



3300 PANORAMA DRIVE

VICINITY MAP



PROJECT DESCRIPTION

THE SCOPE OF THIS PROJECT IS A 46 LOT NEIGHBORHOOD ON THE DECOMMISSIONED US NAVY JET FUEL STORAGE FACILITY. LOT SIZES RANGING FROM 2,869 SF TO 6,690 SF. THE LOTS VARY IN THEIR CONFIGURATION; FRONTING PANORAMA, SMALLER INTERIOR, DOWNHILL AND UPHILL.

THREE ARCHITECTURAL STYLES ARE PROPOSED:

COASTAL COTTAGE WITH MIX OF LAP AND SHINGLE SIDING, GABLE ROOFS, COVERED PORCHES AND BALCONIES.

COASTAL BUNGALOW WITH A MIX OF LAP AND BOARD & BATT SIDING, GABLE ROOFS, COVERED PORCHES AND BALCONIES.

COASTAL CONTEMPORARY WITH MIX OF PANEL SIDING AND STUCCO, GABLE ROOFS, COVERED PORCHES AND BALCONIES AND STONE ELEMENTS.

PROJECT DIRECTORY

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PROJECT STATISTICS

PROJECT ADDRESS: 3300 PANORAMA DRIVE
ZONING: RS-A (2022 ZONING CODE)

LEGAL DESCRIPTION: A PARCEL OF LAND SITUATED ON LOT 8 IN BLOCK 1-E OF THE ATASCADERO BEACH SUBDIVISION, IN THE COUNTY OF SAN LUIS OBISPO, STATE OF CALIFORNIA, AS SAID BLOCK 1-E IS SHOWN UPON THE MAP RECORDED 2 JULY 1917 IN BOOK 2 OF MAPS AT PAGE 15 IN THE RECORDS OF SAN LUIS OBISPO COUNTY

PARCEL SIZE: 10.06 ACRES
APN: 065-038-001

MAX. LOT COVERAGE: PER DEVELOPMENT STANDARDS
TOTAL IMPERVIOUS: 159,000 SF (3.65 AC)
MAX. ALLOWED HEIGHT: 25 FT.
MAX. PROPOSED HEIGHT: 25 FT.

LANDSCAPE REQUIRED: NOT SPECIFIED IN ORDINANCE
LANDSCAPE PROPOSED:
ESHA BUFFER: 39,171 SF
OPEN SPACE (LOT 47): 55,937 SF
COMMON AREA: 43,947 SF
PRIVATE FRONT YARDS: 10-15% OF THE LOT AREA

PARKING

AUTO PARKING	CALCULATION	SPACE COUNT
PARKING REQUIRED:		
RESIDENTIAL	2 COVERED SPACES PER LOT	92
PARKING PROPOSED:		
RESIDENTIAL	2 SPACES PER GARAGE PER LOT	92
DEVELOPMENT	MARKED GUEST PARKING	36
ON-STREET	UNMARKED PARKING ON PROPOSED STREETS	34
PANORAMA DRIVE	PARALLEL	8
PANORAMA DRIVE	PERPENDICULAR	9

3300 Panorama Development Standards						2022 Adopted Zoning Code RS-A Standards		
Type	Panorama Fronting (Plan A) (Lots 1-8)	Interior Type I (Plan B) (Lots 9-15)	Interior Type II (Plans B & C) (Lots 16-30)	Downhill (Plan D) (Lots 31-37)	Uphill (Plan E) (Lots 38-46)	2,501 sf to 4,300 sf	4,301 sf or greater	
Typical Lot Size (refer to Site Plan for detailed lot sizes)	2,880 sf	2,869 sf	3,097 sf	5,790 sf	6,690 sf			
Minimum Setbacks (ft)								
Front Yard								
House	15	15	15	20	20	15	20	
Porches	15	15	15	20	20	15	20	
Balconies	15	15	15	20	20	15	20	
Garage	15	15	15	20	20	15	20	
Rear Yard								
House	5	5	5	10	10	5	10	
Balconies	5	5	5	10	10	5	10	
Side Yard								
Interior	5	5	5	5	5	5	5	
Exterior (Street Side)	10	10	10	10	10	10	10	
Maximum Building Height (ft.)	25	25	25	25	25	25	25	
Maximum Building Wall Height (ft.)	24'-9"	24'-3"	25'-0"	27'-4"	29'-3"	30	30	
Maximum Lot Coverage	50%	50%	50%	45%	45%	50%	45%	
Common Open Space	174,240 sf							
Parking	2 covered	2 covered	2 covered	2 covered	2 covered	2 covered	2 covered	
Guest Parking	70						Zero Required	
Minimum Density (units/ac)							4.1	
Maximum Density (units/ac)							7.0	
Affordable Housing Requirements	Project will comply with affordable housing standards by providing 5 inclusionary units.						10% of the total number of units or in-lieu fees.	

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43	TOTAL SHEETS IN THIS SET



TITLE SHEET

3300 PANORAMA DRIVE

SEPTEMBER 3, 2024

0404-01-CU21

T1



LOT TYPES

PANORAMA FRONTING	(PLAN TYPE A)	LOTS 1-8
INTERIOR LOT TYPE I	(PLAN TYPE B)	LOTS 9-15 & 21-30
INTERIOR LOT TYPE II	(PLAN TYPE C)	LOTS 16-20
DOWNHILL LOTS	(PLAN TYPE D)	LOTS 31-37
UPHILL LOTS	(PLAN TYPE E)	LOTS 38-46



PARKING SUMMARY

TOTAL REQUIRED PARKING: 92 SPACES

TOTAL PROVIDED PARKING: 210 SPACES

LOTS 1-8, 31-37, 38-46

TOTAL HOMES: 24

REQUIRED SPACES: 48 COVERED

PROVIDED SPACES: 96 (48 COVERED IN TWO-CAR GARAGES PLUS 48 UNCOVERED DRIVEWAYS INCLUDING 2 SPACES PER UNIT)

LOTS 9-15, 16-20, 21-30

TOTAL HOMES: 22

REQUIRED SPACES: 44 COVERED

PROVIDED SPACES: 44 COVERED IN TWO-CAR GARAGES

RESIDENTIAL PARKING: 140 SPACES (GARAGES AND DRIVEWAYS)

ADDITIONAL PROJECT PARKING: 70 SPACES (36 MARKED ON-SITE SPACES PLUS 34 UNMARKED ON-STREET SPACES)

TOTAL PROVIDED PARKING: 210 SPACES

PANORAMA DRIVE: 17 SPACES

The project proposes to provide a sidewalk and optimized public parking spaces on Panorama Drive. This parking has not been included in our parking count; it is intended to provide a neighborhood benefit.

1. Parallel parking (8 spaces) along Panorama between Trinidad Street and Sicily Street in front of open space area. This parking is shown in blue on the parking exhibit and would be public. Panorama Drive would be improved to widen the paved area to accommodate this parking.

2. Perpendicular parking (9 spaces) along Panorama between Whidbey St and Lot 1 will require a small public access easement to accommodate sidewalk. An encroachment permit will be required for all work within the public right-of-way.

