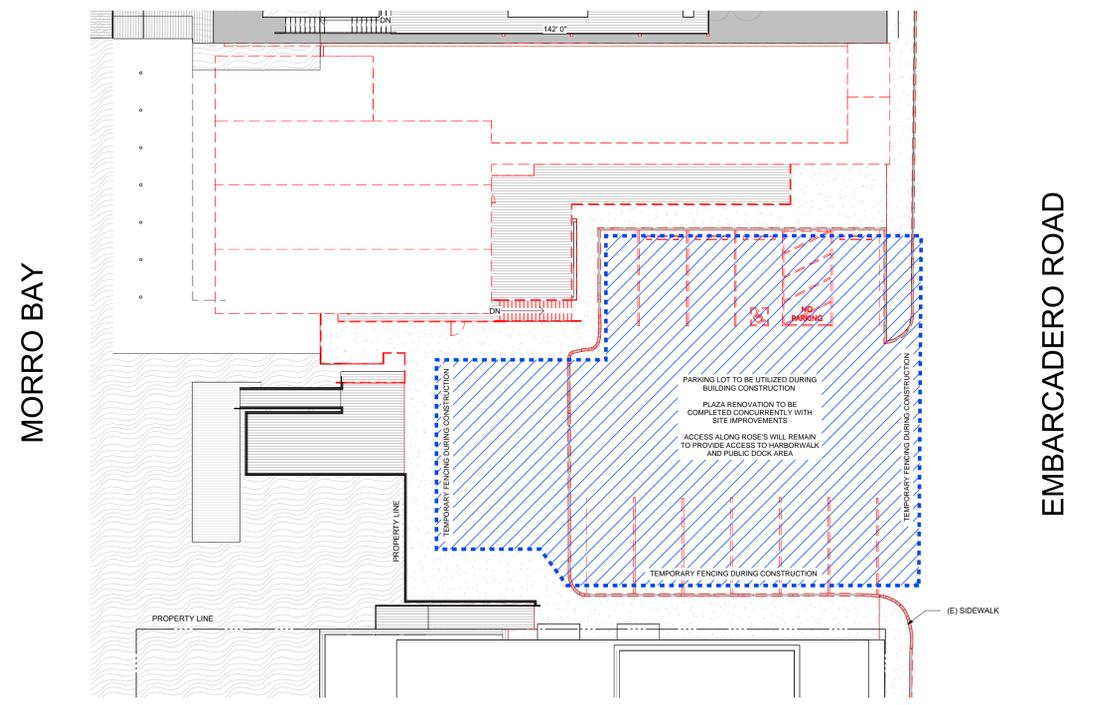
2 EXISTING LEVEL 1 DEMO
1/16" = 1'-0"



3 EXISTING LEVEL 2 DEMO
1/16" = 1'-0"



4 EXISTING ROOF PLAN DEMO
1/16" = 1'-0"



5 EXISTING SITE PLAN DEMO
1/16" = 1'-0"

MORRO BAY STAMP AREA

330 S. HALCYON ROAD
ARROYO GRANDE, CA 93420
HABGROUP@NET
805-544-4334

ARCHITECT OF RECORD

DEMO PLAN
LIBERTINE MORRO BAY
801 EMBARCADERO
LEASE SITES 86 & 86W
MORRO BAY, CA

SHEET TITLE

THESE DRAWINGS ARE INSTRUMENTS OF SERVICE AND ARE THE PROPERTY OF HAB GROUP ARCHITECTS. ALL COMMON COPYRIGHT AND OTHER PROPERTY RIGHTS RESERVED. THIS DOCUMENT SHALL NOT BE REPRODUCED, COPIED, DISCLOSED, OR USED IN CONNECTION WITH ANY WORK OR PROJECT OTHER THAN THE SPECIFIC PROJECT FOR WHICH IT HAS BEEN PREPARED, OR ASSIGNED TO ANY THIRD PARTY WITHOUT FIRST OBTAINING THE EXPRESS WRITTEN CONSENT OF HAB GROUP ARCHITECTS. THIS DOCUMENT SHALL CONSTITUTE CONCLUSIVE EVIDENCE OF ACCEPTANCE OF THESE RESTRICTIONS.

REVISION HISTORY

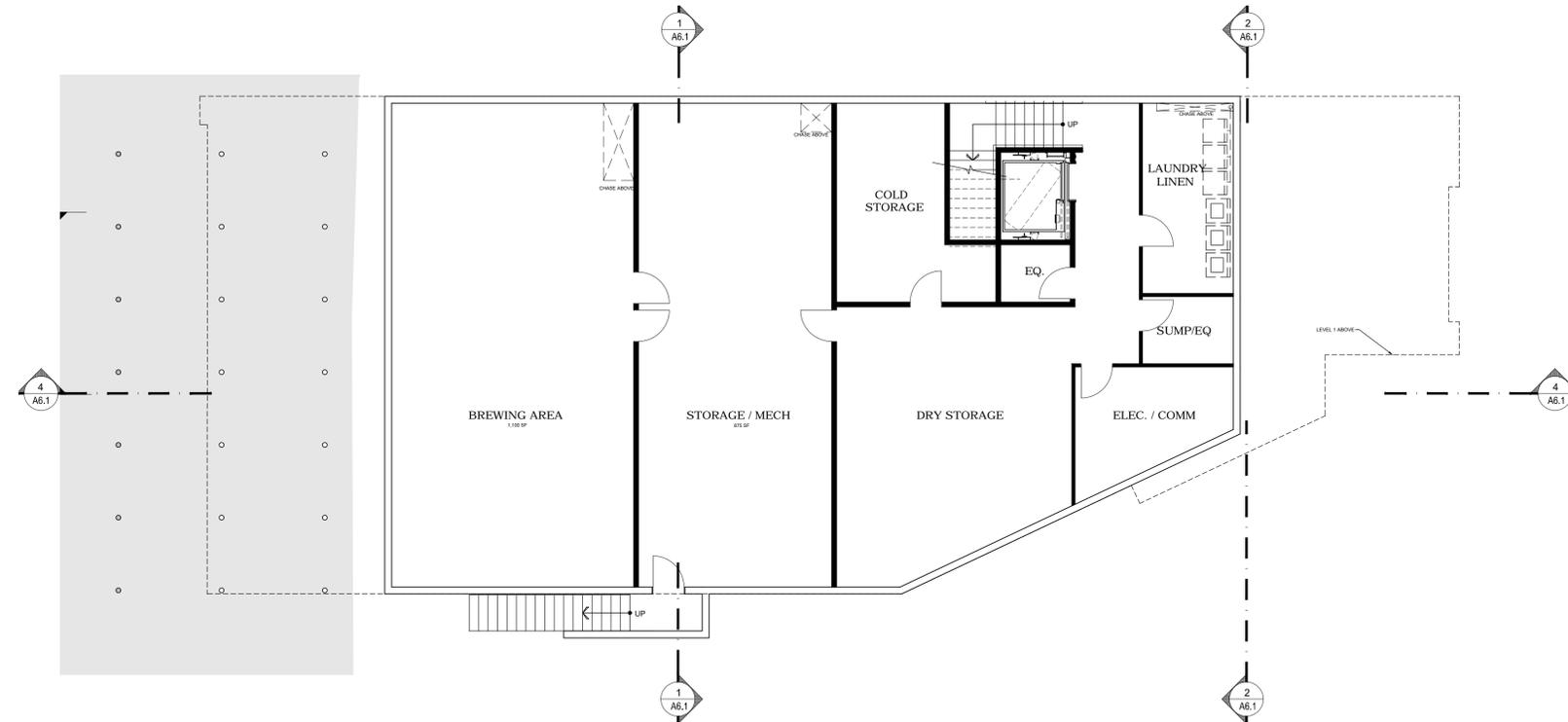
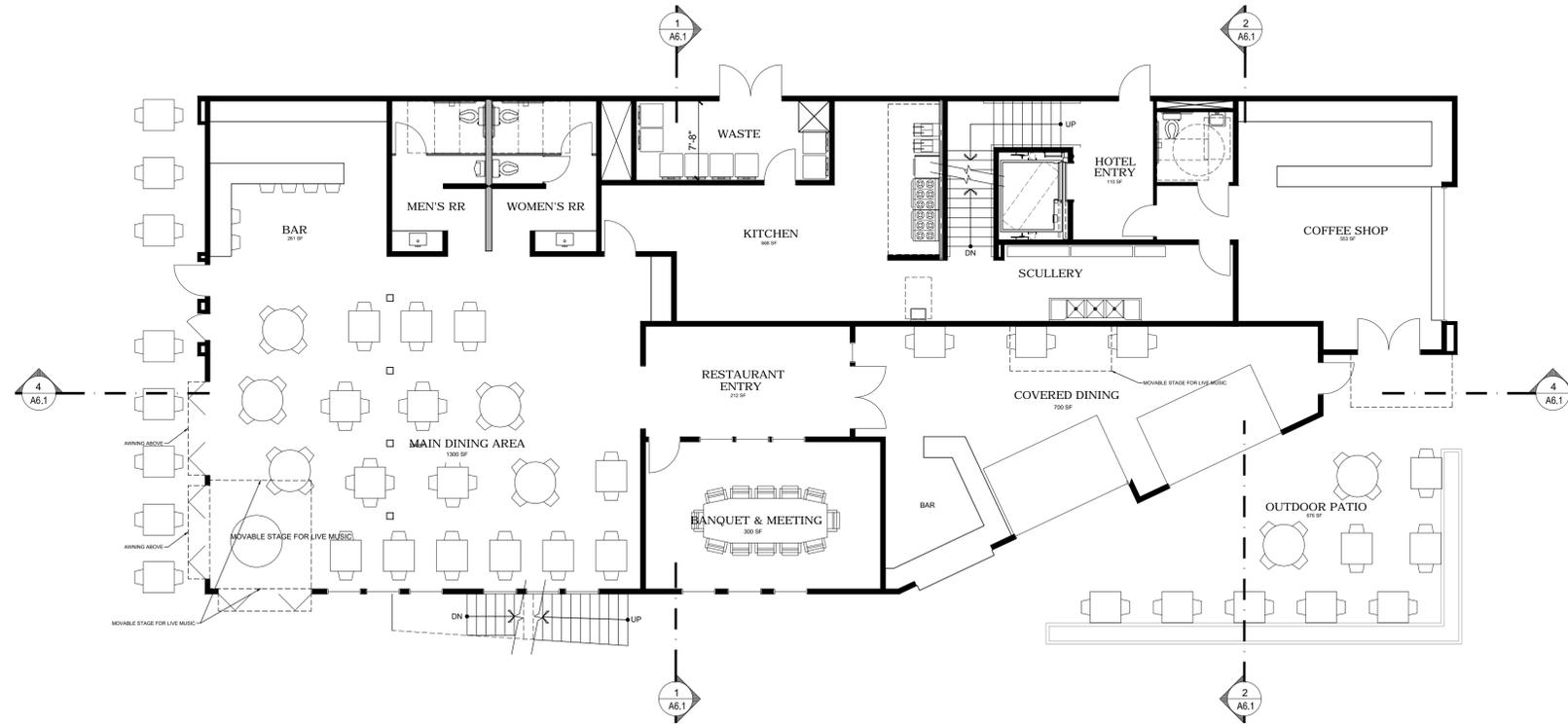
| NO. | DESC. | DATE |
|-----|-------|------|
| | | |
| | | |
| | | |