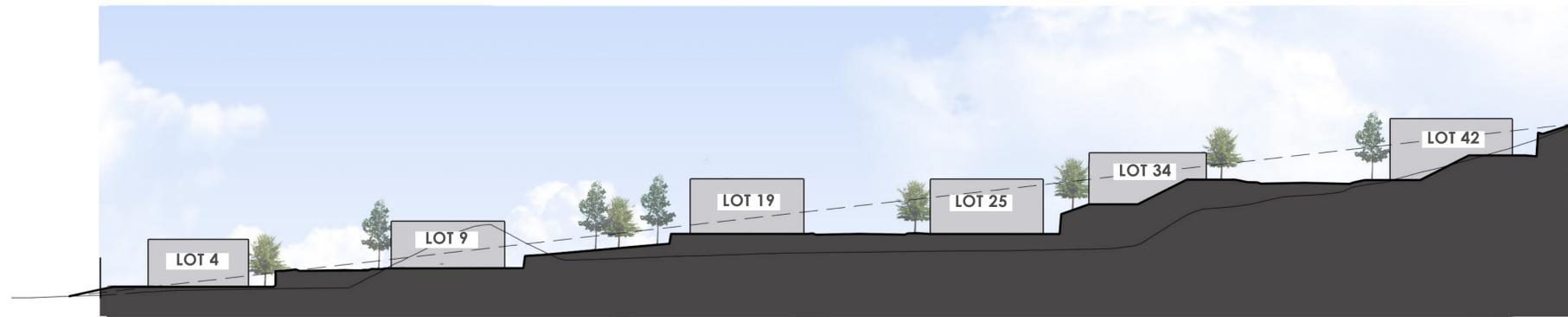
LEGEND

▭ 36 MARKED ON-SITE PARKING SPACES

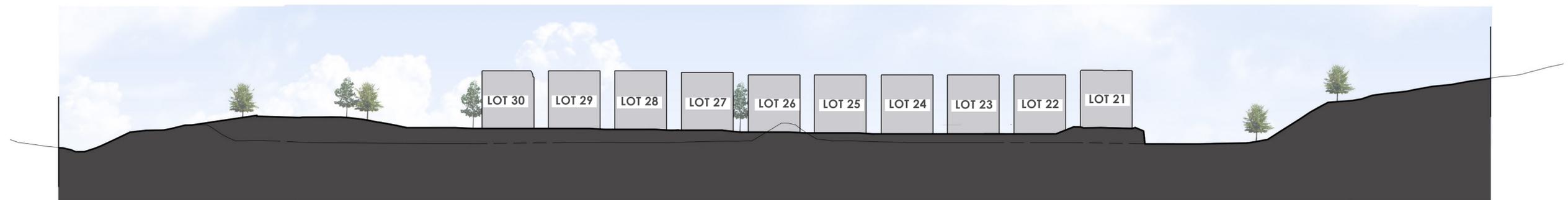
▭ 34 UNMARKED ON-STREET PARKING SPACES

▭ 9 PUBLIC PERPENDICULAR PARKING SPACES ON PANORAMA DR

▭ 8 PUBLIC PARALLEL PARKING SPACES ON PANORAMA DR



SITE SECTION A-A



SITE SECTION B-B









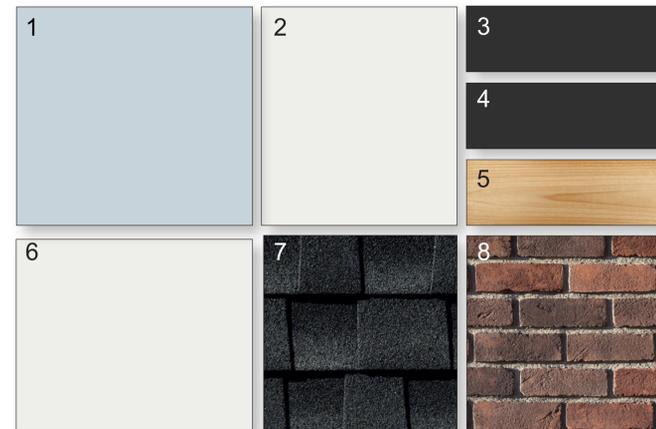
PLAN A



PLAN D

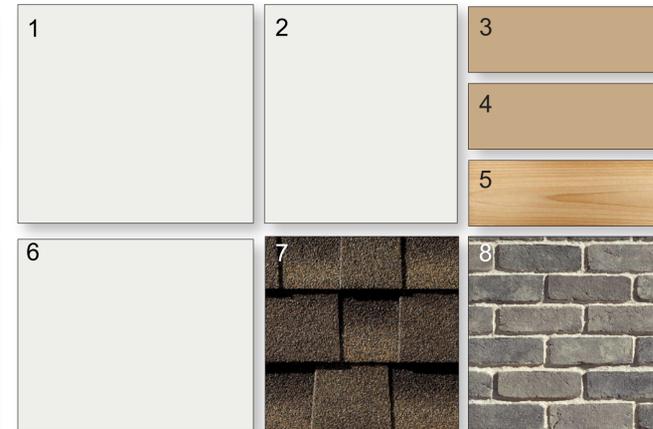
COASTAL BUNGALOW

SCHEME A



- 1. **VERTICAL SIDING:** SHERWIN WILLIAMS MILD BLUE SW6533
- 2. **ACCENT SIDING:** SHERWIN WILLIAMS EXTRA WHITE SW7006
- 3. **FRONT DOOR:** SHERWIN WILLIAMS CAVIAR SW6990
- 4. **GARAGE DOOR:** SHERWIN WILLIAMS CAVIAR SW6990
- 5. **WOOD ACCENT:** NATURAL STAIN CEDAR
- 6. **TRIM:** SHERWIN WILLIAMS EXTRA WHITE SW7006
- 7. **ASPHALT SHINGLE ROOF:** GAF CHARCOAL
- 8. **VENEER:** ELDORADO TUNDRA BRICK HARTFORD

SCHEME B



- 1. **VERTICAL SIDING:** SHERWIN WILLIAMS EXTRA WHITE SW7006
- 2. **ACCENT SIDING:** SHERWIN WILLIAMS EXTRA WHITE SW7006
- 3. **FRONT DOOR:** SHERWIN WILLIAMS CAMELBACK SW6122
- 4. **GARAGE DOOR:** SHERWIN WILLIAMS CAMELBACK SW6122
- 5. **WOOD ACCENT:** NATURAL STAIN CEDAR
- 6. **TRIM:** SHERWIN WILLIAMS EXTRA WHITE SW7006
- 7. **ASPHALT SHINGLES:** GAF BARKWOOD
- 8. **VENEER:** ELDORADO TUNDRA BRICK ASHLAND



PLAN C



PLAN E

COASTAL COTTAGE

SCHEME C			SCHEME D		
1	2	3	1	2	
		4		3	
		5			
6	7	8	5	6	7
		9			8

- | | |
|--|---|
| <ul style="list-style-type: none"> 1. SHINGLE SIDING: SHERWIN WILLIAMS LIVEABLE GREEN SW6167 2. BOARD & BATT SIDING: SHERWIN WILLIAMS EXTRA WHITE SW7006 3. FRONT DOOR: SHERWIN WILLIAMS EXTRA WHITE SW7006 4. GARAGE DOOR: SHERWIN WILLIAMS EXTRA WHITE SW7006 5. WOOD ACCENT: NATURAL STAIN CEDAR 6. TRIM: SHERWIN WILLIAMS EXTRA WHITE SW7006 7. ASPHALT SHINGLES: GAF PEWTER GRAY 8. STANDING SEAM: MCELROY DARK BRONZE 9. VENEER: ELDORADO CLIFFSTONE MESQUITE | <ul style="list-style-type: none"> 1. SHINGLE SIDING: SHERWIN WILLIAMS MILD BLUE SW6533 2. FRONT DOOR: SHERWIN WILLIAMS CAVIAR SW6990 3. GARAGE DOOR: SHERWIN WILLIAMS EXTRA WHITE SW7006 4. NOT USED 5. TRIM: SHERWIN WILLIAMS EXTRA WHITE SW7006 6. ASPHALT SHINGLE ROOF: GAF CHARCOAL 7. OPT. STANDING SEAM ROOF: MCELROY PATRICIAN BRONZE 8. VENEER: ELDORADO TUNDRA BRICK HARTFORD |
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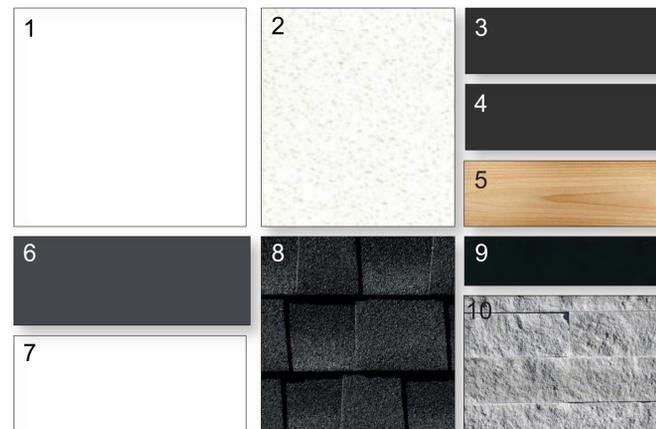
PLAN B



PLAN D

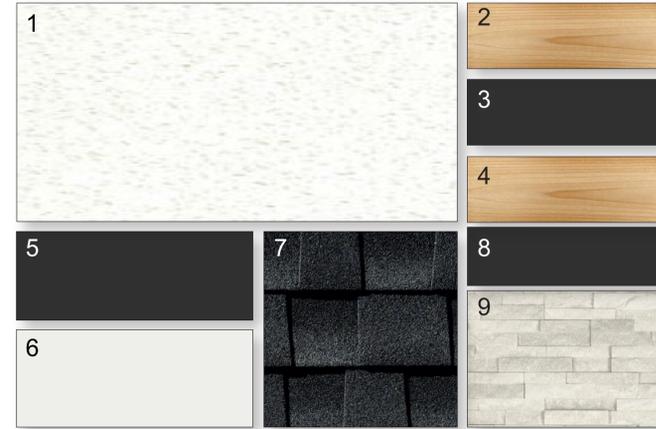
COASTAL CONTEMPORARY

SCHEME E

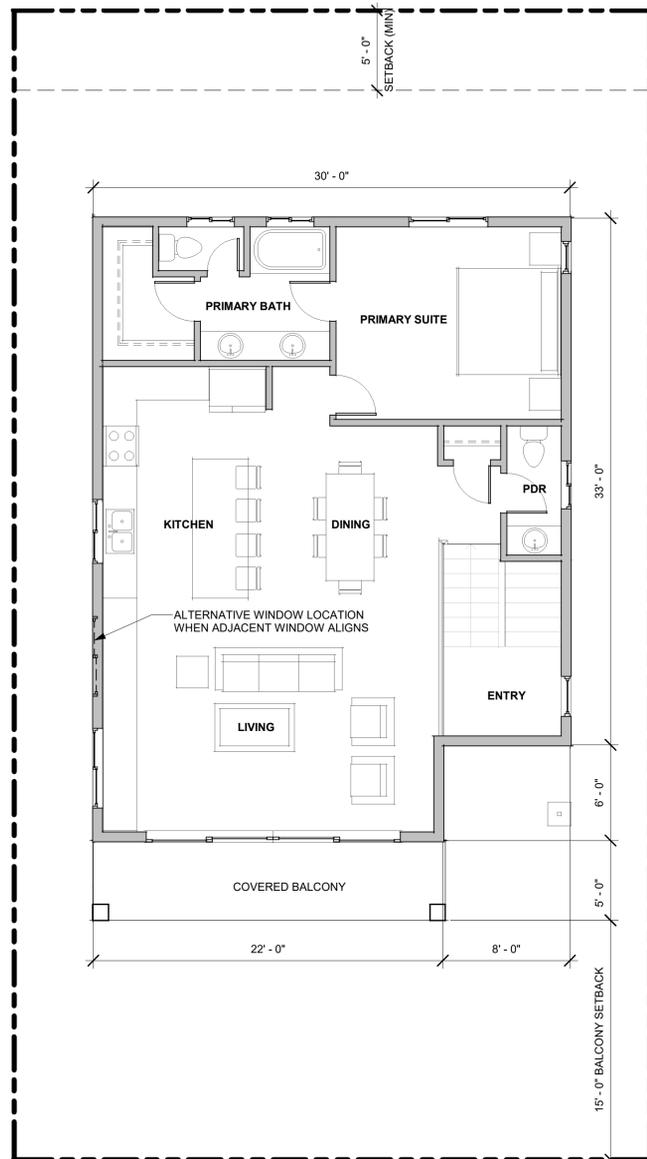


- 1. FIBER CEMENT SIDING: SHERWIN WILLIAMS EXTRA WHITE SW7006
- 2. STUCCO: MERLEX P100 GLACIER WHITE, SMOOTH FINISH
- 3. FRONT DOOR: SHERWIN WILLIAMS CAVIAR SW6990
- 4. GARAGE DOOR: SHERWIN WILLIAMS CAVIAR SW6990
- 5. WOOD ACCENT: NATURAL STAIN CEDAR
- 6. ACCENT SIDING: SHERWIN WILLIAMS CYBERSPACE SW7076
- 7. TRIM: SHERWIN WILLIAMS EXTRA WHITE SW7006
- 8. ASPHALT SHINGLE ROOF: GAF CHARCOAL
- 9. STANDING SEAM ROOF: MCELROY MATTE BLACK
- 10. VENEER: ELDORADO VINTAGE CUMULUS

SCHEME F

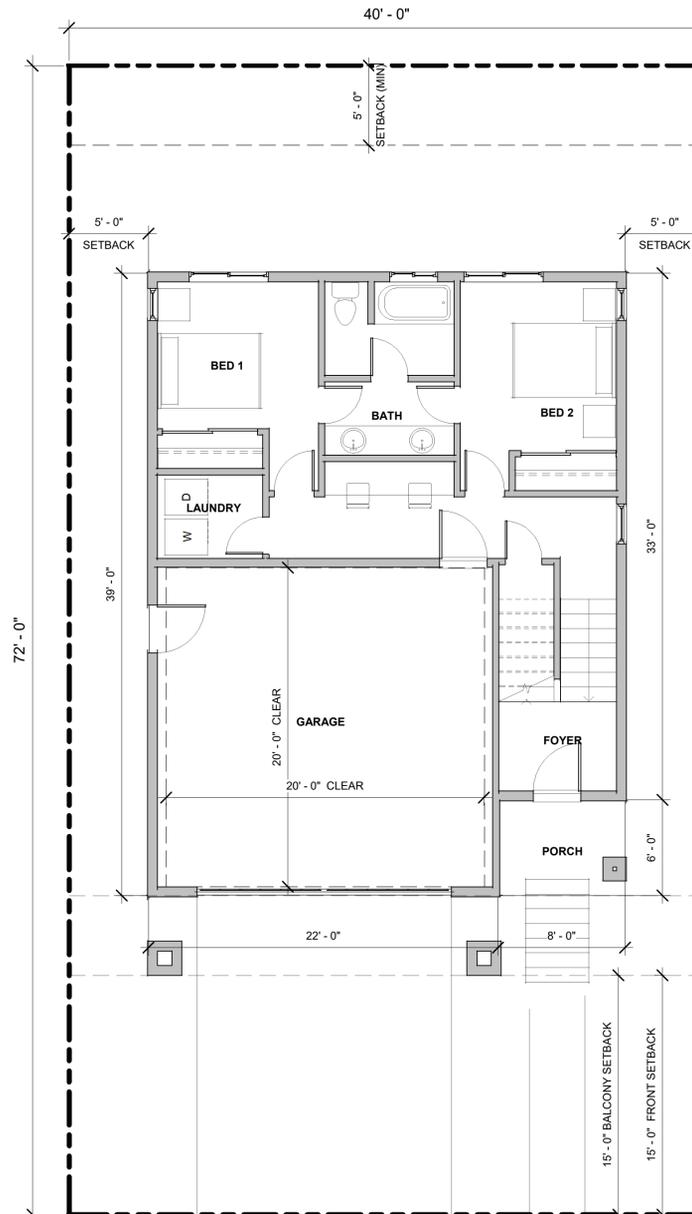


- 1. STUCCO: MERLEX P100 GLACIER WHITE, SMOOTH FINISH
- 2. FRONT DOOR: NATURAL STAIN CEDAR
- 3. GARAGE DOOR: SHERWIN WILLIAMS CAVIAR SW6990
- 4. WOOD ACCENT: NATURAL STAIN CEDAR
- 5. ACCENT: SHERWIN WILLIAMS CAVIAR SW6990
- 6. TRIM: SHERWIN WILLIAMS EXTRA WHITE SW7006
- 7. ASPHALT SHINGLE ROOF: GAF CHARCOAL
- 8. STANDING SEAM ROOF: MCELROY ASH GRAY
- 9. VENEER: ELDORADO EUROPEAN LEDGE GLACIER



SECOND FLOOR

3/16" = 1'-0" (24 X 36 SHEET)



GROUND FLOOR

3/16" = 1'-0" (24 X 36 SHEET)

LOT STATS

TYPICAL LOT SIZE:	40' X 72'
FRONT SETBACK:	15'-0"
REAR SETBACK:	5'-0"
SIDE SETBACK:	5'-0"
LOT COVERAGE:	1,295 SF/2,880 SF = 45%

BUILDING AREA

GROUND FLOOR	668 SF
SECOND FLOOR	1,122 SF
TOTAL AREA	1,790 SF
GARAGE	454 SF
BALCONY	133 SF
PORCH	40 SF



FRONT PERSPECTIVE ELEVATION



LEFT ELEVATION

1/8" = 1'-0" (24 X 36 SHEET)



REAR ELEVATION

1/8" = 1'-0" (24 X 36 SHEET)



RIGHT ELEVATION

1/8" = 1'-0" (24 X 36 SHEET)

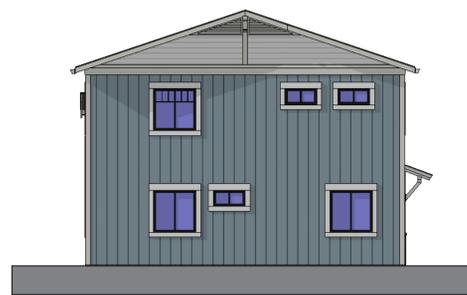


FRONT PERSPECTIVE ELEVATION



LEFT ELEVATION

1/8" = 1'-0" (24 X 36 SHEET)