| | |
|-------------|-------------|
| APP # | -- |
| APN # | 006-322-008 |
| JOB # | 20-185 |
| DATE | 2023-11-01 |
| DRAWN BY: | TW |
| CHECKED BY: | TM |

A2.1
SHEET NUMBER

FLOOR PLAN GENERAL NOTES

- A. THERE SHALL BE NO DIRECT SURFACE FLOW DRAINAGE ACROSS THE PUBLIC SIDEWALK. CONTRACTOR TO VERIFY EXISTING UNDER SIDEWALK DRAINAGE IS WORKING PROPERLY AND REPLACE OR REPAIR AS NECESSARY.
- B. WALL AND CEILING MATERIALS SHALL NOT EXCEED THE FLAME SPREAD CLASSIFICATION IN **CBC TABLE 803.9**.
- C. ALL 'PRIMARY' EXTERIOR DOORS SHALL HAVE CONTINUOUS PERIMETER VINYL WEATHER STRIPPING, ADA COMPLIANT FLOOR PROOF SILLS AND NONABSORBENT FLOOR AND WALL FINISHES WITHIN AT LEAST 2 FEET AROUND AND PERPENDICULAR TO SUCH OPENINGS.
- D. THIS ENTIRE BUILDING AND FACILITY SHALL BE IN COMPLIANCE WITH **2022 CBC CHAPTER 11B** ACCESSIBILITY TO PUBLIC BUILDINGS.
- E. INSTALLATION OF NFPA 13 FIRE PROTECTION SYSTEM IS REQUIRED AND SHALL BE INSTALLED IN ACCORDANCE WITH CURRENT ADOPTED BUILDING AND FIRE CODES.
- F. FOR DOOR ADA SIGNAGE REQUIREMENTS REFER TO GENERAL NOTES ON A0.2 AND DETAILS ON SHEET A0.05



MORRO BAY STAMP AREA



ARCHITECTS
DESIGNERS
CREATIVE SOLUTION HUNTERS

330 S. HALCYON ROAD
ARROYO GRANDE, CA 93420
HABGROUP.NET
805-544-4334



ARCHITECT OF RECORD

FLOOR PLANS
LIBERTINE MORRO BAY
801 EMBARCADERO
LEASE SITES 86 & 86W
MORRO BAY, CA

SHEET
TITLE

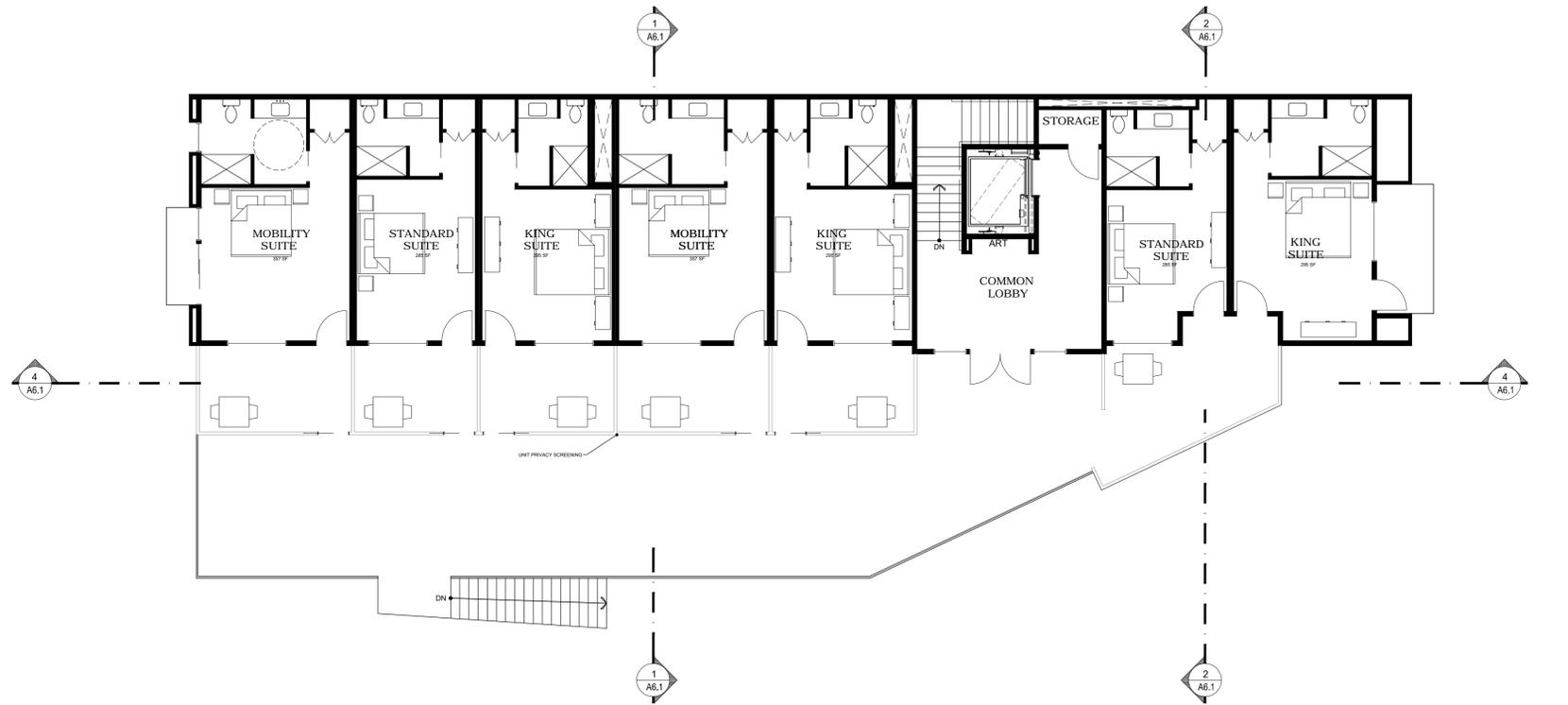
THESE DRAWINGS ARE INSTRUMENTS OF SERVICE AND ARE THE PROPERTY OF OUTREVIEWER OR MILLER ARCHITECT GROUP. ALL COMMON COPYRIGHT AND OTHER PROPERTY RIGHTS RESERVED. THIS DOCUMENT SHALL NOT BE DUPLICATED, COPIED, DISCLOSED, OR USED IN CONNECTION WITH ANY WORK OR PROJECT OTHER THAN THE SPECIFIC PROJECT FOR WHICH IT HAS BEEN PREPARED, OR ASSIGNED TO ANY THIRD PARTY WITHOUT FIRST OBTAINING THE EXPRESS WRITTEN CONSENT OF OJL. VISUAL CONTACT WITH THIS DOCUMENT SHALL CONSTITUTE CONCLUSIVE EVIDENCE OF ACCEPTANCE OF THESE RESTRICTIONS.