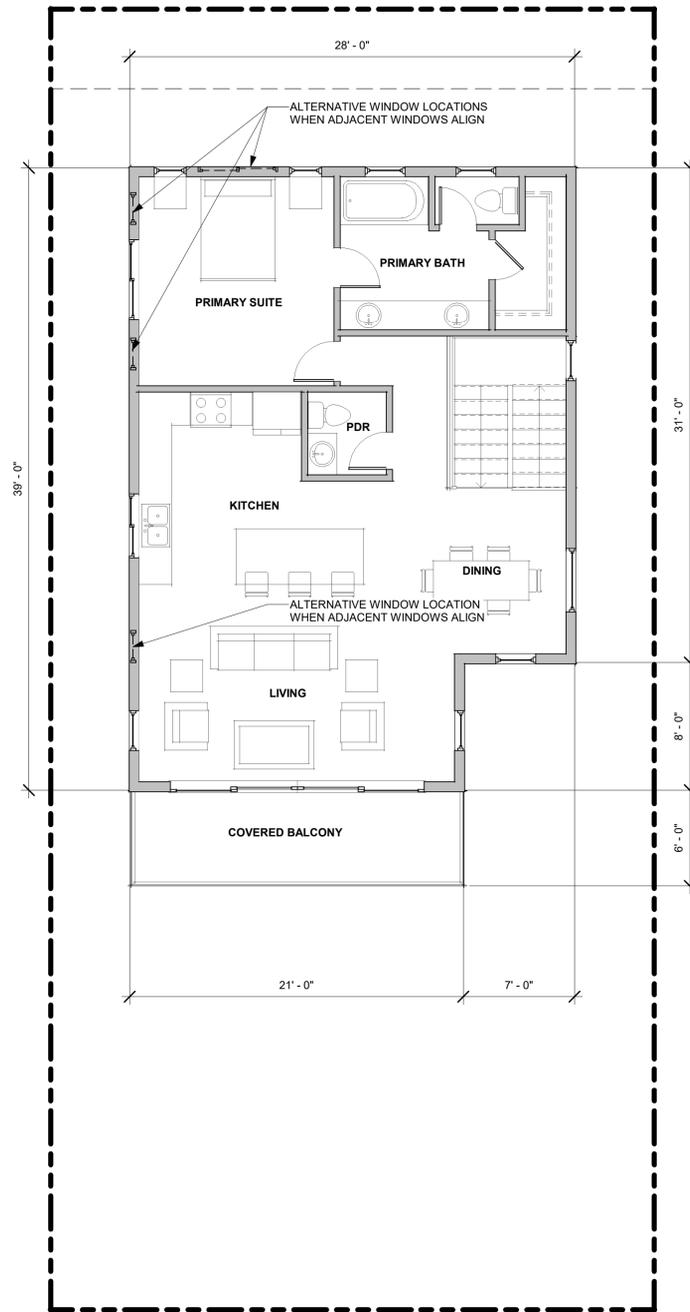
REAR ELEVATION

1/8" = 1'-0" (24 X 36 SHEET)



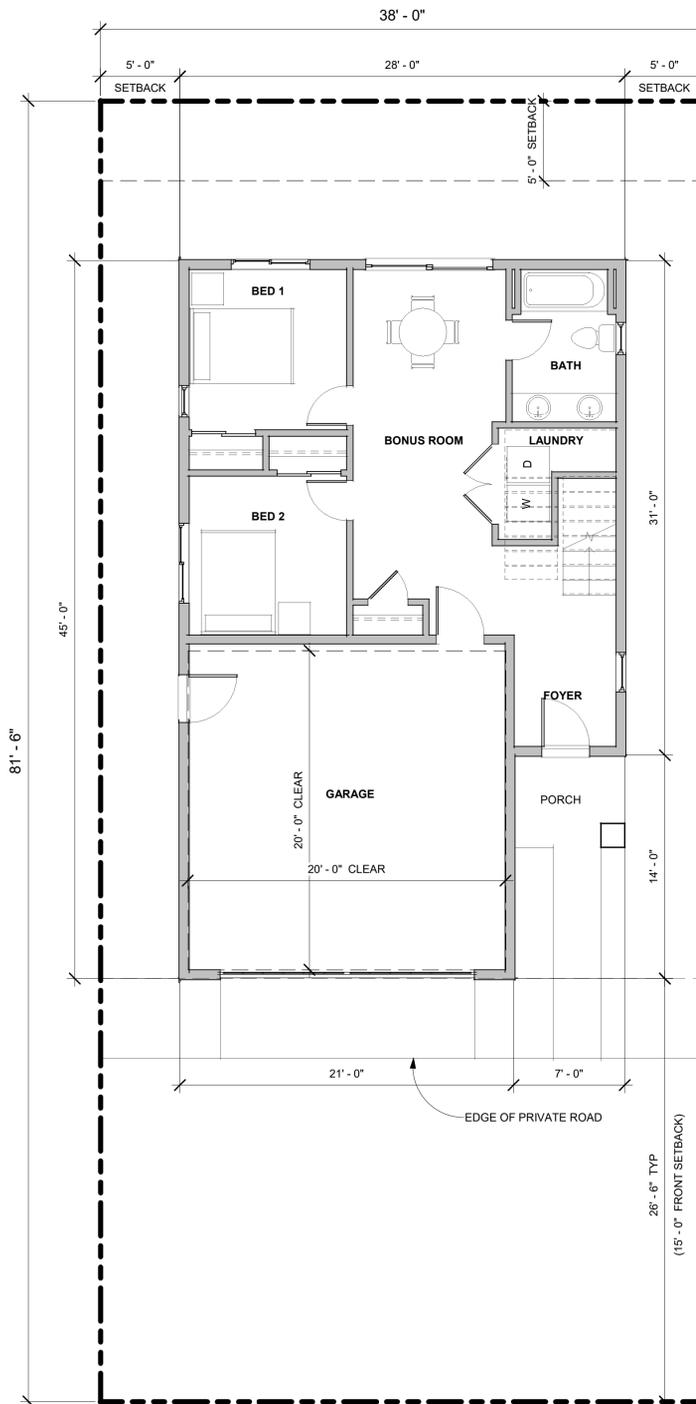
RIGHT ELEVATION

1/8" = 1'-0" (24 X 36 SHEET)



SECOND FLOOR

3/16" = 1'-0" (24 X 36 SHEET)



GROUND FLOOR

3/16" = 1'-0" (24 X 36 SHEET)

LOT STATS

TYPICAL LOT SIZE:	38' X 75.5'
FRONT SETBACK:	15'-0"
REAR SETBACK:	5'-0"
SIDE SETBACK:	5'-0"
LOT COVERAGE:	1,202 SF/2,869 SF = 41.9%

BUILDING AREA

GROUND FLOOR	717 SF
SECOND FLOOR	1,036 SF
TOTAL AREA	1,753 SF
GARAGE	445 SF
BALCONY	133 SF
PORCH	40 SF



FRONT PERSPECTIVE ELEVATION



RIGHT ELEVATION - ENHANCED

1/8" = 1'-0" (24 X 36 SHEET)



LEFT ELEVATION

1/8" = 1'-0" (24 X 36 SHEET)



REAR ELEVATION

1/8" = 1'-0" (24 X 36 SHEET)



RIGHT ELEVATION

1/8" = 1'-0" (24 X 36 SHEET)



FRONT PERSPECTIVE ELEVATION



RIGHT ELEVATION - ENHANCED

1/8" = 1'-0" (24 X 36 SHEET)



LEFT ELEVATION

1/8" = 1'-0" (24 X 36 SHEET)



REAR ELEVATION

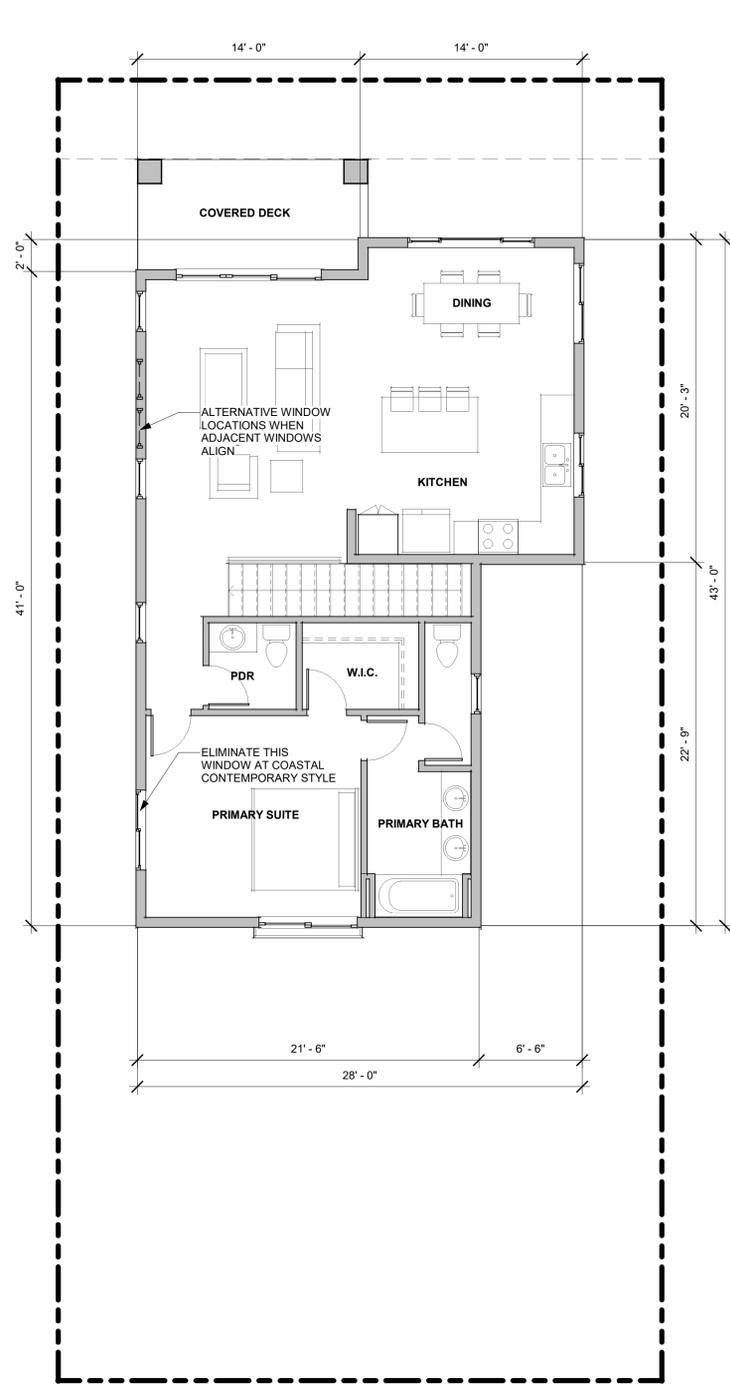
1/8" = 1'-0" (24 X 36 SHEET)



RIGHT ELEVATION

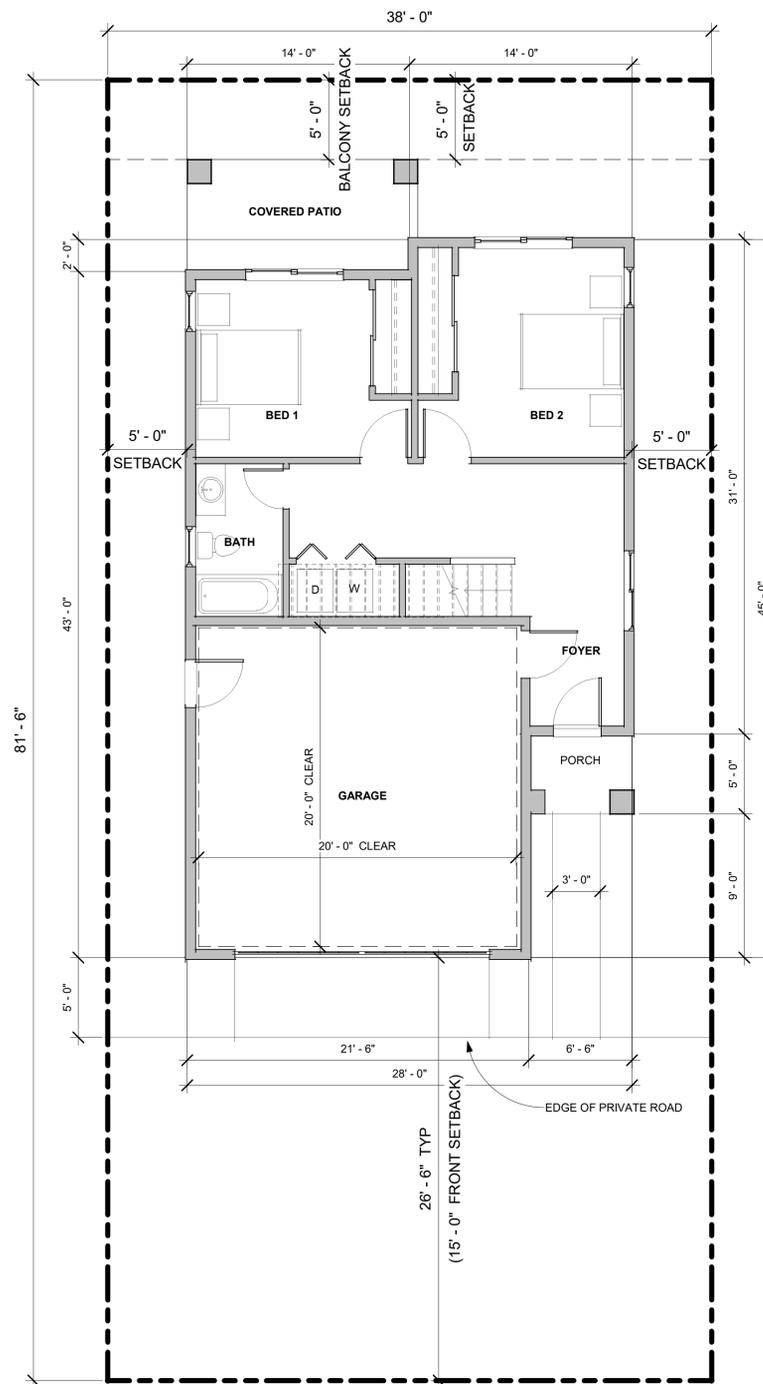
1/8" = 1'-0" (24 X 36 SHEET)

MAX. BLDG. HEIGHT
25'-0"
T.O.P.
19'-2"
F.F. 1
10'-1"
F.F. 0
0'-0"



SECOND FLOOR

3/16" = 1'-0" (24 X 36 SHEET)



GROUND FLOOR

3/16" = 1'-0" (24 X 36 SHEET)

LOT STATS

TYPICAL LOT SIZE:	38' X 81.5'
FRONT SETBACK:	15'-0"
REAR SETBACK:	5'-0"
SIDE SETBACK:	5'-0"
LOT COVERAGE:	1,275 SF/3,097 SF = 41.2%

BUILDING AREA

GROUND FLOOR	694 SF
SECOND FLOOR	1,034 SF
TOTAL AREA	1,728 SF
GARAGE	454 SF
BALCONY	100 SF
PORCH	27 SF



FRONT PERSPECTIVE ELEVATION



LEFT ELEVATION

1/8" = 1'-0" (24 X 36 SHEET)



REAR ELEVATION

1/8" = 1'-0" (24 X 36 SHEET)

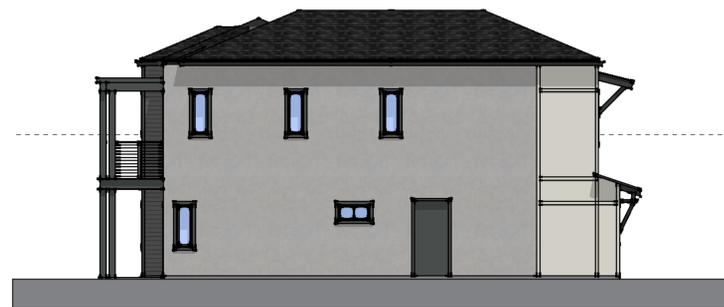


RIGHT ELEVATION

1/8" = 1'-0" (24 X 36 SHEET)



FRONT PERSPECTIVE ELEVATION



LEFT ELEVATION

1/8" = 1'-0" (24 X 36 SHEET)