REVISION HISTORY

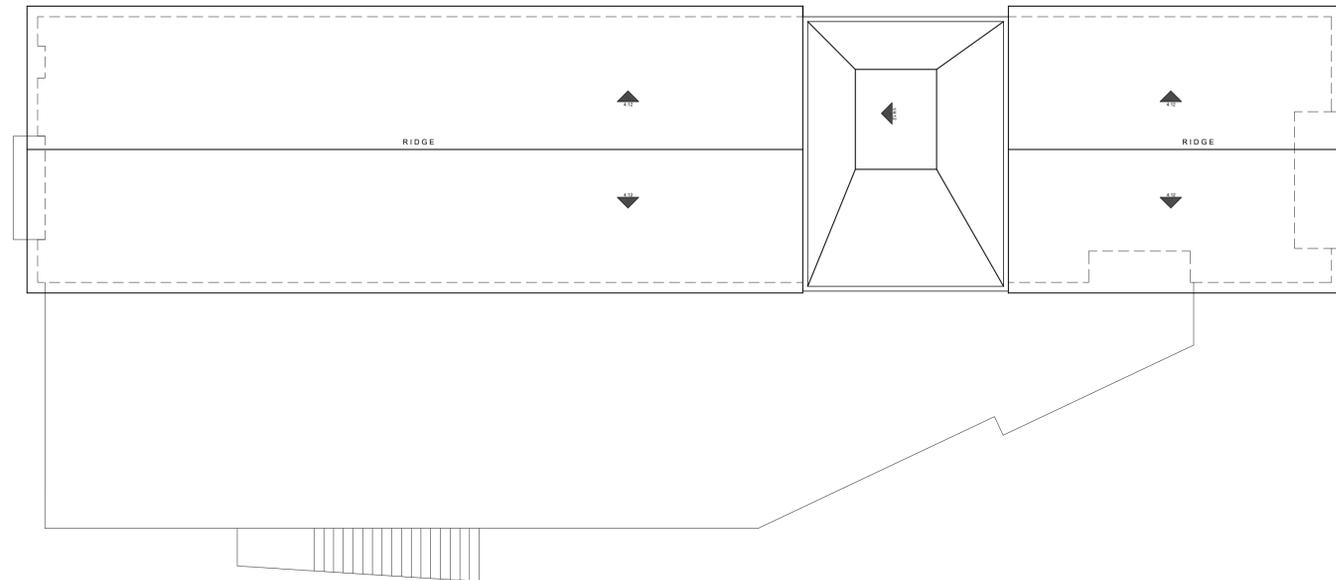
| NO. | DESC. | DATE |
|-----|-------|------|
| | | |
| | | |
| | | |
| | | |
| | | |

| | |
|-------------|-------------|
| APP # | -- |
| APN # | 006-322-008 |
| JOB # | 20-185 |
| DATE | 2023-11-01 |
| DRAWN BY: | TW |
| CHECKED BY: | TM |

A2.2
SHEET NUMBER



1 PROPOSED LEVEL 2
1/8" = 1'-0"



2 PROPOSED ROOF PLAN
1/8" = 1'-0"



ROOF GENERAL NOTES

- A. PROVIDE ADEQUATE ROOF SLOPE FOR DRAINAGE (1/4" PER FOOT, MIN.) OR SUBMIT DEFLECTION AND PONDING CALCULATIONS.
- B. RADIANT BARRIER TO BE INSTALLED IN ACCORDANCE WITH THE T24 ENERGY REPORT.

FLOOR PLAN GENERAL NOTES

- A. THERE SHALL BE NO DIRECT SURFACE FLOW DRAINAGE ACROSS THE PUBLIC SIDEWALK. CONTRACTOR TO VERIFY EXISTING UNDER SIDEWALK DRAINAGE IS WORKING PROPERLY AND REPLACE OR REPAIR AS NECESSARY.
- B. WALL AND CEILING MATERIALS SHALL NOT EXCEED THE FLAME SPREAD CLASSIFICATION IN **CBC TABLE 803.9**.
- C. ALL 'PRIMARY' EXTERIOR DOORS SHALL HAVE CONTINUOUS PERIMETER VINYL WEATHER STRIPPING, ADA COMPLIANT FLOOR PROOF SILLS AND NONABSORBENT FLOOR AND WALL FINISHES WITHIN AT LEAST 2 FEET AROUND AND PERPENDICULAR TO SUCH OPENINGS.
- D. THIS ENTIRE BUILDING AND FACILITY SHALL BE IN COMPLIANCE WITH 2019 **CBC CHAPTER 11B** ACCESSIBILITY TO PUBLIC BUILDINGS.
- E. INSTALLATION OF NFPA 13 FIRE PROTECTION SYSTEM IS REQUIRED AND SHALL BE INSTALLED IN ACCORDANCE WITH CURRENT ADOPTED BUILDING AND FIRE CODES.
- F. FOR DOOR ADA SIGNAGE REQUIREMENTS REFER TO GENERAL NOTES ON A0.2 AND DETAILS ON SHEET A0.3

MORRO BAY STAMP AREA

HAB DESIGN GROUP
ARCHITECTS
DESIGNERS
CREATIVE SOLUTION HUNTERS

330 S. HALCYON ROAD
ARROYO GRANDE, CA 93420
HABGROUP.NET
805-544-4334



ARCHITECT OF RECORD

FLOOR AND ROOF PLAN
LIBERTINE MORRO BAY
801 EMBARCADERO
LEASE SITES 86 & 86W
MORRO BAY, CA

SHEET TITLE

THESE DRAWINGS ARE INSTRUMENTS OF SERVICE AND ARE THE PROPERTY OF HUBBARD & NORTON ARCHITECT GROUP. ALL COMMON COPYRIGHT AND OTHER PROPERTY RIGHTS RESERVED. THIS DOCUMENT SHALL NOT BE DUPLICATED, COPIED, DISCLOSED, OR USED IN CONNECTION WITH ANY WORK OR PROJECT OTHER THAN THE SPECIFIC PROJECT FOR WHICH IT HAS BEEN PREPARED, OR ASSIGNED TO ANY THIRD PARTY WITHOUT FIRST OBTAINING THE EXPRESS WRITTEN CONSENT OF H.N.A. VISUAL CONTACT WITH THIS DOCUMENT SHALL CONSTITUTE CONCLUSIVE EVIDENCE OF ACCEPTANCE OF THESE RESTRICTIONS.

| REVISION HISTORY | | |
|------------------|-------|------|
| NO. | DESC. | DATE |
| | | |
| | | |
| | | |
| | | |

| | |
|-------------|-------------|
| APP # | -- |
| APN # | 006-322-008 |
| JOB # | 20-185 |
| DATE | 2023-11-01 |
| DRAWN BY: | TW |
| CHECKED BY: | TM |