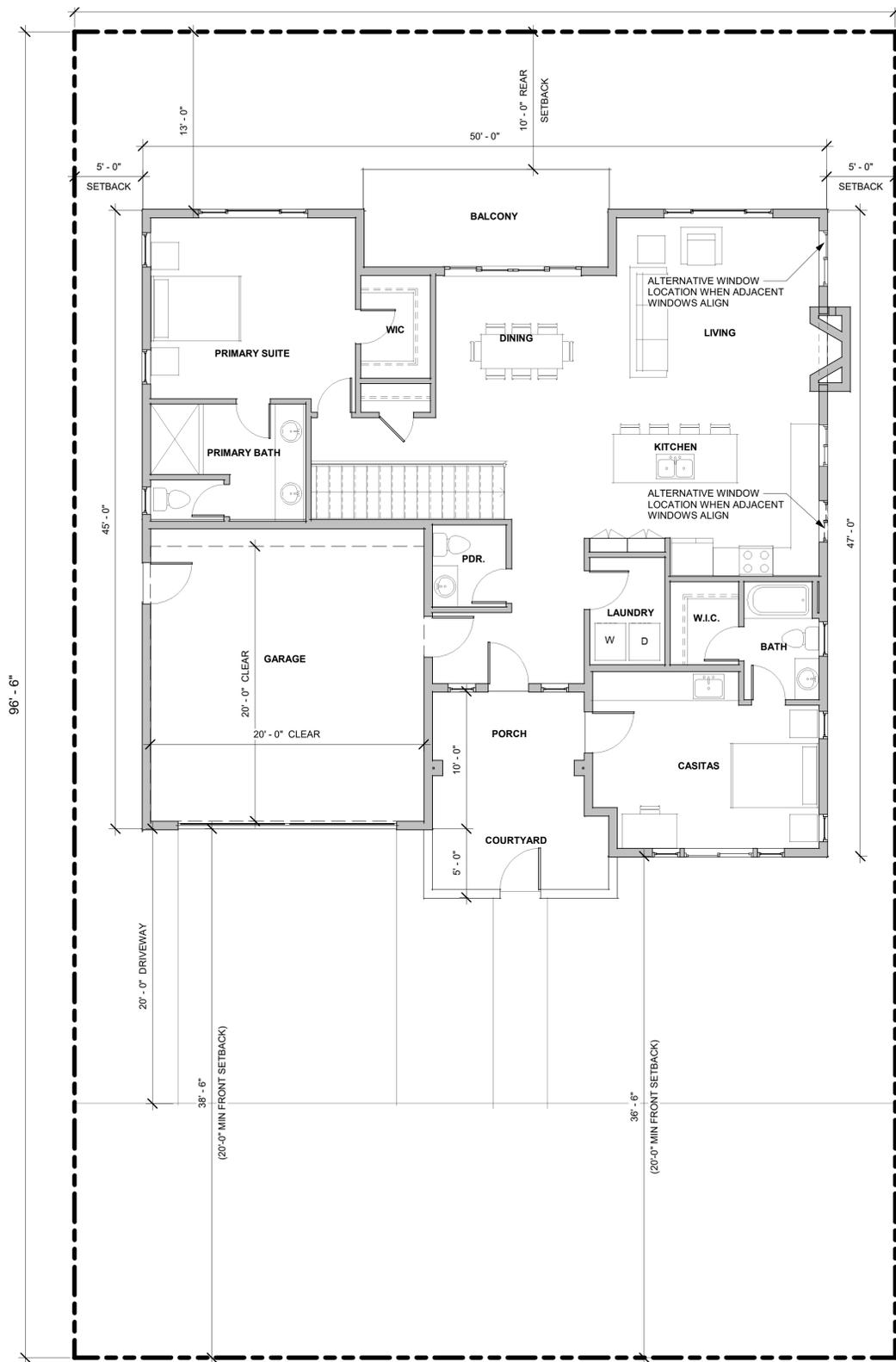
REAR ELEVATION

1/8" = 1'-0" (24 X 36 SHEET)



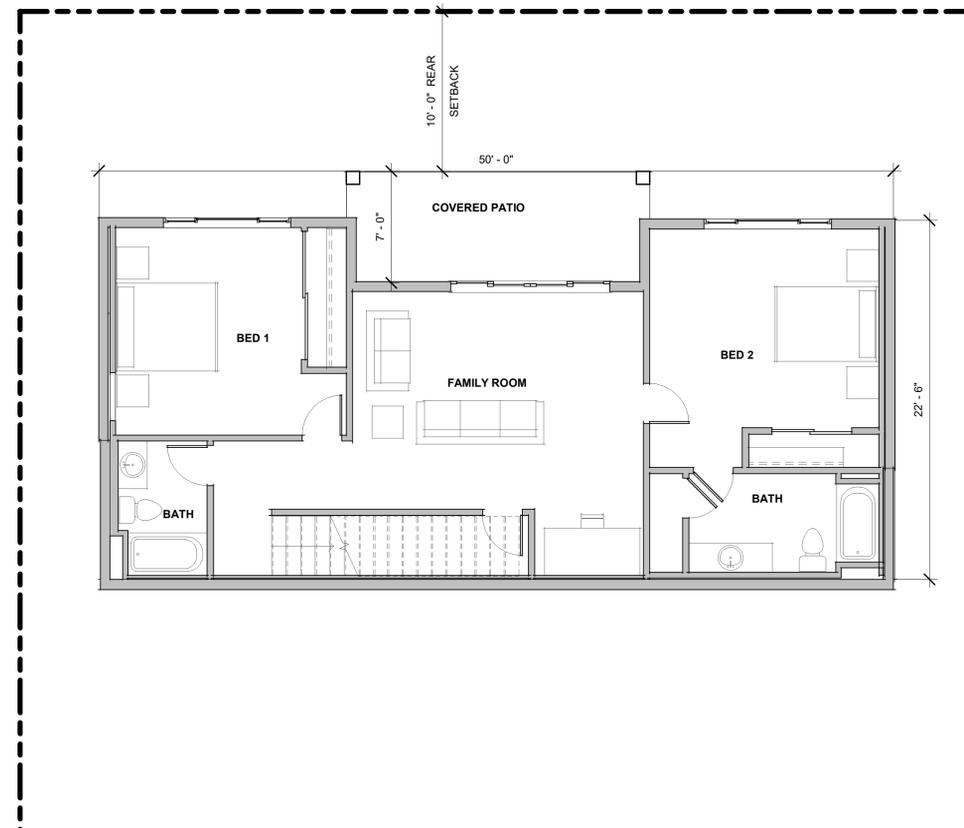
RIGHT ELEVATION

1/8" = 1'-0" (24 X 36 SHEET)



UPPER FLOOR (STREET LEVEL)

3/16" = 1'-0" (24 X 36 SHEET)



LOWER FLOOR

3/16" = 1'-0" (24 X 36 SHEET)

LOT STATS

TYPICAL LOT SIZE:	60' X 96.5'
FRONT SETBACK:	20'-0"
REAR HOUSE SETBACK:	10'-0"
REAR BALCONY SETBACK:	10'-0"
SIDE SETBACK:	5'-0"
LOT COVERAGE:	2,292 SF/5,790 SF = 40%

BUILDING AREA

LOWER FLOOR	1,085 SF
UPPER FLOOR (STREET LEVEL)	1,258 SF
CASITAS (STREET LEVEL)	311 SF
TOTAL AREA	2,654 SF
GARAGE	442 SF
BALCONY	130 SF
PORCH	84 SF



FRONT PERSPECTIVE ELEVATION



LEFT ELEVATION

1/8" = 1'-0" (24 X 36 SHEET)



REAR ELEVATION

1/8" = 1'-0" (24 X 36 SHEET)



RIGHT ELEVATION

1/8" = 1'-0" (24 X 36 SHEET)

MAX. ALLOWABLE BLDG.
25'-0" ABV A.N.G.

T.O.P.
21'-2"

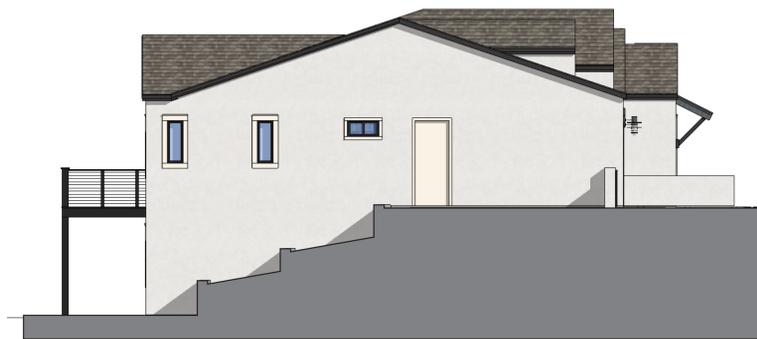
F.F. 1
11'-1"

A.N.G.
5'-0"

F.F. 0
0'-0"



FRONT PERSPECTIVE ELEVATION



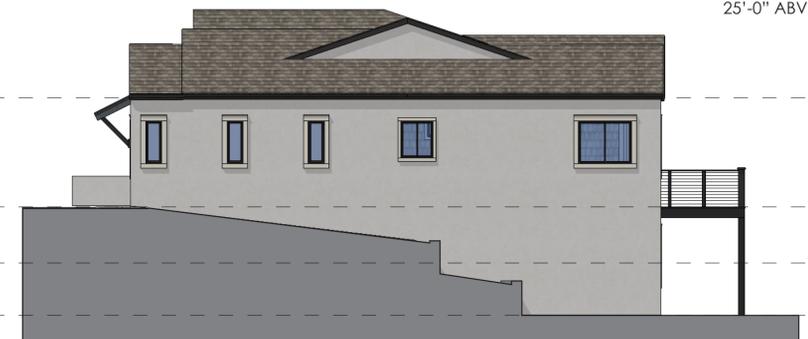
LEFT ELEVATION

1/8" = 1'-0" (24 X 36 SHEET)



REAR ELEVATION

1/8" = 1'-0" (24 X 36 SHEET)



RIGHT ELEVATION

1/8" = 1'-0" (24 X 36 SHEET)

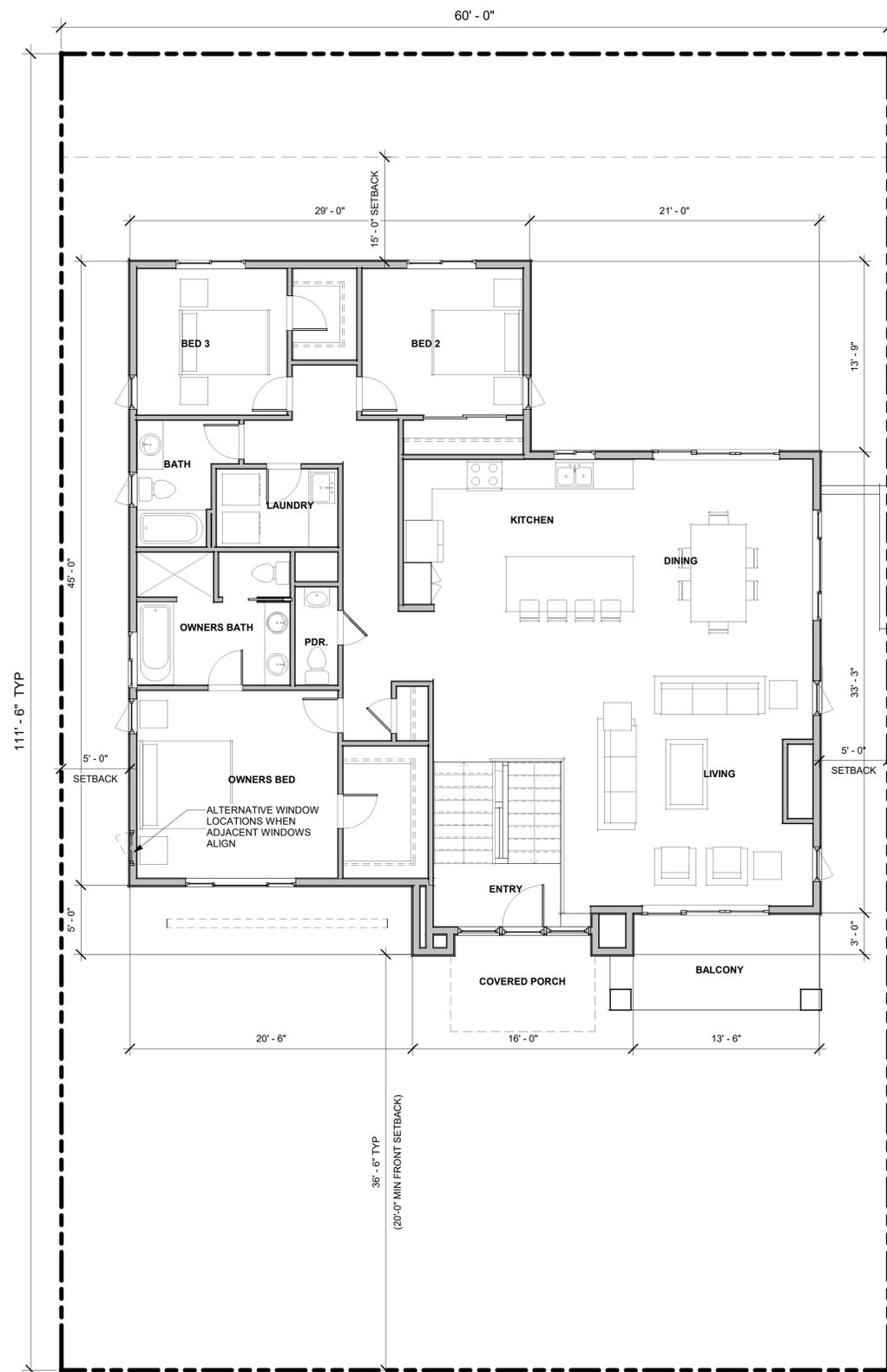
MAX. BLDG. HEIGHT
25'-0" ABV A.N.G.

T.O.P.
21'-2"

F.F. 1
11'-1"

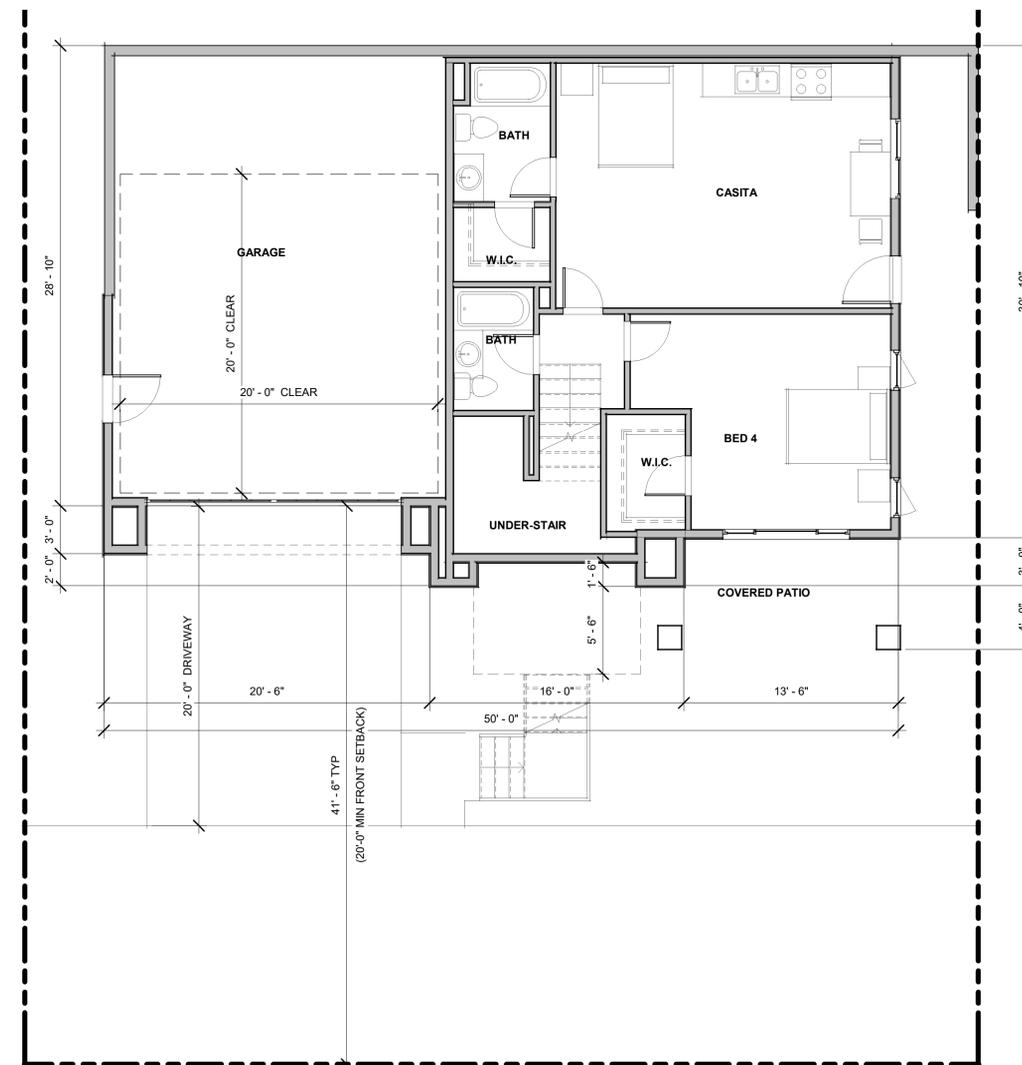
A.N.G.
5'-0"

F.F. 0
0'-0"



UPPER FLOOR

3/16" = 1'-0" (24 X 36 SHEET)



LOWER FLOOR (STREET LEVEL)

3/16" = 1'-0" (24 X 36 SHEET)

LOT STATS

TYPICAL LOT SIZE:	60' X 111.5'
FRONT SETBACK:	20'-0"
REAR BALCONY SETBACK:	10'-0"
SIDE SETBACK:	5'-0"
LOT COVERAGE:	2,126 SF/6,369 SF = 33.3%