A2.3
SHEET NUMBER

MATERIAL TYPES

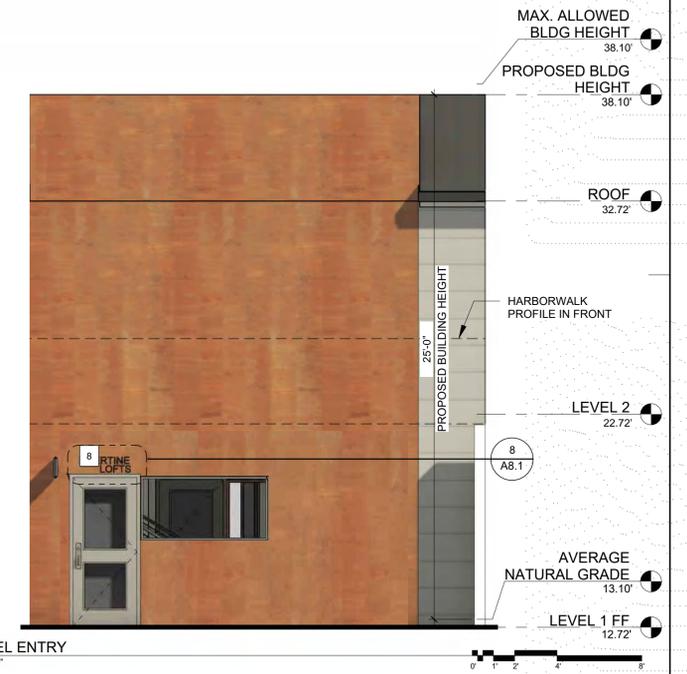
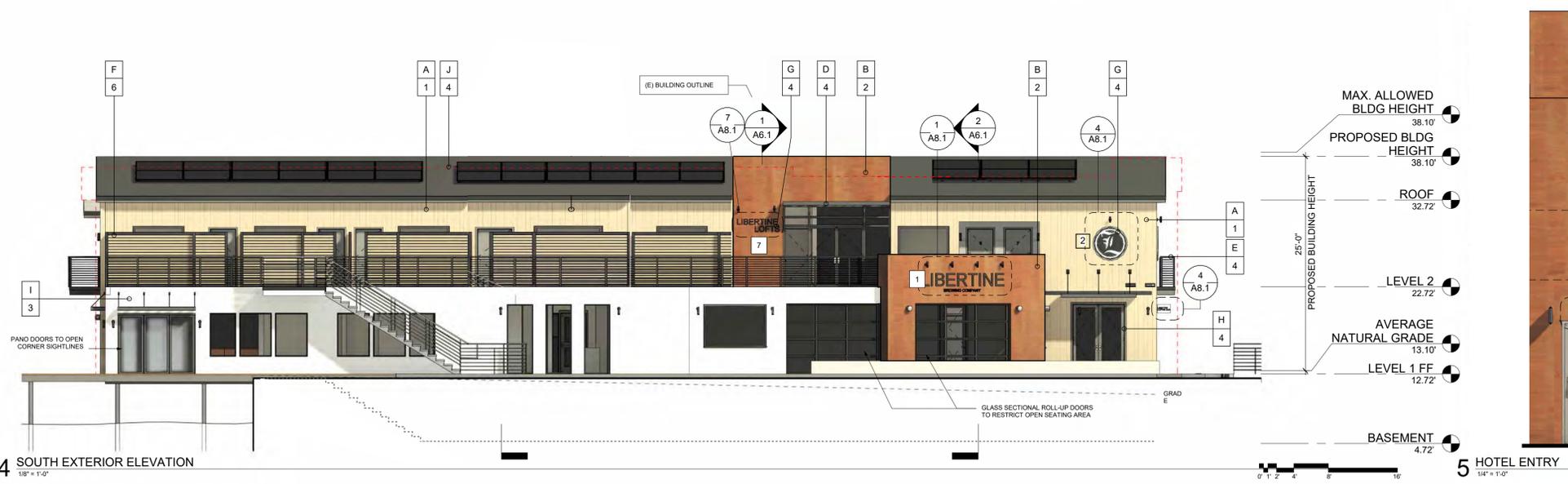
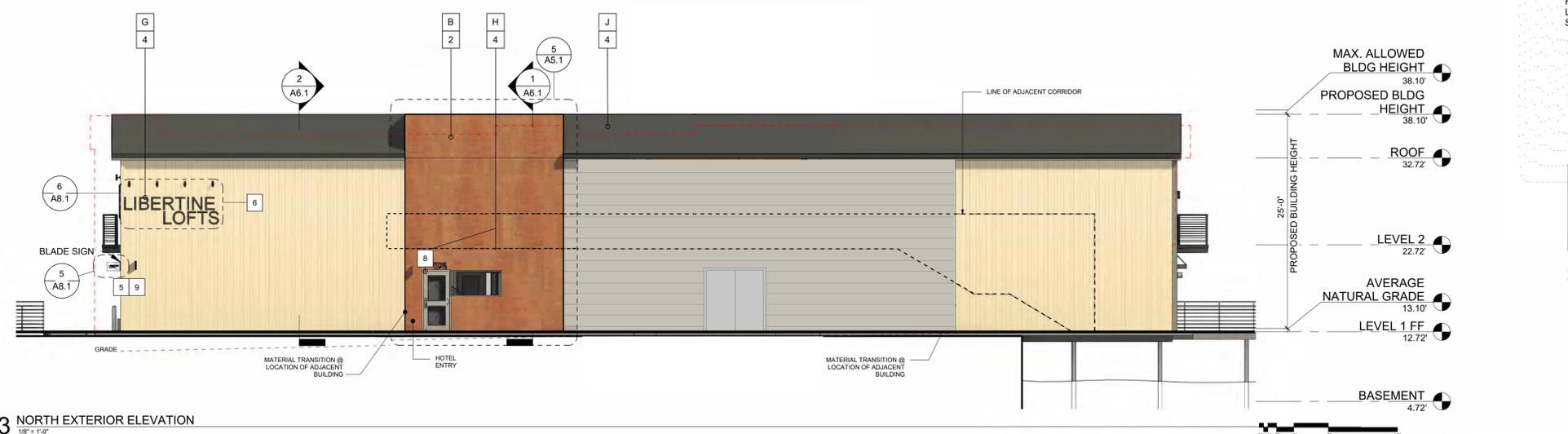
| CODE | DESCRIPTION |
|------|---|
| A | COMPOSITE WOOD-LOOK RAINSCREEN SIDING, VERTICAL ORIENTATION |
| B | STEEL PANELS, TILE VERTICALLY |
| C | CORRUGATED METAL PANEL SIDING |
| D | STEEL AWNING FRAMING |
| E | STEEL HANDRAIL ASSEMBLY |
| F | WOOD PRIVACY SCREENING |
| G | FABRICATED ALUMINUM |
| H | ALUMINUM DOOR/WINDOW FRAMING |
| I | CEMENT FIBER SMOOTH SHIP LAP SIDING |
| J | STANDING SEAM ALUMINUM ROOFING |

MATERIAL COLORS

| CODE | DESCRIPTION |
|------|--|
| 1 | NATURAL WOOD-LOOK FINISH |
| 2 | CORTEN STEEL, NATURAL FINISH |
| 3 | PAINT, SW 7070 'SITE WHITE' OR SIM. |
| 4 | BLACK, FACTORY OR PAINT FINISH |
| 5 | METAL SALES 'OLD TOWN GREY' OR SIMILAR |
| 6 | NATURAL WOOD ACCENT, STAINED TO COMPLIMENT |

MATERIAL BOARD

- FIBERON COMPOSITE WOOD-LOOK RAIN SCREEN SIDING OR SIMILAR
- CORTEN RUSTWALL CORTEN PANELS OR SIMILAR
- FIBERON CEMENT FIBER SMOOTH SHIPLAP SIDING OR SIMILAR
- METAL SALES METAL PANEL SIDING OR SIMILAR
- METAL SALES STANDING SEAM ROOF OR SIMILAR
- STAINLESS STEEL CABLE RAILING W/ 2x2 STEEL POSTS AND 1x4 STEEL CAP
- MILGARD DARK BRONZE WINDOW FRAMES OR SIMILAR



MORRO BAY STAMP AREA



ARCHITECTS
DESIGNERS
CREATIVE SOLUTION HUNTERS

330 S. HALCYON ROAD
ARROYO GRANDE, CA 93420
HABGROUP/PNET
805-544-4334



ARCHITECT OF RECORD

BUILDING ELEVATIONS
LIBERTINE MORRO BAY
801 EMBARCADERO
LEASE SITES 86 & 86W
MORRO BAY, CA

SHEET TITLE

THESE DRAWINGS ARE INSTRUMENTS OF SERVICE AND ARE THE PROPERTY OF HAB GROUP. ALL RIGHTS ARE RESERVED. THIS DOCUMENT SHALL NOT BE REPRODUCED, COPIED, DISCLOSED, OR USED IN CONNECTION WITH ANY WORK OR PROJECT OTHER THAN THE SPECIFIC PROJECT FOR WHICH IT HAS BEEN PREPARED, OR ASSIGNED TO ANY THIRD PARTY WITHOUT FIRST OBTAINING THE EXPRESS WRITTEN CONSENT OF H.A.B. VISUAL CONTACT WITH THIS DOCUMENT SHALL CONSTITUTE CONCLUSIVE EVIDENCE OF ACCEPTANCE OF THESE RESTRICTIONS.

REVISION HISTORY

| NO. | DESC. | DATE |
|-----|-------|------|
| | | |
| | | |
| | | |

| | |
|-------------|-------------|
| APP # | -- |
| APN # | 006-322-008 |
| JOB # | 20-185 |
| DATE | 2023-11-01 |
| DRAWN BY: | TW |
| CHECKED BY: | TM |

A5.1
SHEET NUMBER

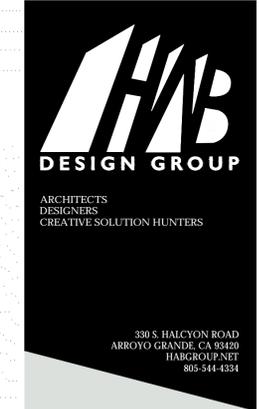


1 EAST EXTERIOR ELEVATION W. CONTEXT
1/4" = 1'-0"



2 WEST EXTERIOR ELEVATION
1/4" = 1'-0"

MORRO BAY STAMP AREA



ELEVATIONS WITH
CONTEXT
LIBERTINE MORRO BAY
801 EMBARCADERO
LEASE SITES 86 & 86W
MORRO BAY, CA

SHEET
TITLE

THESE DRAWINGS ARE INSTRUMENTS OF SERVICE AND ARE THE PROPERTY OF HAB GROUP. ALL RIGHTS ARE RESERVED. THIS DOCUMENT SHALL NOT BE DUPLICATED, COPIED, DISCLOSED, OR USED IN CONNECTION WITH ANY WORK OR PROJECT OTHER THAN THE SPECIFIC PROJECT FOR WHICH IT HAS BEEN PREPARED. OR ASSIGNED TO ANY THIRD PARTY WITHOUT FIRST OBTAINING THE EXPRESS WRITTEN CONSENT OF H.A.B. GROUP. CONTACT WITH THIS DOCUMENT SHALL CONSTITUTE CONCLUSIVE EVIDENCE OF ACCEPTANCE OF THESE RESTRICTIONS.

REVISION HISTORY

| NO. | DESC. | DATE |
|-----|-------|------|
| | | |
| | | |
| | | |

APP #

APN # 006-322-008

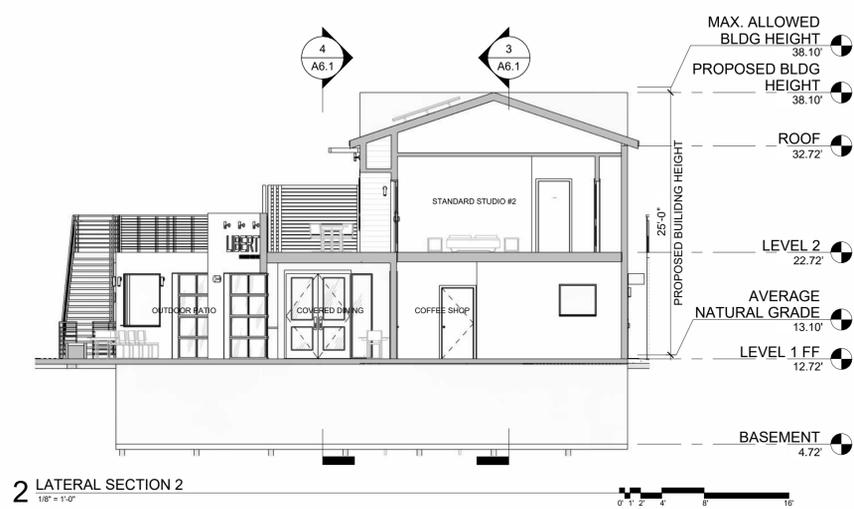
JOB # 20-185

DATE 2023-11-01

DRAWN BY: TW CHECKED BY: TM

A5.2
SHEET NUMBER

1/20/2023 5:35:33 PM



SECTION GENERAL NOTES

- A. CONCRETE SLAB AND FOOTINGS ARE SHOWN DIAGMAMTIC AND SHALL NOT BE USED FOR CONSTRUCTION. CONTRACTOR SHALL REFER TO FOUNDATION PLAN AND FOUNDATION DETAILS FOR EXACT SIZE, LOCATION AND OTHER REQUIREMENTS.
- B. CONTRACTOR SHALL PROVIDE MOISTURE BARRIER (WATERPROOFING, BUILDING PAPER, SHEET METAL AND APPROVED MATERIALS WHERE STUDS ARE ADJACENT TO RETAINING WALLS OR EXPOSED CONCRETE.
- C. PROVIDE 24 GA. GS FLASHING AT ALL WALL AND ROOF PENETRATIONS, VALLEYS AND BUILT-UP CRICKETS IN ACCORDANCE WITH 2022 CBC 1508 & 1509
- D. AIR INFILTRATION AND INSULATION SHALL BE COORDINATED WITH AND MEET THE CA ENERGY CODE. SHOW AND SPECIFY THE R-VALUE OF ALL REQUIRED INSULATION IN WALLS, CEILINGS AND FLOORS.

MORRO BAY STAMP AREA

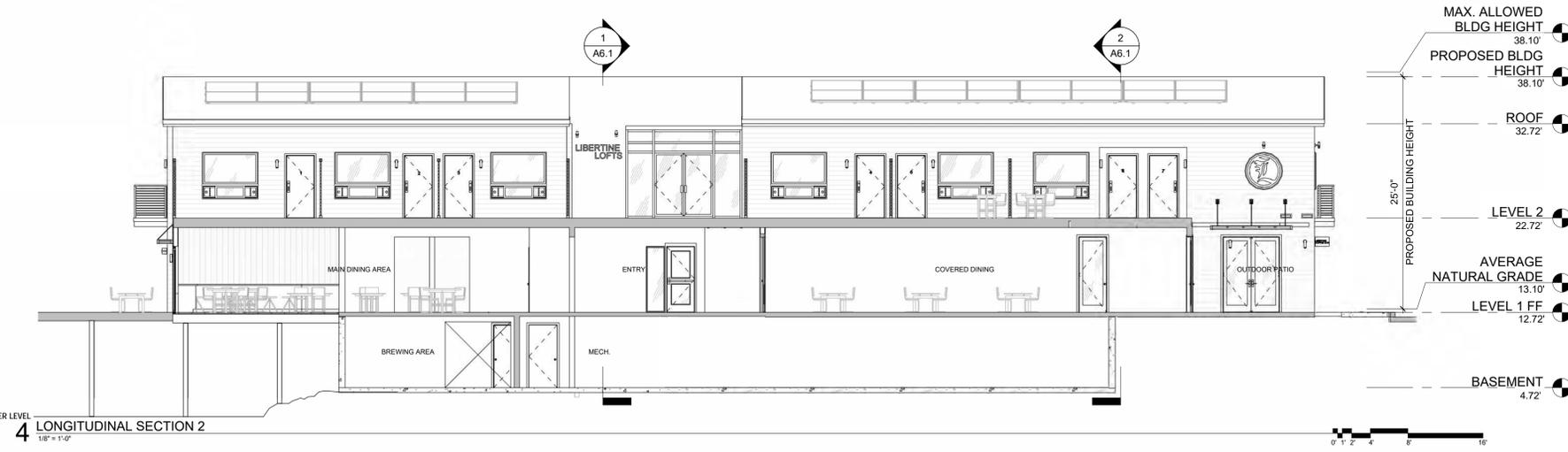


ARCHITECTS
DESIGNERS
CREATIVE SOLUTION HUNTERS

330 S. HALCYON ROAD
ARROYO GRANDE, CA 93420
HABGROUP/PNET
805-544-4334



ARCHITECT OF RECORD



SECTIONS
LIBERTINE MORRO BAY
801 EMBARCADERO
LEASE SITES 86 & 86W
MORRO BAY, CA

SHEET TITLE

THESE DRAWINGS ARE INSTRUMENTS OF SERVICE AND ARE THE PROPERTY OF OUTRETER/DEWELL ARCHITECT GROUP. ALL COMMON COPYRIGHT AND OTHER PROPERTY RIGHTS RESERVED. THIS DOCUMENT SHALL NOT BE DUPLICATED, COPIED, DISCLOSED, OR USED IN CONNECTION WITH ANY WORK OR PROJECT OTHER THAN THE SPECIFIC PROJECT FOR WHICH IT HAS BEEN PREPARED, OR ASSIGNED TO ANY THIRD PARTY WITHOUT FIRST OBTAINING THE EXPRESS WRITTEN CONSENT OF D.E.W. VISUAL CONTACT WITH THIS DOCUMENT SHALL CONSTITUTE CONCLUSIVE EVIDENCE OF ACCEPTANCE OF THESE RESTRICTIONS.

REVISION HISTORY

| NO. | DESC. | DATE |
|-----|-------|------|
| | | |
| | | |
| | | |

| | |
|-------------|-------------|
| APP # | -- |
| APN # | 006-322-008 |
| JOB # | 20-185 |
| DATE | 2023-11-01 |
| DRAWN BY: | TW |
| CHECKED BY: | TM |