BUILDING AREA

LOWER FLOOR (STREET LEVEL)	452 SF
CASITAS (STREET LEVEL)	436 SF
UPPER FLOOR	1,919 SF
TOTAL AREA	2,807 SF
GARAGE	615 SF
BALCONY	109 SF
PORCH	84 SF

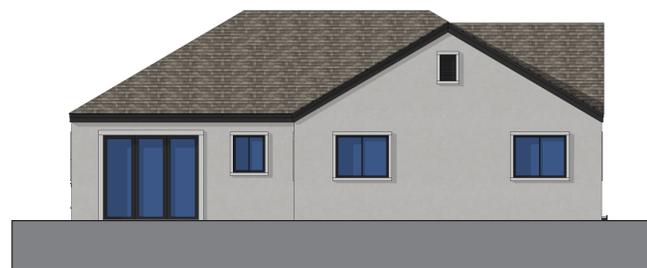


FRONT PERSPECTIVE ELEVATION



LEFT ELEVATION

1/4" = 1'-0" (24 X 36 SHEET)



REAR ELEVATION

1/4" = 1'-0" (24 X 36 SHEET)



RIGHT ELEVATION

1/4" = 1'-0" (24 X 36 SHEET)



FRONT PERSPECTIVE ELEVATION



LEFT ELEVATION

1/4" = 1'-0" (24 X 36 SHEET)



REAR ELEVATION

1/4" = 1'-0" (24 X 36 SHEET)



RIGHT ELEVATION

1/4" = 1'-0" (24 X 36 SHEET)

MAX. BLDG. HEIGHT
25'-0" ABV A.N.G.

T.O.P.
21'-2"

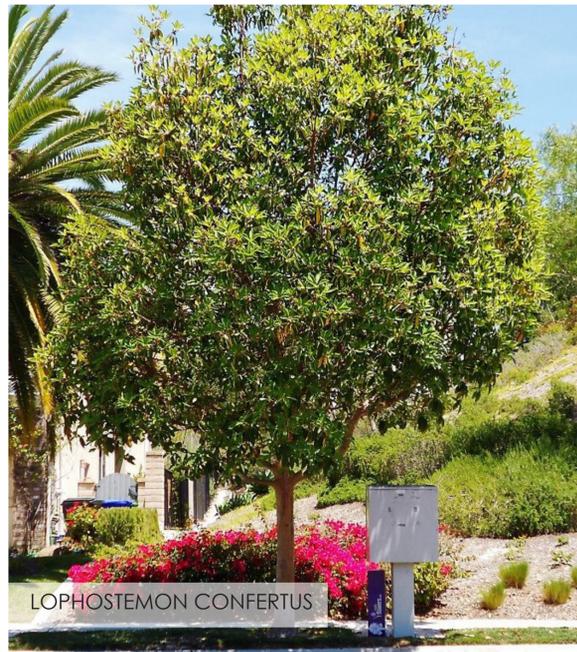
F.F. 1
11'-1"

A.N.G.
5'-0"

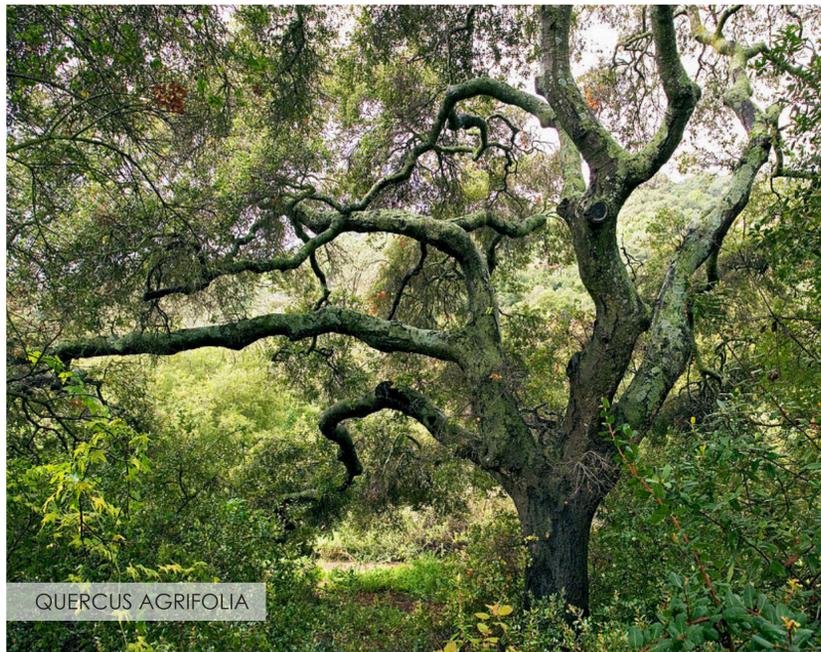
F.F. 0
0'-0"



PLATANUS RACEMOSA



LOPHOSTEMON CONFERTUS



QUERCUS AGRIFOLIA



LYONOTHAMNUS FLORIBUNDUS



SAMBUCUS NIGRA



PRUNUS ILICIFOLIA



PISTACIA CHINENSIS



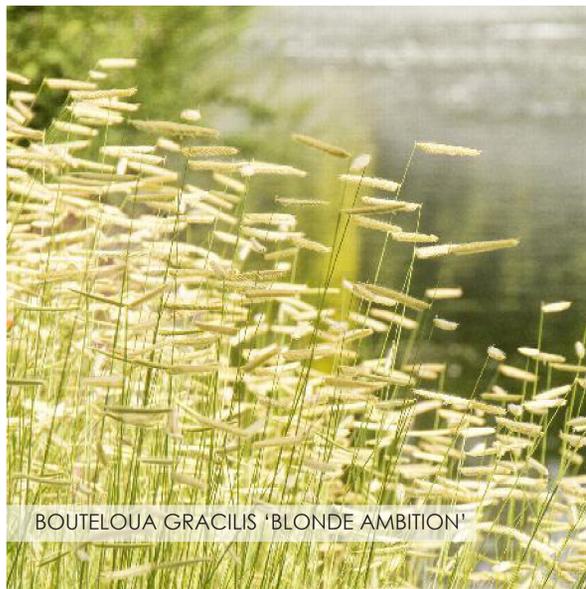
ADENANTHOS X CUNNINGHAMII



ANIGOZANTHOS X 'BIG RED'



ARCTOSTAPHYLOS X 'EMERALD CARPET'



BOUTELOUA GRACILIS 'BLONDE AMBITION'



CALAMAGROSTIS X ACUTIFLORA 'KARL FOERSTER'



CAREX DIVULSA



CARPENTERIA CALIFORNICA



CEANOTHUS GRISEUS



CHONDROPETALUM TECTORUM



FESTUCA CALIFORNICA



LEUCADENDRON SPP.



LOMANDRA 'BREEZE'



MISCANTHUS SINENSIS



MORELLA CALIFORNICA



PHLOMIS FRUTICOSA



PHORMIUM SPP.



PITOSPORUM TENUIFOLIUM



ROMNEYA COULTERI



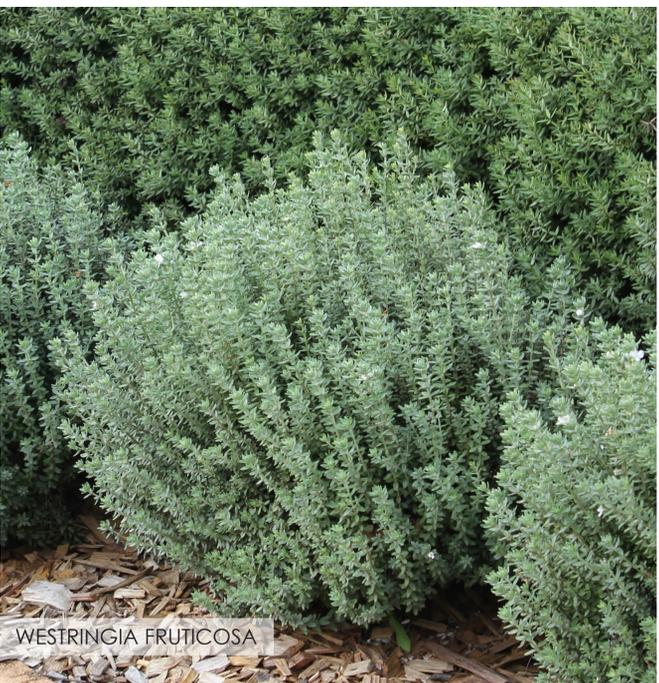
SALVIA ROSMARINUS



SESLERIA 'GREENLEE'



SALVIA 'BEE'S BLISS'



WESTRINGIA FRUTICOSA