A6.1
SHEET NUMBER

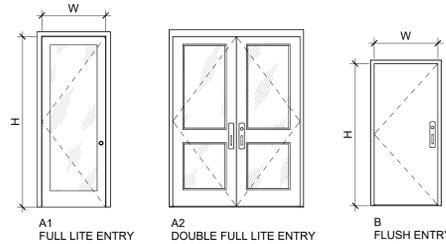
DOOR SCHEDULE

| NO | TYPE | DOOR | | FRAME | | SIZE | | | DETAILS | | | | REMARKS |
|-------------------|------|------|------|-------|-----|-----------|-----------|-----------|---------|------|--------|--------|---------|
| | | FIN | MATL | TYPE | FIN | W | H | THK | HEAD | JAMB | THSHLD | RATING | |
| BASEMENT | | | | | | | | | | | | | |
| 001 | D | FF | ST | AL | FF | 3'-0" | 6'-8" | 0'-1 3/8" | | | | | |
| 002 | D | FF | ST | AL | FF | 3'-0" | 6'-8" | 0'-1 3/8" | | | | | |
| 004 | D | FF | ST | AL | FF | 3'-0" | 6'-8" | 0'-1 3/8" | | | | | |
| Y | | | | | | 0'-0" | 7'-0" | | | | | | |
| LEVEL 1 FF | | | | | | | | | | | | | |
| 102A | A1 | DB | AL | AL | DB | 3'-0" | 8'-0" | 0'-1 3/8" | | | | | G2 |
| 102B | | | | | AL | 12'-0" | 8'-0" | 0'-1 1/2" | | | | | |
| 102C | | | | | AL | 12'-0" | 8'-0" | 0'-1 1/2" | | | | | |
| 103 | A2 | DB | AL | AL | DB | 6'-0" | 8'-0" | 0'-1 3/4" | | | | | G2 |
| 104 | A1 | DB | AL | AL | DB | 3'-0" | 8'-0" | 0'-1 3/8" | | | | | G2 |
| 105A | I | FF | AL | AL | DB | 9'-0" | 7'-0" | 0'-3 1/8" | | | | | G2 |
| 105B | I | FF | AL | AL | DB | 9'-0" | 7'-0" | 0'-3 1/8" | | | | | G2 |
| 105C | I | FF | AL | AL | DB | 9'-0" | 7'-0" | 0'-3 1/8" | | | | | G2 |
| 105D | D | PT | WD | WD | PT | 3'-0" | 8'-8" | 0'-1 3/8" | | | | | |
| 109A | D | PT | WD | WD | PT | 3'-0" | 8'-8" | 0'-1 3/8" | | | | | |
| 109B | J | PTX | AL | AL | DB | 7'-0" | 7'-0" | 0'-0 1/2" | | | | | |
| 110A | D | PT | WD | WD | PT | 3'-0" | 6'-8" | 0'-1 3/8" | | | | | |
| 110B | | | | | | 3'-0" | 6'-8" | 0'-1 3/4" | | | | | |
| 111A | A2 | FF | AL | AL | FF | 6'-0" | 8'-0" | 0'-1 3/8" | | | | | G2 |
| 111B | A1 | DB | AL | AL | DB | 3'-0" | 8'-0" | 0'-1 3/8" | | | | | G2 |
| 111C | D | PT | WD | WD | PT | 3'-0" | 6'-8" | 0'-1 3/8" | | | | | |
| 112 | A1 | DB | AL | AL | DB | 3'-0" | 7'-0" | 0'-1 3/4" | | | | | G2 |
| 112A | A1 | DB | AL | AL | DB | 3'-0" | 7'-0" | 0'-1 3/4" | | | | | G2 |
| 112C | B | PT | ST | AL | PT | 3'-0" | 6'-8" | 0'-1 3/4" | | | | | |
| LEVEL 2 | | | | | | | | | | | | | |
| 201 | A2 | DB | AL | AL | DB | 6'-2 1/4" | 6'-8 1/4" | 0'-1 3/4" | | | | | G2 |
| 202 | D | PT | WD | WD | PT | 3'-0" | 6'-8" | 0'-1 3/8" | | | | | |
| 203A | B | PT | ST | AL | DB | 3'-0" | 6'-8" | 0'-1 3/4" | | | | | |
| 203B | H | PT | WD | WD | PT | 3'-0" | 6'-8" | 0'-1 3/8" | | | | | |
| 203C | G | PT | WD | WD | PT | 3'-0" | 6'-8" | 0'-1 1/2" | | | | | |
| 203D | A1 | DB | AL | AL | DB | 3'-0" | 7'-0" | 0'-1 3/8" | | | | | G2 |
| 204A | B | PT | ST | AL | DB | 3'-0" | 6'-8" | 0'-1 3/4" | | | | | |
| 204B | H | PT | WD | WD | PT | 3'-0" | 6'-8" | 0'-1 3/8" | | | | | |
| 204C | G | PT | WD | WD | PT | 2'-6" | 6'-8" | 0'-1 1/2" | | | | | |
| 205A | B | PT | ST | AL | DB | 3'-0" | 6'-8" | 0'-1 3/4" | | | | | |
| 205B | H | PT | WD | WD | PT | 3'-0" | 6'-8" | 0'-1 3/8" | | | | | |
| 205C | G | PT | WD | WD | PT | 3'-0" | 6'-8" | 0'-1 1/2" | | | | | |
| 206A | B | PT | ST | AL | DB | 3'-0" | 6'-8" | 0'-1 3/4" | | | | | |
| 206B | H | PT | WD | WD | PT | 3'-0" | 6'-8" | 0'-1 3/8" | | | | | |
| 206C | G | PT | WD | WD | PT | 3'-0" | 6'-8" | 0'-1 1/2" | | | | | |
| 207A | B | PT | ST | AL | DB | 3'-0" | 6'-8" | 0'-1 3/4" | | | | | |
| 207B | H | PT | WD | WD | PT | 3'-0" | 6'-8" | 0'-1 3/8" | | | | | |
| 207C | G | PT | WD | WD | PT | 3'-0" | 6'-8" | 0'-1 1/2" | | | | | |
| 208A | B | PT | ST | AL | DB | 3'-0" | 6'-8" | 0'-1 3/4" | | | | | |
| 208B | H | PT | WD | WD | PT | 3'-0" | 6'-8" | 0'-1 3/8" | | | | | |
| 208C | G | PT | WD | WD | PT | 2'-6" | 6'-8" | 0'-1 1/2" | | | | | |
| 209A | B | PT | ST | AL | DB | 3'-0" | 6'-8" | 0'-1 3/4" | | | | | |
| 209B | H | PT | WD | WD | PT | 3'-0" | 6'-8" | 0'-1 3/8" | | | | | |
| 209C | G | PT | WD | WD | PT | 3'-0" | 6'-8" | 0'-1 1/2" | | | | | |
| 209D | C | DB | AL | AL | DB | 6'-0" | 7'-0" | | | | | | G2 |

DOOR NOTES

- A. LOCKING DEVICES AT EXIT DOORS SHALL HAVE A PLAINLY MARKED AND READILY DISTINGUISHABLE MESSAGE PANEL INDICATING WHETHER THE LOCK IS IN THE "OPEN" OR "LOCKED" POSITION.
- B. MANUALLY OPERATED EDGE OR SURFACE-MOUNTED FLUSH BOLTS AND SURFACE BOLTS OR ANY OTHER TYPE OF DEVICE THAT MAY BE USED TO CLOSE OR RESTRAIN THE DOOR OTHER THAN BY OPERATION OF THE LOCKING DEVICE SHALL NOT BE USED. WHERE EXIT DOORS ARE USED IN AREAS AND APPROVED AUTOMATIC FLUSH BOLTS ARE USED, THE DOOR LEAF HAVING THE AUTOMATIC FLUSH BOLTS SHALL HAVE NO DOORSTOP OR SURFACE-MOUNTED UNLATCHING OF ANY LEAF SHALL NOT REQUIRE MORE THAN ONE OPERATION.
- C. ALL EXTERIOR DOORS SHALL BE WEATHERSTRIPPED.
- D. HAND ACTIVATED DOOR OPENING HARDWARE SHALL BE CENTERED BETWEEN 34" AND 44" ABOVE THE FLOOR. LATCHING AND LOCKING DEVICES THAT ARE HAND ACTIVATED AND WHICH ARE IN A PATH OF TRAVEL SHALL BE OPERABLE WITH A SINGLE EFFORT BY LEVER TYPE HARDWARE, PANIC BARS, PUSH-PULL ACTIVATING BARS, OR OTHER HARDWARE DESIGNED TO PROVIDE PASSAGE WITHOUT REQUIRING THE ABILITY TO GRASP THE OPERATING HARDWARE. LOCKED EXIT DOORS SHALL OPERATE AS ABOVE IN EGRESS DIRECTION.
- E. INTERIOR AND EXTERIOR THRESHOLDS SHALL BE NO HIGHER THAN 1/2 INCH ABOVE THE ADJACENT FLOOR LEVELS. EACH EXPOSED EDGE OF THRESHOLDS IS REQUIRED TO BE BEVELED OR SLOPED AT AN ANGLE NOT TO EXCEED 45 DEGREES SO THAT NO VERTICAL CHANGE OF ELEVATION EXCEEDS 1/4 INCH.
- F. THERE SHALL BE A FLOOR OR LANDING ON EACH SIDE OF A DOOR THAT SHALL NOT BE MORE THAN 1/2 INCH LOWER THAN THE THRESHOLD OF THE DOORWAY. ALL LANDINGS SHALL BE LEVEL EXCEPT FOR EXTERIOR LANDINGS WHICH MAY HAVE A SLOPE NOT TO EXCEED 1/4 INCH PER FOOT.
- G. MAXIMUM EFFORT TO OPERATE DOORS SHALL NOT EXCEED 5 LBS. FOR EXTERIOR DOORS AND 5 LBS. FOR INTERIOR DOORS, SUCH PULL OR PUSH EFFORT BEING APPLIED AT RIGHT ANGLES TO HINGED DOORS AND AT THE CENTER PLANE OF SLIDING OR FOLDING DOORS. COMPENSATING DEVICES OR AUTOMATIC DOOR OPERATORS MAY BE UTILIZED TO MEET THE ABOVE STANDARDS. WHEN FIRE DOORS ARE REQUIRED, THE MAXIMUM EFFORT TO OPERATE THE DOOR MAY BE INCREASED TO THE MAXIMUM ALLOWABLE BY THE APPROPRIATE ADMINISTRATIVE AUTHORITY, NOT TO EXCEED 15 LBS.
- H. THE BOTTOM 10 INCHES OF ALL DOORS EXCEPT AUTOMATIC AND SLIDING DOORS SHALL HAVE A SMOOTH UNINTERRUPTED SURFACE TO ALLOW THE DOOR TO BE OPENED BY A WHEELCHAIR FOOTREST WITHOUT CREATING A TRAP OR HAZARDOUS CONDITION. WHERE NARROW FRAME DOORS ARE USED, A 10 INCH HIGH SMOOTH PANEL SHALL BE INSTALLED ON THE PUSH SIDE OF THE DOOR, WHICH WILL ALLOW THE DOOR TO BE OPENED BY A WHEELCHAIR FOOTREST WITHOUT CREATING A TRAP OR HAZARDOUS CONDITION.
- I. BARS, GRILLES, GRATES, OR SIMILAR DEVICES PLACED OVER EXIT DOORS, SHALL BE OPERABLE FROM THE INSIDE WITHOUT THE USE OF A KEY, TOOL, OR ANY SPECIAL KNOWLEDGE OR EFFORT. SUCH BARS, GRILLES, GRATES, OR SIMILAR DEVICES SHALL BE EQUIPPED WITH AN APPROVED RELEASE DEVICE FOR USE BY THE FIRE DEPARTMENT ONLY ON THE EXTERIOR SIDE FOR THE PURPOSE OF FIRE DEPARTMENT EMERGENCY ACCESS, WHEN REQUIRED BY THE AUTHORITY HAVING JURISDICTION.
- J. ALL GLAZING IN DOORS SHALL BE TEMPERED GLASS, EXCEPT WHERE FIRE-RATED DOORS ARE SCHEDULED, IN WHICH CASE WIRE-GLASS SHALL BE USED.
- K. SIGN ADJACENT TO MAIN EXIT DOORS SHALL STATE: "DOORS TO REMAIN UNLOCKED WHEN BUILDING IS OCCUPIED" WITH 1 INCH HIGH CONTRASTING LETTERS.
- L. DOOR DETAILS REFERENCED MAY NOT NECESSARILY SHOW HARDWARE, SMOKE SEALS ETC. REFER TO RATING AND HARDWARE GROUP FOR WEATHERSTRIPPING, DOOR BOTTOMS OR SMOKE SEAL REQUIREMENTS.
- M. ALL DOOR MANUEVERING CLEARANCES AT MANUAL SWING DOORS MUST COMPLY WITH DETAIL 24A0.5

DOOR LEGEND



ROOM FINISH SCHEDULE

| NO | ROOM NAME | BASE | | | WALLS | | | | CEILING | | | WAINSCOT | | | REMARKS |
|-------------------|--------------------|------|------|-----|-------|------|-------|------|---------|-----|------|----------|------|-----|-----------|
| | | FLR | MATL | FIN | NORTH | EAST | SOUTH | WEST | HGT | FIN | MATL | WALL | MATL | FIN | |
| Not Placed | | | | | | | | | | | | | | | |
| 210 | FIRST FLOOR | | | | | | | | | | | | | | 8'-0" |
| BASEMENT | | | | | | | | | | | | | | | |
| 001 | COLD STORAGE | | | | | | | | | | | | | | 7'-4 3/4" |
| 002 | STORAGE | | | | | | | | | | | | | | 8'-0" |
| 003 | BREWING AREA | | | | | | | | | | | | | | 8'-0" |
| 004 | MECH. | | | | | | | | | | | | | | 8'-0" |
| LEVEL 1 FF | | | | | | | | | | | | | | | |
| 101 | OUTDOOR PATIO | | | | | | | | | | | | | | 10'-0" |
| 102 | COVERED DINING | | | | | | | | | | | | | | 9'-0" |
| 103 | ENTRY | | | | | | | | | | | | | | 9'-0" |
| 104 | BANQUET / MEETING | | | | | | | | | | | | | | 9'-0" |
| 105 | MAIN DINING AREA | | | | | | | | | | | | | | 9'-0" |
| 107 | BAR | | | | | | | | | | | | | | 9'-0" |
| 108 | MENS | | | | | | | | | | | | | | 9'-0" |
| 109 | WOMENS | | | | | | | | | | | | | | 9'-0" |
| 110 | WASTE | | | | | | | | | | | | | | 9'-0" |
| 111 | KITCHEN | | | | | | | | | | | | | | 9'-0" |
| 112 | COFFEE SHOP | | | | | | | | | | | | | | 9'-0" |
| 112 | HOTEL ENTRY | | | | | | | | | | | | | | 8'-0" |
| LEVEL 2 | | | | | | | | | | | | | | | |
| 201 | HALL | | | | | | | | | | | | | | 10'-0" |
| 202 | HOTEL SERVICE | | | | | | | | | | | | | | 10'-0" |
| 203 | KING STUDIO #4 | | | | | | | | | | | | | | 10'-0" |
| 204 | STANDARD STUDIO #2 | | | | | | | | | | | | | | 10'-0" |
| 205 | KING STUDIO #3 | | | | | | | | | | | | | | 10'-0" |
| 206 | MOBILITY SUITE #1 | | | | | | | | | | | | | | 10'-0" |
| 207 | KING STUDIO #2 | | | | | | | | | | | | | | 10'-0" |
| 208 | STANDARD STUDIO #1 | | | | | | | | | | | | | | 10'-0" |
| 209 | MOBILITY SUITE | | | | | | | | | | | | | | 10'-0" |

MATERIAL CODES

- CODE FLOOR MATERIAL**
 - CT MOSAIC TILE, SHALL BE 2" x 2" FACE SIZE BY 1/4" THICK, UNGLAZED PORCELAIN, SQUARE EDGE WITH A STATIC COEFFICIENT OF FRICTION OF 0.6 OR LESS
 - XC EXPOSED CONCRETE
 - LAM LAMINATE, COORDINATE STYLE WITH OWNER
 - WD WOOD FLOORING, COORDINATE TYPE AND STYLE WITH OWNER. WOOD FLOORING SHALL BE INSTALLED IN ACCORDANCE WITH THE MANUFACTURER'S INSTRUCTIONS AND THE METHODS OUTLINED IN THE NWFA'S INSTALLATION GUIDELINES MANUAL.
- CODE BASE MATERIAL**
 - CT GLAZED CERAMIC TILE BASE OVER HARDIE-BACKER, COORDINATE STYLE WITH OWNER
 - WD STAIN GRADE WOOD, VERIFY SHAPE WITH OWNER
- CODE WALL MATERIAL**
 - GB58 5/8" GYPSUM WALL BOARD
 - GB58M 5/8" GYPSUM WALLBOARD, MOISTURE RESISTANT W/ FIBERGLASS TAPE AND SETTING TYPE COMPOUND
 - GB58X 5/8" TYPE 'X' GYPSUM WALL BOARD
 - CT GLAZED CERAMIC TILE OVER HARDIE-BACKER, COORDINATE STYLE WITH OWNER
- CODE WALL FINISH**
 - NOTE: CONTRACTOR TO COORDINATE PAINT COLOR WITH OWNER UNLESS NOTED BELOW
 - PT4 PAINT, LEVEL 4 GYP, BD, FINISH
- CODE CEILING MATERIAL**
 - GB58 5/8" GYPSUM WALL BOARD
 - UF UNFINISHED, EXPOSED STRUCTURE
 - WD STAIN GRADE TONGUE & GROOVE WOOD
- CODE CEILING FINISH**
 - P PAINT, COORDINATE COLOR WITH OWNER
 - STN STAIN, COORDINATE COLOR WITH OWNER

DOOR AND WINDOW CODES

NOTE: COORDINATE ALL COLORS AND STYLES WITH OWNER

MATERIALS AND FINISHES

- VL VINYL
- AL ALUMINUM
- ST STEEL
- FF FACTORY-FINISH
- DB DARK BRONZE, MATTE FINISH
- PTX PAINTED, EXTERIOR GRADE, COORDINATE WITH OWNER.

GLAZING TYPES

- G1 DUAL PANEL, LOW-E
- G2 DUAL PANEL, LOW-E, TEMPERED

DOOR HARDWARE

COORDINATE WITH OWNER

REMARKS

- R1 EXISTING TO REMAIN

PLUMBING FIXTURE...

PLUMBING FIXTURES TO MEET CALGREEN MANDATORY MEASURES

REFER TO NOTES ON SHEET A0.3 AND A0.5

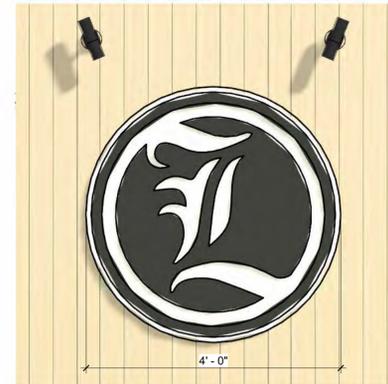
| DESCRIPTION | MANUF. | MODEL |
|--------------------------------------|--------|-------|
| LEVEL 1 FF | | |
| COFFEE SHOP | | |
| 16" Watercloset | TBD | TBD |
| Accessible Sink, Faucet, and Counter | | |
| Accessible Grab Bars | | |
| MENS | | |
| 16" Watercloset | TBD | TBD |
| Accessible Sink, Faucet, and Counter | | |
| Urinal | TOTO | UT447 |
| WOMENS | | |
| 16" Watercloset | TBD | TBD |
| 16" Watercloset | TBD | TBD |
| Accessible Sink, Faucet, and Counter | | |
| LEVEL 2 | | |
| KING STUDIO #2 | | |
| 16" Watercloset | TBD | TBD |
| Sink basin and Faucet | | |
| 60" Bathtub with Fixtures | | |
| KING STUDIO #3 | | |
| 16" Watercloset | TBD | TBD |
| Sink basin and Faucet | | |
| 60" Bathtub with Fixtures | | |
| KING STUDIO #4 | | |
| 16" Watercloset | TBD | TBD |
| Sink basin and Faucet | | |
| 60" Bathtub with Fixtures | | |
| KING STUDIO #1 | | |
| 16" Watercloset | TBD | TBD |
| Sink basin and Faucet | | |
| Roll-In Tub with Accessible Fixtures | | |
| STANDARD STUDIO #1 | | |
| 16" Watercloset | TBD | TBD |
| Sink basin and Faucet | | |
| 60" Bathtub with Fixtures | | |
| STANDARD STUDIO #2 | | |
| 16" Watercloset | TBD | TBD |
| Sink basin and Faucet | | |
| 60" Bathtub with Fixtures | | </ |



1 WALL SIGN (LETTERS MAIN)
 3/4" = 1'-0"
 * SIGN TO BE METAL EXTERIOR ILLUMINATED. ATTACH PER MANUFACTURER SPECIFICATIONS.



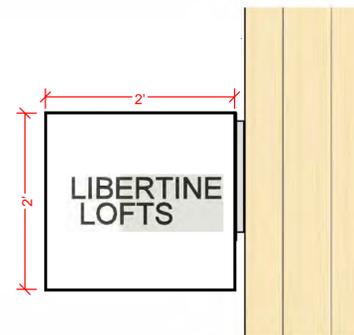
2 WALL SIGN (LOGO SOUTH)
 3/4" = 1'-0"
 * SIGN TO BE METAL EXTERIOR ILLUMINATED. ATTACH PER MANUFACTURER SPECIFICATIONS.



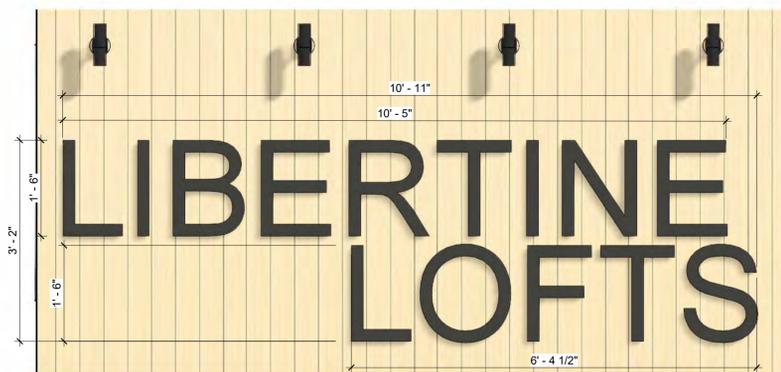
3 WALL SIGN (LOGO EAST)
 3/4" = 1'-0"
 * SIGN TO BE METAL EXTERIOR ILLUMINATED. ATTACH PER MANUFACTURER SPECIFICATIONS.
 * PRIMARY FAÇADE SIGN



4 PUB SIGN (COFFEE)
 1/12" = 1'-0"
 * SIGN TO BE METAL. ATTACH PER MANUFACTURER SPECIFICATIONS.



5 PUB SIGN (LOFTS)
 1/12" = 1'-0"
 * SIGN TO BE METAL. ATTACH PER MANUFACTURER SPECIFICATIONS.



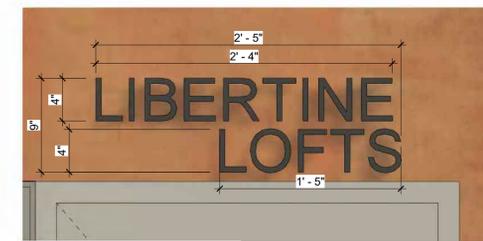
6 WALL SIGN (LETTERS NORTH)
 3/4" = 1'-0"
 * SIGN TO BE METAL EXTERIOR ILLUMINATED. ATTACH PER MANUFACTURER SPECIFICATIONS.



7 WALL SIGN (LETTERS SECONDARY)
 1/12" = 1'-0"
 * SIGN TO BE METAL. ATTACH PER MANUFACTURER SPECIFICATIONS.

SIGNAGE CALCULATIONS

| Mark | Sign Type | Dimensions | Total Sq. Ft. |
|---|---------------------------------|------------------|----------------------|
| East Elevation: | | | |
| | 3 WALL SIGN (LOGO EAST) | 4' DIA | 16 SF |
| | 4 PUB SIGN (COFFEE) | 2'x2' | 4 SF |
| | 5 PUB SIGN (LOFTS) | 2'x2' | 4 SF |
| Subtotal | | | 24 SF |
| South Elevation: | | | |
| | 1 WALL SIGN (LETTERS MAIN) | 15'-5" x 2'-2" | 22.57 SF |
| | 2 WALL SIGN (LOGO SOUTH) | 4' DIA | 16 SF |
| | 7 WALL SIGN (LETTERS SECONDARY) | 4'-10.5" x 1'-6" | 7.31 SF |
| Subtotal | | | 45.88 SF |
| West Elevation: NO SIGNAGE PROPOSED | | | |
| Subtotal | | | 0 SF |
| North Elevation: | | | |
| | 6 WALL SIGN (LETTERS NORTH) | 10'-11" x 3'-2" | 34.57 SF |
| | 8 WALL SIGN (LETTERS LOFTS) | 2'-5" x 0'-9" | 1.81 SF |
| Subtotal | | | 36.38 SF |
| Total Proposed All Elevations | | | 106.26 |
| Primary Façade Area (east elevation) | | | = 317 sf proposed |
| Secondary Façade Area (other elevations) | | | = 86.83 sf proposed. |



8 WALL SIGN (LETTERS LOFTS)
 1/12" = 1'-0"
 * SIGN TO BE METAL. ATTACH PER MANUFACTURER SPECIFICATIONS.

MORRO BAY STAMP AREA

HAB DESIGN GROUP
 ARCHITECTS
 DESIGNERS
 CREATIVE SOLUTION HUNTERS

330 S. HALCYON ROAD
 ARROYO GRANDE, CA 93420
 HABGROUP.NET
 805-544-4334

C.J. HORSTMAN
 C-37846
 ARCHITECT OF RECORD

SIGNAGE
 LIBERTINE MORRO BAY
 801 EMBARCADERO
 LEASE SITES 86 & 86W
 MORRO BAY, CA

SHEET TITLE

THESE DRAWINGS ARE INSTRUMENTS OF SERVICE AND ARE THE PROPERTY OF OUTREVIEWER OR MILLER ARCHITECT GROUP. ALL COMMON COPYRIGHT AND OTHER PROPERTY RIGHTS RESERVED. THIS DOCUMENT SHALL NOT BE DUPLICATED, COPIED, DISCLOSED, OR USED IN CONNECTION WITH ANY WORK OR PROJECT OTHER THAN THE SPECIFIC PROJECT FOR WHICH IT HAS BEEN PREPARED. OR ASSIGNED TO ANY THIRD PARTY WITHOUT FIRST OBTAINING THE EXPRESS WRITTEN CONSENT OF OJLA. VISUAL CONTACT WITH THIS DOCUMENT SHALL CONSTITUTE CONCLUSIVE EVIDENCE OF ACCEPTANCE OF THESE RESTRICTIONS.

REVISION HISTORY

| NO. | DESC. | DATE |
|-----|-------|------|
| | | |
| | | |
| | | |
| | | |

| | |
|-------------|-------------|
| APP # | -- |
| APN # | 006-322-008 |
| JOB # | 20-185 |
| DATE | 2023-11-01 |
| DRAWN BY: | TW |
| CHECKED BY: | TM |

A8.1
 SHEET NUMBER



MORRO BAY STAMP AREA



ARCHITECTS
DESIGNERS
CREATIVE SOLUTION HUNTERS

330 S. HALCYON ROAD
ARROYO GRANDE, CA 93420
HABGROUP.NET
805-544-4334



ARCHITECT OF RECORD

PROJECT IMAGES

LIBERTINE MORRO BAY
801 EMBARCADERO
LEASE SITES 86 & 86W
MORRO BAY, CA

SHEET
TITLE

THESE DRAWINGS ARE INSTRUMENTS OF SERVICE AND ARE THE PROPERTY OF OUTRETE/RE/MILLER ARCHITECT GROUP. ALL COMMON COPYRIGHT AND OTHER PROPERTY RIGHTS RESERVED. THIS DOCUMENT SHALL NOT BE DUPLICATED, COPIED, DISCLOSED, OR USED IN CONNECTION WITH ANY WORK OR PROJECT OTHER THAN THE SPECIFIC PROJECT FOR WHICH IT HAS BEEN PREPARED, OR ASSIGNED TO ANY THIRD PARTY WITHOUT FIRST OBTAINING THE EXPRESS WRITTEN CONSENT OF OTE/RE. VISUAL CONTACT WITH THIS DOCUMENT SHALL CONSTITUTE CONCLUSIVE EVIDENCE OF ACCEPTANCE OF THESE RESTRICTIONS.

REVISION HISTORY

| NO. | DESC. | DATE |
|-----|-------|------|
| | | |
| | | |
| | | |
| | | |

| | |
|-------------|-------------|
| APP # | -- |
| APN # | 006-322-008 |
| JOB # | 20-185 |
| DATE | 2023-11-01 |
| DRAWN BY: | TW |
| CHECKED BY: | TM |

A9.1
SHEET NUMBER



1/20/2023 5:35:52 PM

MORRO BAY STAMP AREA



ARCHITECTS
DESIGNERS
CREATIVE SOLUTION HUNTERS

330 S. HALCYON ROAD
ARROYO GRANDE, CA 93420
HABGROUP.NET
805-544-1334



ARCHITECT OF RECORD

PROJECT IMAGES

LIBERTINE MORRO BAY
801 EMBARCADERO
LEASE SITES 86 & 86W
MORRO BAY, CA

SHEET
TITLE

THESE DRAWINGS ARE INSTRUMENTS OF SERVICE AND ARE THE PROPERTY OF OUTREVIEWER OR MILLER ARCHITECT GROUP. ALL COMMON COPYRIGHT AND OTHER PROPERTY RIGHTS RESERVED. THIS DOCUMENT SHALL NOT BE DUPLICATED, COPIED, DISCLOSED, OR USED IN CONNECTION WITH ANY WORK OR PROJECT OTHER THAN THE SPECIFIC PROJECT FOR WHICH IT HAS BEEN PREPARED, OR ASSIGNED TO ANY THIRD PARTY WITHOUT FIRST OBTAINING THE EXPRESS WRITTEN CONSENT OF OJL. VISUAL CONTACT WITH THIS DOCUMENT SHALL CONSTITUTE CONCLUSIVE EVIDENCE OF ACCEPTANCE OF THESE RESTRICTIONS.

REVISION HISTORY

| NO. | DESC. | DATE |
|-----|-------|------|
| | | |
| | | |
| | | |

| | |
|-------------|-------------|
| APP # | -- |
| APN # | 006-322-008 |
| JOB # | 20-185 |
| DATE | 2023-11-01 |
| DRAWN BY: | TW |
| CHECKED BY: | TM |

A9.2
SHEET NUMBER